



# LANDMARKS BOARD

## AGENDA FOR REGULAR MEETING

May 19, 2025

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### LANDMARKS BOARD:

Steve Martin, Chair  
Jill Ryan, Vice Chair  
Michelle Beucke  
Dave Settle  
John Donnelly  
Tom Smith  
Christi Tennyson  
Denise Mitchell, Council Liaison

Mesdames and Gentlemen:

On Monday, May 19, 2024, at 6:00 p.m., the City of St. Charles Landmarks Board will hold its regular monthly meeting in the Council Chambers on the fourth floor of City Hall, 200 North Second Street, St. Charles, Missouri. The agenda for this meeting is as follows:

**1. Call to order and call the roll**

**2. Pledge of Allegiance**

**3. Consent Agenda**

(A) Case No. EC-2025-020 130 Water Street. Joseph & Linda Brewer. The applicant is requesting approval to replace the front porch on the dwelling [Extended Historic Preservation District, Ward 2].

(B) Case No. EC-2025-022 340 North Main Street. Paul Bishop. The applicant is requesting approval to install new siding on the dwelling [Historic Downtown District, Ward 1].

**4. Removed Consent Items**

**5. Sign Permit Applications**

(A) Sign Permit No. 2025-1961 910 Jefferson Street. Reach St. Charles. The applicant is requesting approval to install a freestanding sign for the business “The Megan Meier Foundation” [Extended Historic Preservation District, Ward 2].

**6. Structure Review**

(A) Case No. EC-2025-021 301-305 South Main Street. Darren Stross. The applicant is requesting approval to make several exterior alterations to the property and construct a rear addition [South Main Preservation District, Ward 2].

(B) Case No. EC-2025-023 735 Washington Street. Adriana Perrone. The applicant is requesting approval to install a new fence and construct a new deck on the property [Extended Historic Preservation District, Ward 2].

- (C) Case No. SP-2025-004 1001-1005 North 2<sup>nd</sup> Street. Bill Barnes & Cory King. The applicants are requesting approval for a site plan for Side Project Brewing [Frenchtown Preservation District, Ward 1].

7. **Announcements/Report of Officers**
8. **Staff Reports**
9. **Approval of April 21, 2025 regular meeting minutes**
10. **Adjournment**

*The next regular meeting of the Landmarks Board is scheduled for*

*Monday, June 16, 2025 at 6:00pm*

*The submittal deadline for the June 16, 2025 meeting is May 19, 2025.*

*(May 26, 2025 for signs)*

**INCLEMENT WEATHER:** In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

*The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY – for the hearing impaired).*

*The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk's Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.*

***Agenda posted on 5/14/2025 @ 3pm by TRM***



**AGENDA ITEM #3A**

**STAFF REPORT  
FRONT PORCH REHAB  
130 WATER STREET  
CASE NO. EC-2025-020**

**BY TAYLOR MOORE**

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<b>APPLICANT:</b>	Joseph & Linda Brewer 30 Green Springs Court St. Charles, MO 63304
<b>OWNER:</b>	Same
<b>ADDRESS/LOCATION:</b>	130 Water Street
<b>ZONING:</b>	R-1E—Single-Family Residential District EHP—Extended Historic Preservation District
<b>USE:</b>	Single-Family Residential
<b>MEETING DATE:</b>	May 19, 2025

**BACKGROUND**

Built circa 1950, the subject property is the one-story frame, ranch-style house at 130 Water Street located in the Extended Historic Preservation District. The applicant is requesting approval to replace the existing concrete porch and stairs on the front façade of the residence with a new 4' x 8' TimberTech composite decking and aluminum railing. The new porch would be constructed over the existing concrete stoop, and feature new code compliant steps replacing the concrete stairs, which do not meet current building code requirements. Accompanying the application are drawings, a detailed scope of work, and photographs.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: "EPD" EXTENDED HISTORIC PRESERVATION DISTRICT**

- A. Purposes. The purposes of the "EHP" Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural review for properties constructed during or prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**SECTION 400.1270: CERTIFICATES OF APPROPRIATENESS**

- D. *Standards for Review*

1. In considering an application for a certificate of appropriateness, the HLPARB shall be guided by the Secretary of the Interior's Standards for Rehabilitation, in addition to any design guidelines in the ordinance:
  - b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
  - f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

## **REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

### **Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

#### **3. Building Design**

- a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
- c. Materials
  - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
  - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
  - (3) Materials shall be of durable quality.
- d. Building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationships to one another.
- e. Colors shall be harmonious and shall use only compatible accents.

#### **7. Maintenance-Planning and Design Factors**

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

#### **8. Factors for Evaluation**

- a. Conformance to ordinances and the Appearance Code.
- b. Logic of design.
- c. Exterior space utilization.
- d. Architectural character.
- e. Attractiveness.
- f. Material selection.
- g. Harmony and compatibility.
- i. Maintenance aspects.

**STAFF RECOMMENDATION**

The applicant is proposing to construct a TimberTech porch above the concrete stoop and remove the existing steps. The new steps will be code compliant for updated safety measures. The proposed aluminum Westbury railing for the porch is an improvement to the previous railing that existed. Given the dwelling's modest mid-century design and its non-contributing status to any district, the proposed porch materials and design are considered compatible. While the simple form is contemporary, the design ensures long-term durability with minimal visual impact on the streetscape. Staff finds the porch replacement appropriate and supports the applicant's efforts to bring the dwelling's entry into code compliance. Therefore, Staff recommends approval of the work, as submitted.

**Recommended Motion:**

**Motion to approve the porch rehabilitation at 130 Water Street, as submitted.**



**Figure 1: 130 Water Street.**

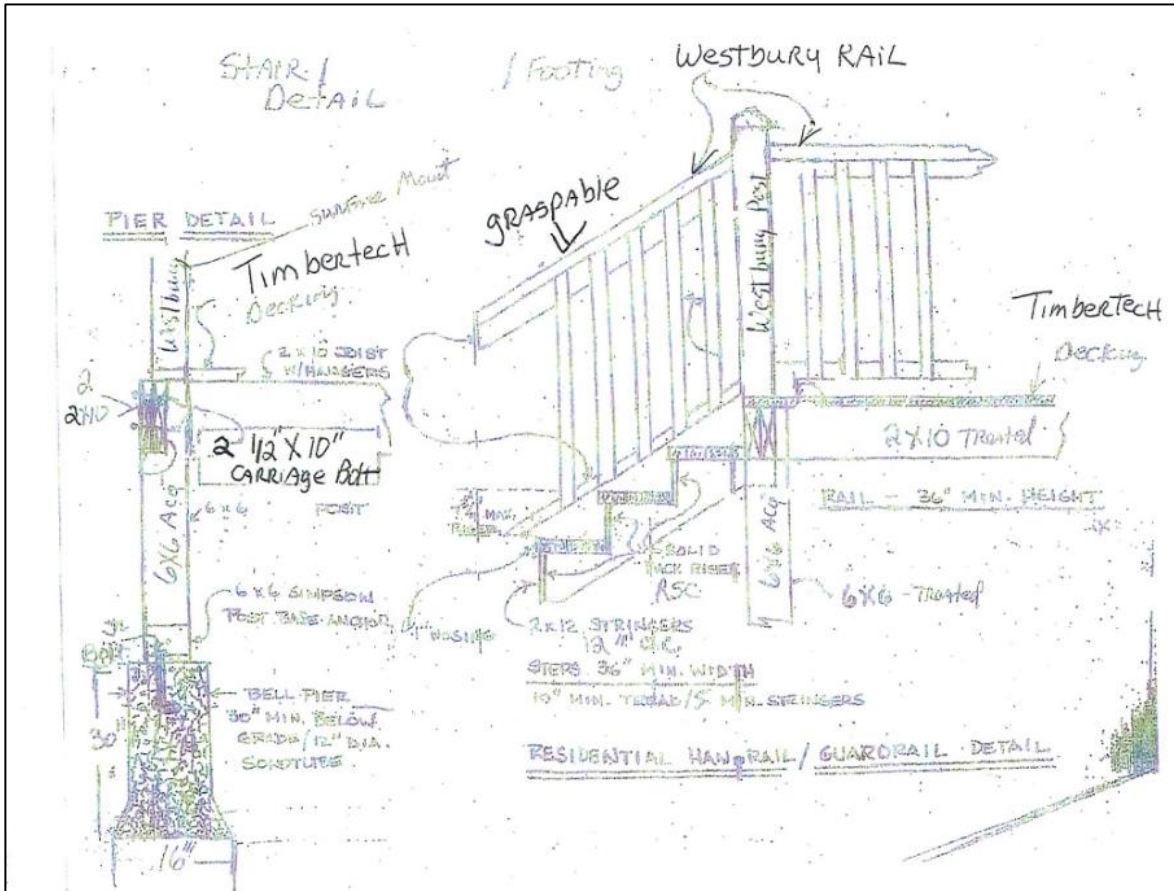


Figure 2: Porch rehab details.

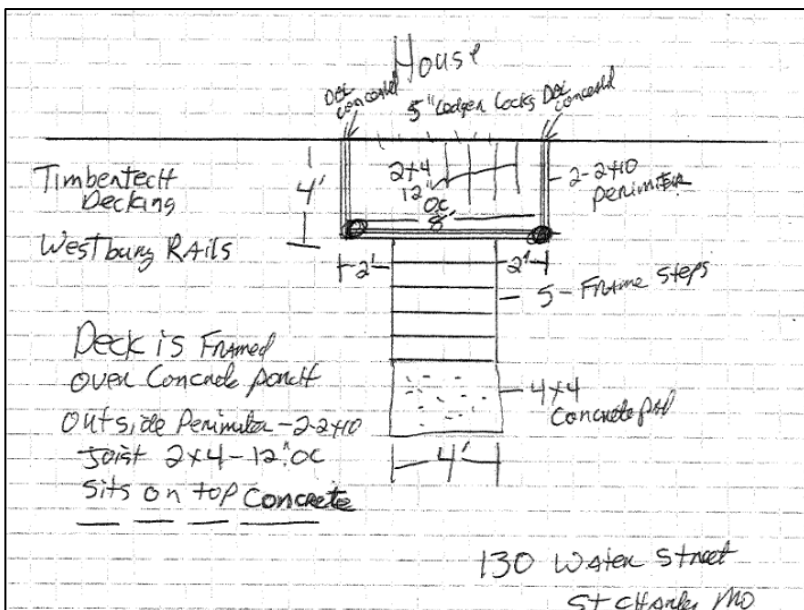


Figure 3: Site plan for proposed porch rehab.



**Figure 4: Example of TimberTech flooring with Westbury Aluminum railings.**



**Figure 5: Porch seen from South 2<sup>nd</sup> Street and Water Street intersection.**



**Figure 6: Previous aluminum railing on the property.**



**Figure 7; Subject property location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 130 Water Street St. Charles Mo 63301

BUSINESS NAME (if applicable): Brewer Properties

**APPLICANT:**

Joseph W and Linda K. Brewer  
(Name)

30 Green Springs Ct St. Charles Mo. 63304  
(Address)

636 541 4042 Polybrews1@yahoo.com  
(Phone & Email Address)

**PROPERTY OWNER:**

Joseph Wayne and Linda K. Brewer  
(Name)

30 Green Springs Ct St. Charles Mo 63304  
(Address)

636 541 4042 Polybrews1@yahoo.com  
(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1950's

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

3 Bed room cottage  
 Front concrete porch  
 4 concrete steps - not up to code

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: Front porch
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): \_\_\_\_\_
- Other (briefly explain): \_\_\_\_\_

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Remove concrete steps -  
 Build 4x8 deck over concrete porch  
 TimberTech Decking  
 Westbury Railing

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:**

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures. *color & scale*
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.) *photo sample OK*
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: *Linda & Wayne Brewer* Date: *4-23-2025*

Signature of the property owner: *Linda & Wayne Brewer* Date: *4-23-2025*

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>



**BUILDING PERMIT APPLICATION  
COMMUNITY DEVELOPMENT  
CITY OF ST. CHARLES, MO**  
Phone: 636-949-3222 Fax: 636-949-3557

Office Use Only

Routed To: \_\_\_\_\_

Submitted: Hard Copies or Digital

PERMIT #: \_\_\_\_\_

Same As: \_\_\_\_\_

2

**SUBMITTAL OPTIONS:**

**Digital:** Email one (1) complete set of application and drawings/plans to [Building@stcharlescitemo.gov](mailto:Building@stcharlescitemo.gov)

- \* File Sizes larger than 20MB will need to be submitted via dropbox link (or similar)
- \* Plans submitted digitally will be returned digitally when issued.

**Drop Off/Mail:** Submit required amount (see submittal requirements) of hard copies of drawing/plans to:  
Community Development - 200 N 2<sup>nd</sup> St Ste. 303. St. Charles, MO 63301

**SUBMITTAL REQUIREMENTS:**

**Commercial:** State Statutes require a Missouri engineer's or architect's seal on all commercial or multi-family plans.

**Exterior Alterations -** Four (4) complete sets of plans and site plans w/landscape parking/lighting details. Two (2) sets of structural calcs.

**Interior Alterations -** Three (3) complete sets of plans. Two (2) sets of structural calcs.

**Residential:** Two (2) complete sets of plans with site plans, truss designs, and mech. drawings. Truss design must have an engineer's seal.

Property Owner Name & Phone #: Linda + Wayne Brewer

Project Address: 130 Water Street St. Charles Mo 63901 Lot # \_\_\_\_\_ Subdivision \_\_\_\_\_

Contact Person: Linda Brewer Phone No. 636 541 4042

Email Address: Polybrews1@q4b00.com

Estimated cost of construction (\$) \_\_\_\_\_ Is any portion of this property located within the floodplain?  Yes  No  
If "yes", have you submitted a Flood Elevation Certificate?  Yes  No

BUILDING DATA	TYPE OF WORK	TYPE OF STRUCTURE		
		Residential	Commercial	
Use group	<input type="checkbox"/> Addition	<input type="checkbox"/> Basement Finish	<input type="checkbox"/> Amusement/recreation	<input type="checkbox"/> Miscellaneous
Construction type	<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Deck	<input type="checkbox"/> Assembly	<input type="checkbox"/> Office/professional
Area (Sq. Ft.)	<input checked="" type="checkbox"/> Exterior Alteration	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Bank	<input type="checkbox"/> Parking garage
Width	<input type="checkbox"/> Fire Damage Repair	<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Bar	<input type="checkbox"/> Restaurant
Depth	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Pergola	<input type="checkbox"/> Car wash	<input type="checkbox"/> Retail/commercial
Stories	<input type="checkbox"/> Flood Damage Repair	<input type="checkbox"/> Pool (Above Ground)	<input type="checkbox"/> Church	<input type="checkbox"/> Service station
Basement	<input type="checkbox"/> Interior Alteration	<input type="checkbox"/> Pool (In-Ground)	<input type="checkbox"/> Hotel - # of rooms _____	<input type="checkbox"/> Shed
Garage	<input type="checkbox"/> Interior Finish	<input type="checkbox"/> Single-Family	<input type="checkbox"/> Industrial	<input type="checkbox"/> Tower or antenna
	<input type="checkbox"/> New Construction	<input type="checkbox"/> Shed	<input type="checkbox"/> Institutional	<input type="checkbox"/> Warehouse
	<input type="checkbox"/> Repair/Replacement	DESCRIPTION OF WORK:		
Fire Sprinkler: Yes / No	<input type="checkbox"/> Retaining Wall			
Fire Alarm: Yes / No	<input type="checkbox"/> Solar Panels			

**LICENSED CONTRACTORS: (PLEASE PRINT)**

City ordinances require that the general contractor, electrician, plumber, and HVAC contractor be licensed and bonded with the City. Please list all applicable companies below. Permits can be reviewed, but not released, until all trades are added, licensed and verified.

	Company Name	Address	Phone
GC/BUILDER:	<u>The Deck Shop</u>	<u>Allen Hanner Wentzville Mo</u>	<u>636 385 4298</u>
ARCH/ENG:	_____	_____	_____
ELECTRICIAN:	_____	_____	_____
PLUMBER:	_____	_____	_____
DRAINLAYER:	_____	_____	_____
HVAC:	_____	_____	_____

I certify that I am the owner in fee or agent authorized to apply for this permit, that I have contracted with the electrical, plumbing, HVAC, and general contractors regarding performing the work, and the cost estimates herein are true and correct, to the best of my knowledge.

Date Received Stamp

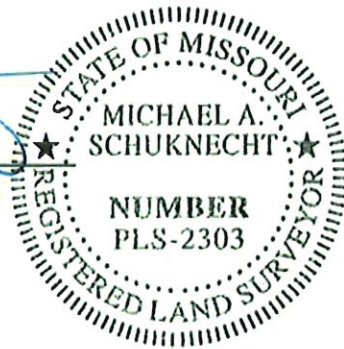
SIGNATURE OF APPLICANT Linda & Wayne Brewer

**Legal Description  
130 Water Street  
Temporary Construction Easement  
1446 sq. ft.**

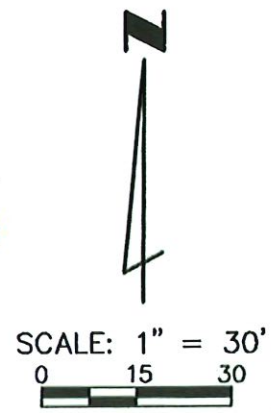
A tract of land being part of City Block 25, City of St. Charles, St. Charles County, Missouri and more particularly described as follows:

**BEGINNING** at the intersection of the easterly line of S. Second (38.5'w.) Street with the southerly line of land now or formerly of Betty Lou Cox as recorded in deed book 302 page 507, St. Charles County records; **THENCE** along said southerly line, South 67°56'24" East, a distance of 6.72 feet; **THENCE** leaving said southerly line and describing the northerly line of the temporary construction easement the following courses and distances: South 07°16'43" East, a distance of 35.80 feet, South 21°52'55" West, a distance of 4.49 feet, South 68°07'05" East, a distance of 20.85 feet, South 21°52'55" West, a distance of 5.01 and South 67°38'44" East, a distance of 104.44 feet to the westerly line of an Alley (22'w.); **THENCE** along said westerly line, South 21°59'11" West, a distance of 5.82 feet to the northerly line of Water (32.08'w.) Street; **THENCE** along said northerly line, North 67°56'24" West, a distance of 122.06 feet; **THENCE** leaving said northerly line, North 30°17'36" West, a distance of 34.73 feet to the aforementioned easterly line of S. Second Street; **THENCE** along said easterly line, North 21°59'11" East, a distance of 25.79 feet to the **POINT OF BEGINNING**.

  
Michael Schuknecht, LS 2303  
Horner & Shifrin, Inc. Corp. LS-148  
5/12/20



PERRY STREET STORM SEWER IMPROVEMENTS  
130 WATER ST



S. SECOND (38.5' W)  
STREET

716 S 2ND ST  
N/F  
COX, BETTY  
LOU  
0302-0507

CITY BLOCK 25

POINT OF BEGINNING

N21° 59' 11"E (R)  
47.00'

S67° 56' 24"E  
6.72'

NEW TEMPORARY  
CONSTRUCTION  
EASEMENT

S67° 56' 24"E (C) 149.53'

EXCEPTING 11' W  
(685-612)

22' ALLEY (FORMALLY 15'  
ALLEY)

S07° 16' 43"E  
35.80'  
N30° 17' 36"W  
34.73'

S21° 52' 55"W  
4.49'  
S68° 07' 05"E  
20.85'

130 WATER ST  
N/F  
BREWER FAMILY TRUST  
4458-2266

WATER (32.08' W) STREET  
N67° 56' 24"W (C) 149.53'

NEW PERMANENT  
UTILITY  
EASEMENT

S21° 59' 11"W  
5.82'

S 2ND ST  
N/F  
CITY OF ST CHARLES

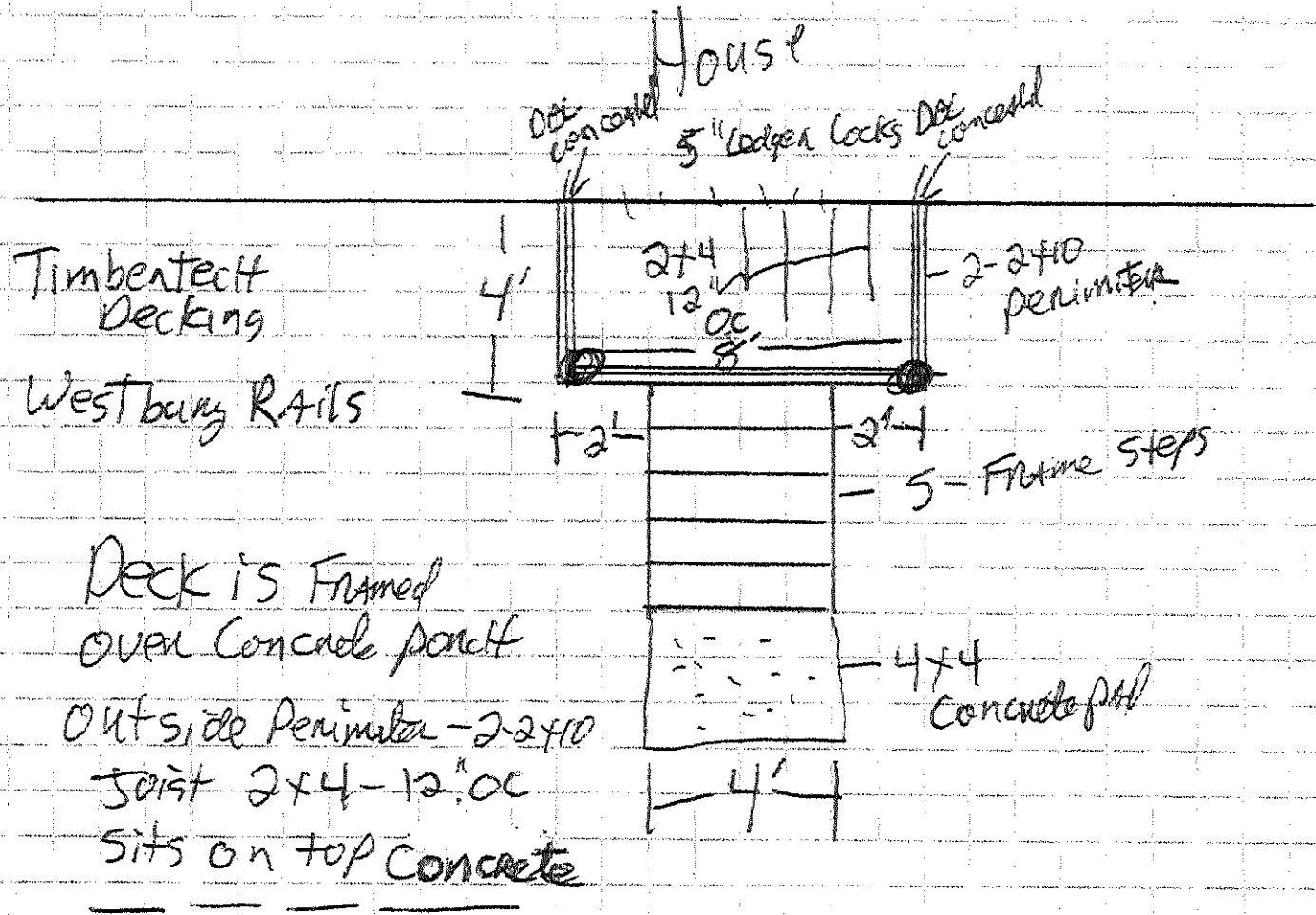
**LEGEND**

- (R)-RECORDED
- (C)-CALCULATED

INITIAL:

**EXHIBIT "A"**

**TEMPORARY CONSTRUCTION EASEMENT  
PART OF CITY BLOCK 25  
CITY OF ST. CHARLES, ST. CHARLES COUNTY, MISSOURI**



130 Water Street  
 St Charles, MO  
 63301



9







**STAFF REPORT  
TRASH ENCLOSURE  
340 NORTH MAIN STREET  
CASE NO. EC-2025-022**

**BY TAYLORL R MOORE**

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**APPLICANT:** Paul Bishop  
816 Glenhaven Drive  
O’Fallon, MO 63366

**OWNER:** Jeffrey Lage  
306 North 5th Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 340 North Main Street

**ZONING:** CBD—Central Business District  
HDD—Historic Downtown District

**USE:** Commercial—La Pizza

**MEETING DATE:** May 19, 2025

**BACKGROUND**

Located in the Historic Downtown District, the subject property is the old Galt House Hotel, located at 340 North Main Street. The 2-story brick building was constructed in 1863. The applicant is requesting approval to construct a trash enclosure in the rear of the property, as required by City Code. Accompanying the application are photographs of the building and a site plan for the proposed enclosure.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.350: “HDD” HISTORIC DOWNTOWN DISTRICT.**

*C. Building, Sign and Occupancy Permits.*

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, including signs, or in any way change the outward appearance of any building or structure in the Historic Downtown District overlay without having obtained a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

**SECTION 400.550: FENCES.**

1. *General provisions.*

e. A permit is required for the construction or replacement of fences.

f. Fences constructed in the Extended Historic Preservation District or any other superimposed historic district shall require approval by the Landmarks Board.

3. *Commercial and industrial districts.*

a. Fences shall be limited to eight (8) feet in height, except as required for junk yards in Section 400.450(A).

4. *Construction and Maintenance.*

a. All fences must be constructed in a workmanship-like manner so that the horizontal and vertical support posts are inside of the fence area or hidden from both the neighbor's and general public's view. Fences must be straight and run parallel to the lot line.

b. No more than two different types of fencing material (wood and chain link or two types of wood) are permitted. No fence shall be made of, in whole or in part, cloth, canvas or other like material.

**ARCHITECTURAL DESIGN GUIDELINES FOR THE HISTORIC DOWNTOWN DISTRICT**

Chapter 7: Guidelines for All Projects

7.20 Minimize the visual impact of trash storage and service areas.

a. Screen dumpsters from view.

Locate service areas away from major pedestrian routes, typically in the rear.

**STAFF RECOMMENDATION**

The size, design and material of the proposed trash enclosure is in keeping with the design guidelines for the district. The enclosure is required by City Code for the screening of the business's dumpster that is currently visible from Riverside Drive. Therefore Staff recommends approval of the trash enclosure, as submitted.

**Recommended Motion:**

**Motion to approve the new trash enclosure in the rear of 340 North Main Street, as submitted.**



**Figure 1: Subject dumpster seen from Riverside Drive.**



Figure 2: 340 North Main Street.

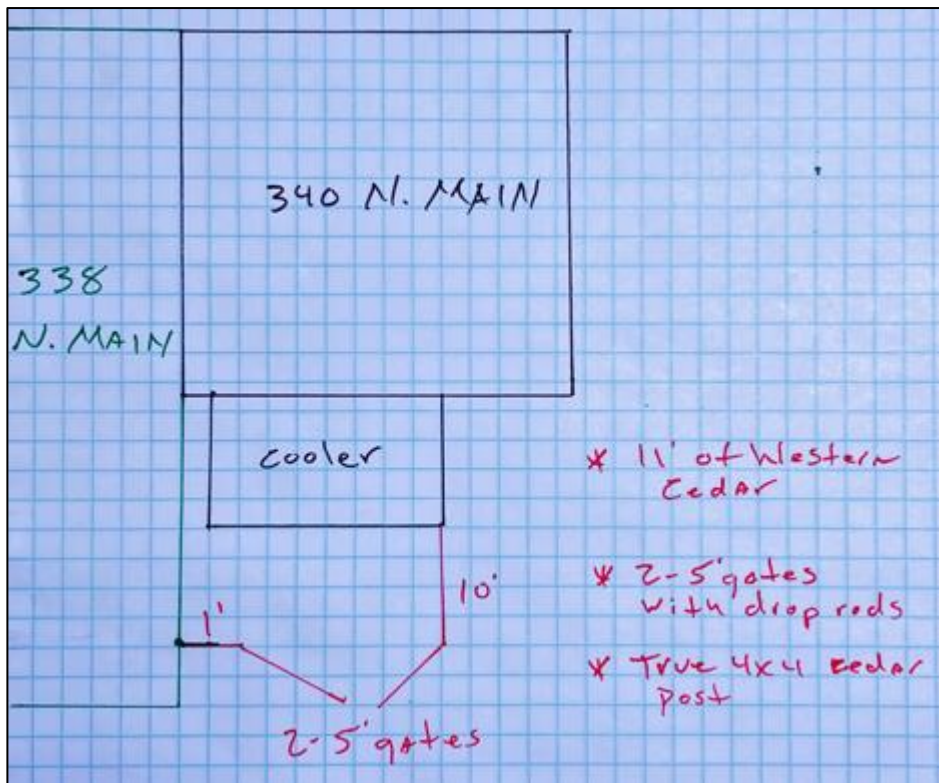


Figure 3: Site plan for enclosure.



**Figure 4: Subject property's location.**



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
Phone: 636-949-3222  
Fax: 636-949-3557

### FENCE PERMIT APPLICATION

APPLICATION# (assigned by Staff): \_\_\_\_\_ TODAY'S DATE: 4/2/25

- ❖ Fences over 6 FT tall require a building permit form instead of a fence permit.
- ❖ Fences constructed within a City-designated Historic District must receive approval from the Landmarks Board prior to the permit being released.
- ❖ **NOTE:** Some Subdivision Homeowners Associations (HOAs) regulate the placement of fences and types of fencing material. In such circumstances, the applicant is responsible for obtaining HOA approval.

#### DOCUMENTS REQUIRED:

Completed Application, Site Plan or Aerial showing fence location & a picture of the type of fence.

#### SUBMITTAL OPTIONS:

Digital – Email documents to [Building@stcharlescitemo.gov](mailto:Building@stcharlescitemo.gov)

Hard Copies – Mail or Drop off two (2) copies to City Hall, 200 N 2<sup>nd</sup> St. Ste. 303 St. Charles, MO 63301

PROJECT ADDRESS: 340 N. Main Street St. Charles, MO 63301

CONTRACTOR: (Required to have a valid City of St. Charles Building Specialist License)

*\*For property owners completing their own installation, please write owner.*

Fence Depot  
(Company Name)

636-441-7374  
(Address/Phone/Email)

Tenant: La Pizza (Paul Bishop)  
314-443-5008  
lapizzainc@gmail.com

#### PROPERTY OWNER:

Jeffrey Lage  
(Name)

340 N. Main Street 314-329-5191  
(Address/Phone/Email)

Height of Fence	Color of Fence	Type of Fence
<u>6ft</u>	<u>Brown/wood</u>	<u>Wooden</u>

I certify that I am the owner in fee or agent authorized to apply for this permit and that all information submitted is true and correct, to the best of my knowledge.

SIGNATURE OF APPLICANT [Signature] DATE 4/2/25

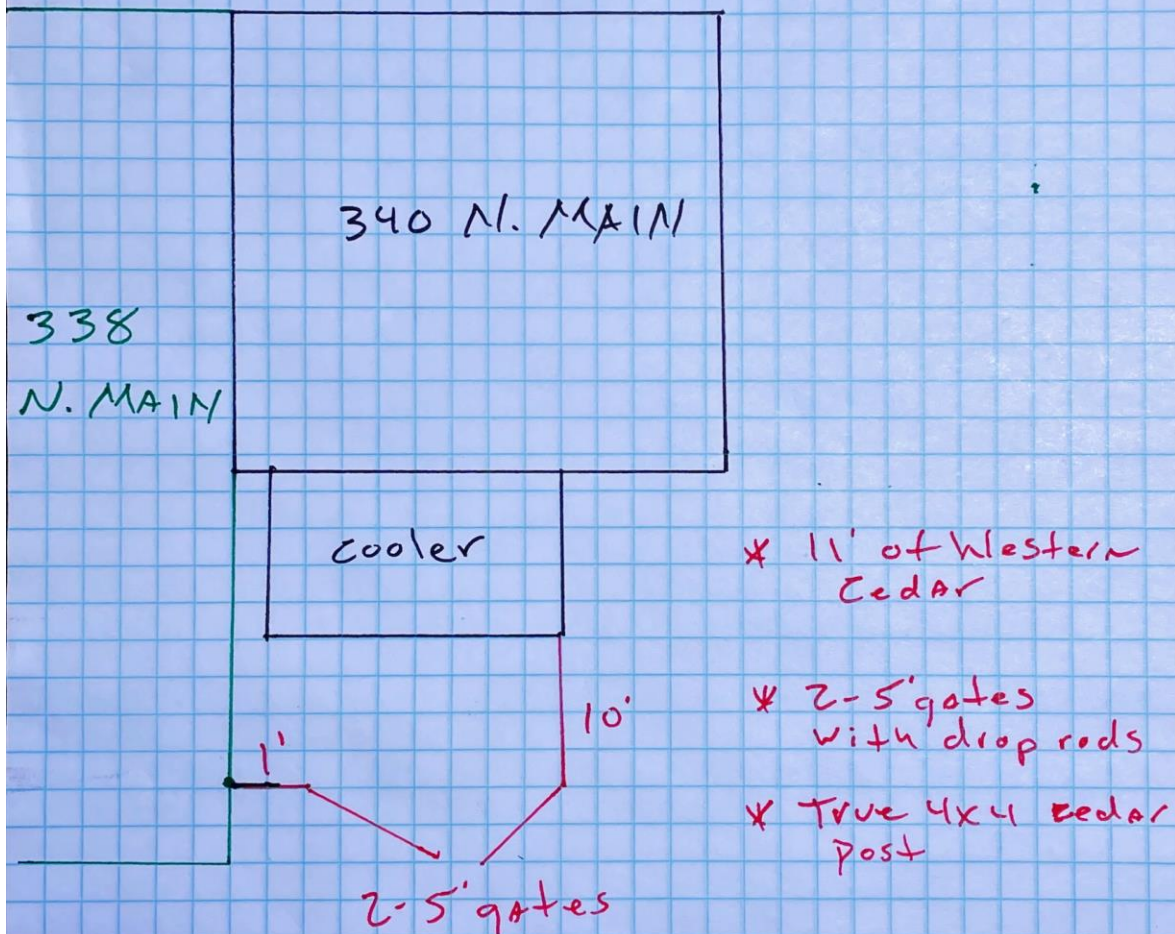
APPROVED BY:	DATE:



Paul Bishop - LA PIZZA

340 N MAIN ST.

St. Charles MO 63301





**STAFF REPORT  
SIGNAGE  
910 JEFFERSON STREET  
PERMIT NO. 2025-1961**

**BY TAYLOR MOORE**

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**APPLICANT:** Jordan Blaine  
910 Jefferson Street  
St. Charles, MO 63301

**OWNER:** Megan Meier Foundation  
Tina Meier  
910 Jefferson Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 910 Jefferson Street

**ZONING:** O-I—Office Institution District  
EHP—Extended Historic Preservation District

**USE:** Offices—Megan Meier Foundation

**MEETING DATE:** May 19, 2025

**BACKGROUND**

Located on a corner lot, the subject property is 910 Jefferson Street in the Extended Historic Preservation District. The building was constructed circa 1890 and is considered a contributing resource to the Midtown Neighborhood Historic District. The one-story brick building was originally a grocery store, but the storefronts have been replaced with a brick-veneered façade and a side-gabled roof has been added across the front of the building. The applicant is requesting approval to install a freestanding sign in the front yard between entrances. The face of the sign is 48” x 36” (12 square feet) and will have a white background with red, blue, green, and yellow lettering displaying the organizations name and logo. The sign will stand 5’ tall. Illustrations of the proposed sign accompany the application, and a photograph of the building is below.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.1830: SIGN REGULATIONS FOR "SMPD", "HDD", "FHD", "LMPD" AND "EHP" SUPERIMPOSED DISTRICTS**

**D. "EHP" Extended Historic Preservation District.**

**1. General regulations.**

- a. No sign or graphic may be displayed on a building constructed before 1960 without first obtaining a Certificate of Appropriateness from the HLPARB.
- b. No sign or graphic shall be permitted in the district unless the sign relates to or advertises a business within the district.

- c. Signs shall be compatible with the architecture of the building on which the sign will be located.
- d. In reviewing applications for a Certificate of Appropriateness, criteria provided in Divisions 1-8 of this Article shall be used.

#### **SECTION 400.1720: LEGAL, NON-RESIDENTIAL USES**

1. The total aggregate area of one (1) face of all signs on the premises pertaining to any one (1) business shall not exceed forty (40) square feet. However, if the portion of the building adjacent to its lot's street property line measures more than forty (40) feet, then the total aggregate area of one (1) face of all such signs on the premises may be increased in area at the rate of one (1) square foot of sign area for each foot of building frontage in excess of forty (40) lineal feet; but the total aggregate area of one (1) face of all such signs on the premises shall not exceed eighty (80) square feet for each business. The total aggregate area of all signs on the premises pertaining to any one business with a frontage exceeding one hundred fifty (150) lineal feet may be increased to one hundred fifty (150) square feet. For corner buildings, only the main entrance frontage shall be so measured.

#### **REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC PRESERVATION DISTRICT**

##### **5. SIGNS—NEW OR MODIFIED REQUIRING A PERMIT**

- a. Every sign shall have good scale and proportion in its design and in its visual relationship to buildings and surroundings.
- b. Every sign shall be designed as an integral architectural element of the building and site to which it principally relates.
- c. The colors, materials, and lighting of every sign shall be restrained and harmonious with the building and site to which it principally relates.
- d. The number of graphic elements on a sign shall be held to the minimum needed to convey the sign's major message and shall be composed in proportion to the area of the sign face.
- e. Each sign shall be compatible with signs on adjacent buildings or adjoining premises.

#### **STAFF RECOMMENDATION**

The sign meets the design guidelines for the district and its scale, proportion, design, colors and materials are compatible with the building. The material is allowing for durability. Therefore, Staff recommends approval of the sign, as submitted.

#### **Recommended Motion:**

**Motion to approve the proposed free standing sign for the business "Megan Meier Foundation" at 910 Jefferson Street, as submitted.**



**Figure 1: Proposed freestanding sign.**

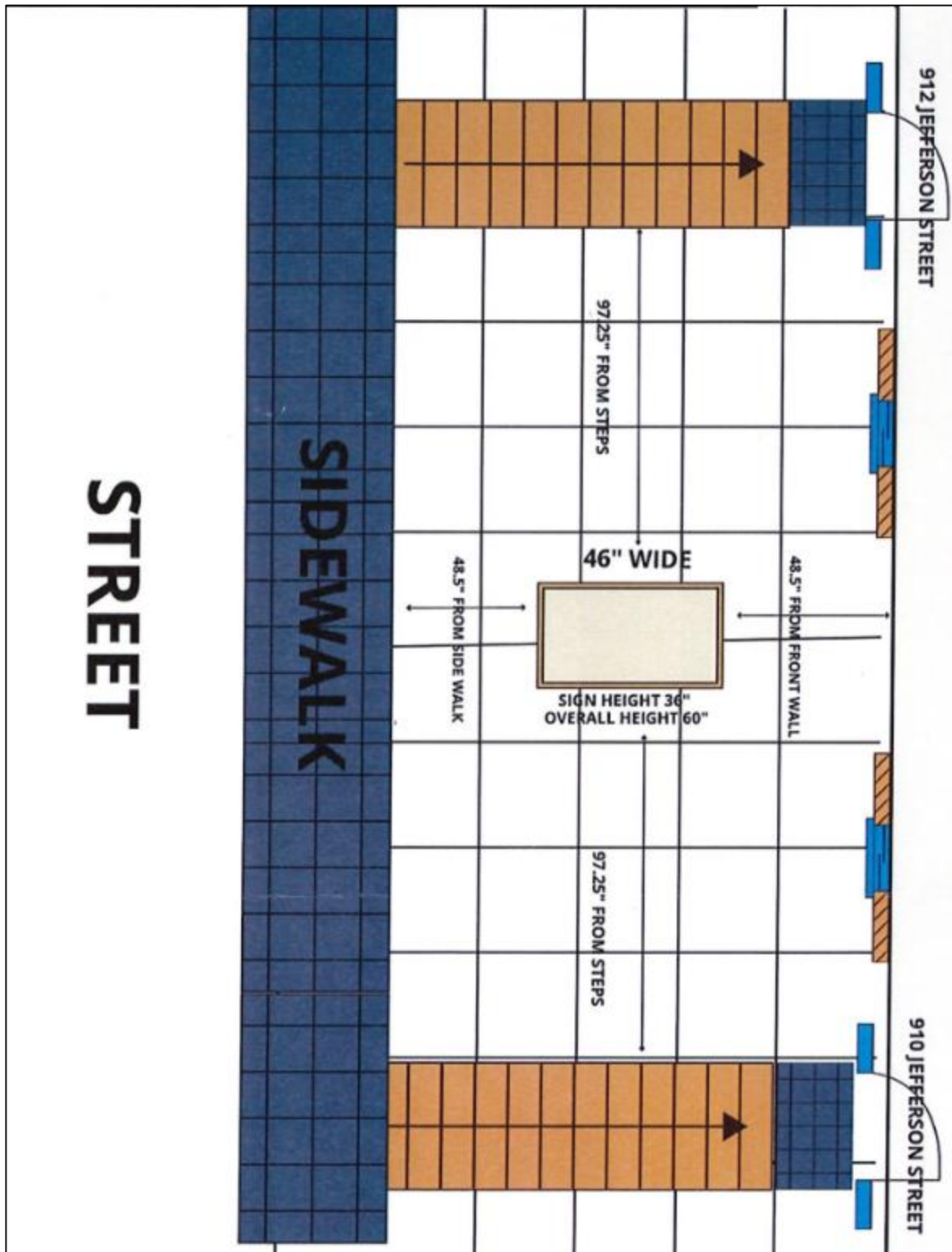


Figure 2: Proposed sign location on property. ]



**Figure 3: Subject property.**



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557



SIGN PERMIT APPLICATION

Today's Date: April 14, 2025

Permit #: Sign-n 25-1961

DOCUMENTS REQUIRED WITH APPLICATION
Two (2) colored copies of the following:
• Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
• Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
• Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

SIGN LOCATION:

NAME OF BUSINESS: Megan Meier Foundation

ADDRESS: 910 Jefferson Street St. Charles, MO 63301

\*Is this property located in a historic district? (Check One): YES [checked] NO [ ]
If yes, review from the Landmarks Board is required.

APPLICANT:

Name: Jordan Blaine Phone: 636-757-3501
Address: 910 Jefferson Street City, State & Zip: St. Charles, MO 63301
Email: Jordan@meganmeierfoundation.org

SIGN CONTRACTOR:

Name: Faith Sign Company Phone: 636-333-7446
Address: 444 Little Hills Industrial Blvd City, State & Zip: St. Charles, MO 63301
Email: faithsignco@gmail.com

PROPERTY OWNER:

Name: Megan Meier Foundation (Tina Meier) Phone: 636-757-3501
Address: 910 Jefferson Street City, State & Zip: St. Charles, MO 63301
Email: Tina@meganmeierfoundation.org

TYPE OF SIGN(S):

[ ] Banner [ ] Window [checked] Frame/Sandwich Board [ ] Hanging [ ] Wall [ ] Monument [ ] Awning [ ] Pole

SIGN INFORMATION: Total number of signs being requested? 1

Lineal Frontage of occupant's portion of the building: 4 feet Sign Dimensions 5" H by 4" W - Overall height 60"

Who is installing the signage? Owner/Tenant [ ] Contractor [checked] Other (Specify)

Will the sign(s) be illuminated? YES [ ] NO [checked] \*If yes, will new wiring be required? YES [ ] NO [ ]

Company name of licensed electrician (if required): Date Received Stamp

SIGNATURE OF APPLICANT [Signature]

SIGNATURE OF PROPERTY OWNER: [Signature]

4/24/25 [Signature]



444 Little Hills Industrial Blvd  
St. Charles, MO 63301

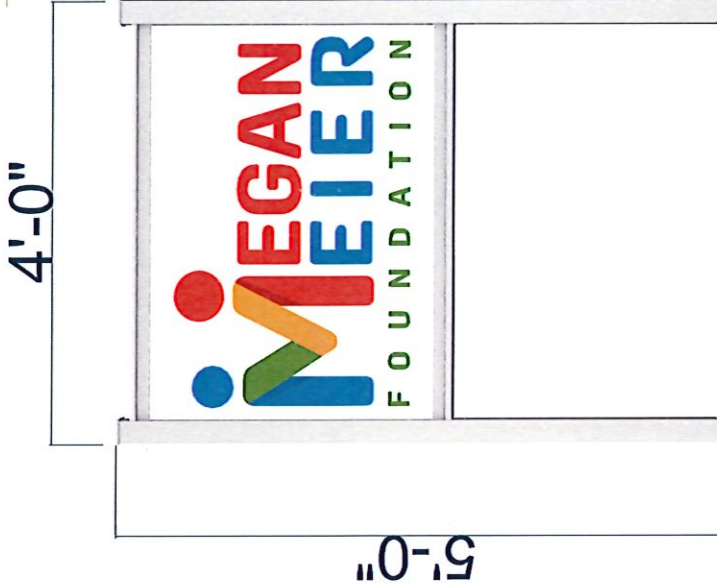
636-333-SIGN  
FaithSignCo@gmail.com

Company: Megan Meier Foundation  
Contact: Kate  
Phone: 636-757-3501  
Email: [kate@meganmeierfoundation.org](mailto:kate@meganmeierfoundation.org)

Install address:  
910 Jefferson St.  
St. Charles, MO 63301

Proof# Post and Panel 1A  
Date: 10/9/24  
Designer: Justin W

Approved   
Revisions requested   
\_\_\_\_\_  
\_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_



Sign: \$895  
Installation: \$475  
Permits: \$300  
Total: \$1,670

Please Note: Due to the differences in printers and monitors, the colors in this rendering may not be representative of the actual colors of the finished product. These drawings are the sole property of Faith Sign Company, Inc. They are submitted to you for the purpose of obtaining approval for the fabrication of a custom sign designed and produced by Faith Sign Company, Inc. Any distribution or exhibition of these plans to anyone other than employees of your company, or the use of these plans to construct a comparable sign with or without the aid of another sign company is expressly forbidden without prior written consent from Faith Sign Company, Inc. In the event that such an act occurs, you may be liable for the time and effort entailed in creating these drawings.



444 Little Hills Industrial Blvd  
St. Charles, MO 63301

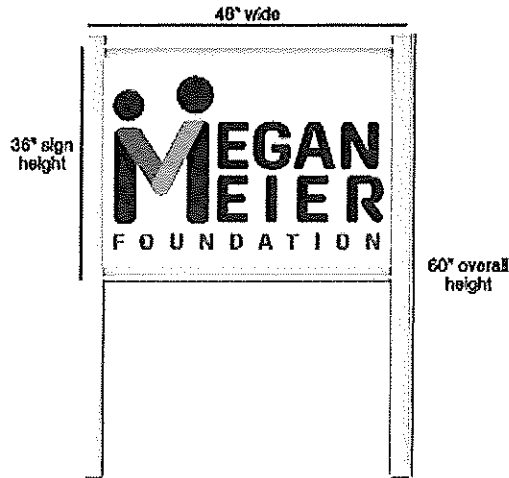
636-333-SIGN  
FaithSignCo@gmail.com

Company: Megan Meler Foundation  
Contact: Kate  
Phone: 636-757-3501  
Email: kate@meganmelerfoundation.org

Install address:  
910 Jefferson St.  
St. Charles, MO 63301

Proof# Post and Panel 1A  
Date: 10/9/24  
Designer: Justin W

Approved   
Revisions requested   
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_



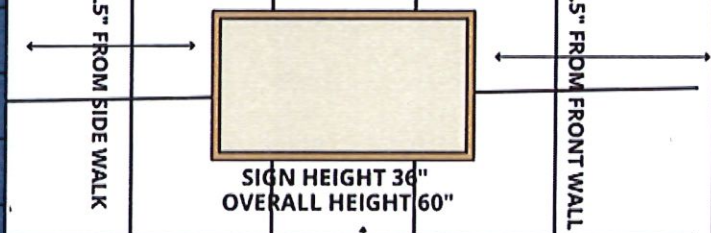
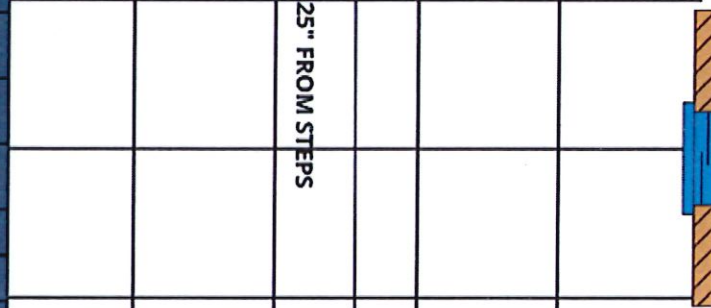
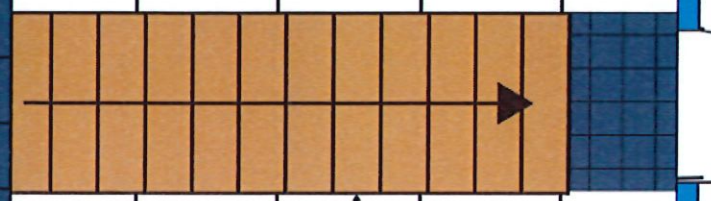
Sign: \$895  
Installation: \$475  
Total: \$1,370

Please Note: Due to the differences in printers and monitors, the colors in this rendering may not be representative of the actual colors of the finished product.

These drawings are the sole property of Faith Sign Company, Inc. They are submitted to you for the purpose of obtaining approval for the fabrication of a custom sign designed and produced by Faith Sign Company, Inc. Any duplication or alteration of these plans to anyone other than employees of your company, or the use of these plans to construct a comparable sign with or without the aid of another sign company, is expressly forbidden without prior written consent from Faith Sign Company, Inc. In the event of such an occurrence, you may be liable for the time and effort involved in creating these designs.

912 JEFFERSON STREET

910 JEFFERSON STREET



97.25" FROM STEPS

46" WIDE

48.5" FROM FRONT WALL

SIGN HEIGHT 36"  
OVERALL HEIGHT 60"

48.5" FROM SIDE WALK

97.25" FROM STEPS

SIDEWALK

STREET



**STAFF REPORT  
EXTERIOR ALTERATIONS & ADDITION  
301-305 SOUTH MAIN STREET  
CASE NO. EC-2025-021**

**BY TAYLOR MOORE**

**APPLICANT:** Darren Stross  
701 North 5<sup>th</sup> Street  
St. Charles, MO 63301

**OWNER:** Chris Goellner  
301 South Main Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 301-305 South Main Street

**ZONING:** HCD—Historic Commercial District  
SMPD—South Main Preservation District

**USE:** Commercial—Goellner Printing

**MEETING DATE:** May 19, 2025

**BACKGROUND**

The subject property is 301-305 South Main Street, which is located in the South Main Preservation District. The applicant is requesting approval to replace the existing second-story windows with Rivertown Historical sash windows. One rear door will be replaced with a fiberglass entry door, matching the existing in appearance. In addition, exterior alterations are proposed for the rear 1970s addition to improve its compatibility with the historic character of the property. The existing addition will be clad in brick, and the current top railing will be removed and replaced with a stepped brick parapet featuring overlapping terra-cotta detailing to match the primary structure. Also proposed is the construction of a new exit stair and storage area in the southwest corner of the addition. This component will be designed to resemble a historic outbuilding once commonly present in the district, featuring a metal roof, board and batten siding, and six-light utilitarian style windows. A site plan, elevations, and photos of the existing structure appear within this report.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.330: “SMPD” SOUTH MAIN PRESERVATION DISTRICT**

*C. Special Building and Occupancy Permit.*

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

## **ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT**

### **Chapter IV: Guidelines for Historic Properties**

#### Site Planning & Site Features

4.5 Select replacement or new materials and features that are compatible with the existing character of the site

#### Architectural Details: Preservation, Treatment & Replacement

4.11 Preserve the historic design character of the building.

4.12 Minimize alteration of historically significant features.

- a. First, maintain historically significant features that are intact. Then, repair those features that are deteriorated. Finally, replace only those features that are beyond repair.

4.13 Protect and maintain historically significant stylistic elements.

4.14 Historically significant materials and features shall not be altered or removed.

- a. Examples of historically significant architectural features are porches, turned columns, brackets and jig-saw ornaments. The overall building or roof form is also significant.
- b. Preserve original doors, windows and porches in their original condition when physical conditions permit

#### Windows

4.36 Preserve the functional and decorative features of a historically important window when physical conditions permit.

- a. Such features may include frames, sash, muntins, mullions, glazing, sills, heads, jambs and moldings.
- b. Repair frames and sash by patching, splicing or reinforcing when physical conditions permit.
- c. If replacement is necessary, replace in kind to match the original.

4.37 Preserve a historically important window design on primary facades.

4.38 Maintain the historic number of panes in a window.

4.39 Maintain historically important window proportions on primary facades.

- a. The general proportion of historically important windows shall be preserved.
- b. Enclosing the historic opening to accommodate smaller windows is not permitted.

4.40 When a replacement window is necessary, use materials like those seen historically.

- a. Replacing a historically significant wood window with another wood window is preferred. However, other materials may be considered if the appearance is similar to that of the significant wood window in dimension, profile and finish.

### **STAFF RECOMMENDATION**

The proposed alterations are appropriate and consistent with the character of the district. The replacement second-story windows with historic grid patterns, the use of compatible materials such as brick and terra-cotta detailing, and the thoughtful redesign of the rear addition will enhance the overall architectural integrity of the structure. The design of the new stair and storage area referencing the form and materials of a historic outbuilding further contribute to the harmonious appearance of the property. The proposed modifications are expected to improve the visual appearance of the structure, which is highly visible from 1<sup>st</sup> Capitol Drive.

These alterations will have no adverse impact on the structure or the district, and therefore, Staff recommends approval of the project, as submitted.

**Recommended Motion:**

**Motion to approve the exterior alterations and construction of a new addition at 301-305 South Main Street, as submitted.**



**Figure 1: 301-305 South Main Street seen currently from South Main Street.**



**Figure 2: Rear of 301-305 South Main Street seen from 1<sup>st</sup> Capitol Drive.**



**Figure 3: Rear of property and proposed location for addition.**



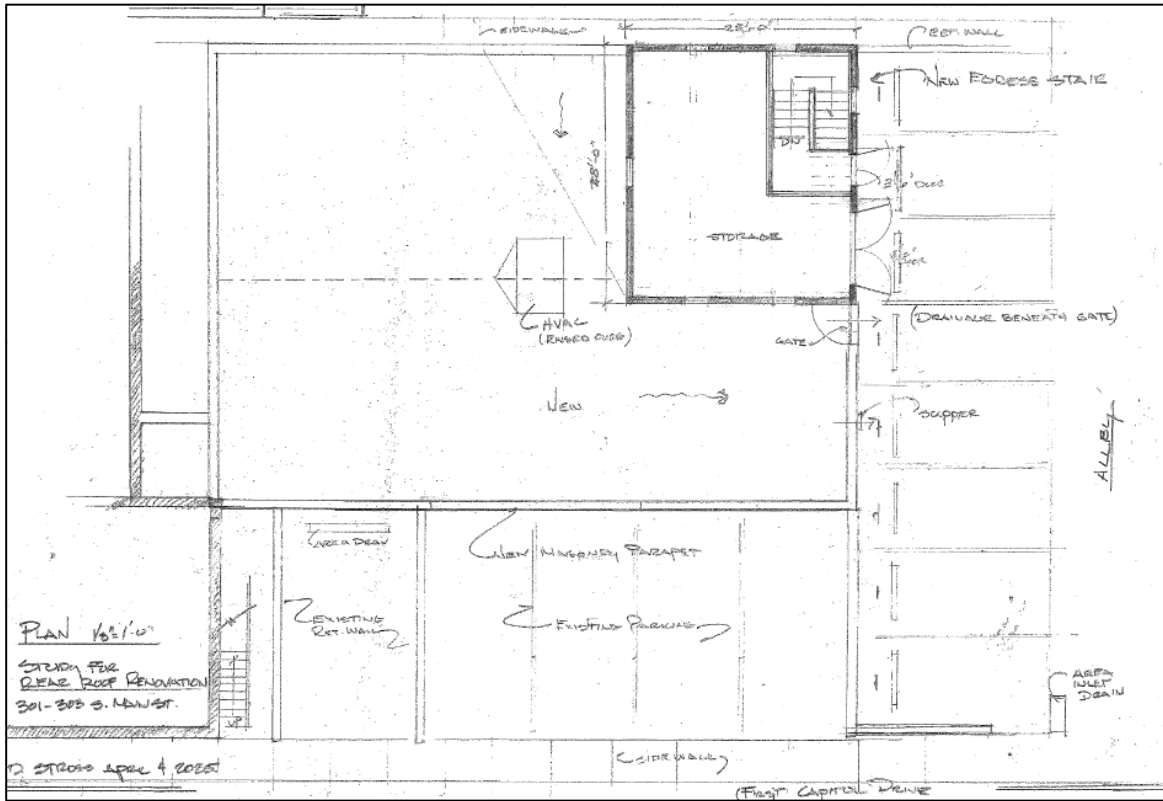
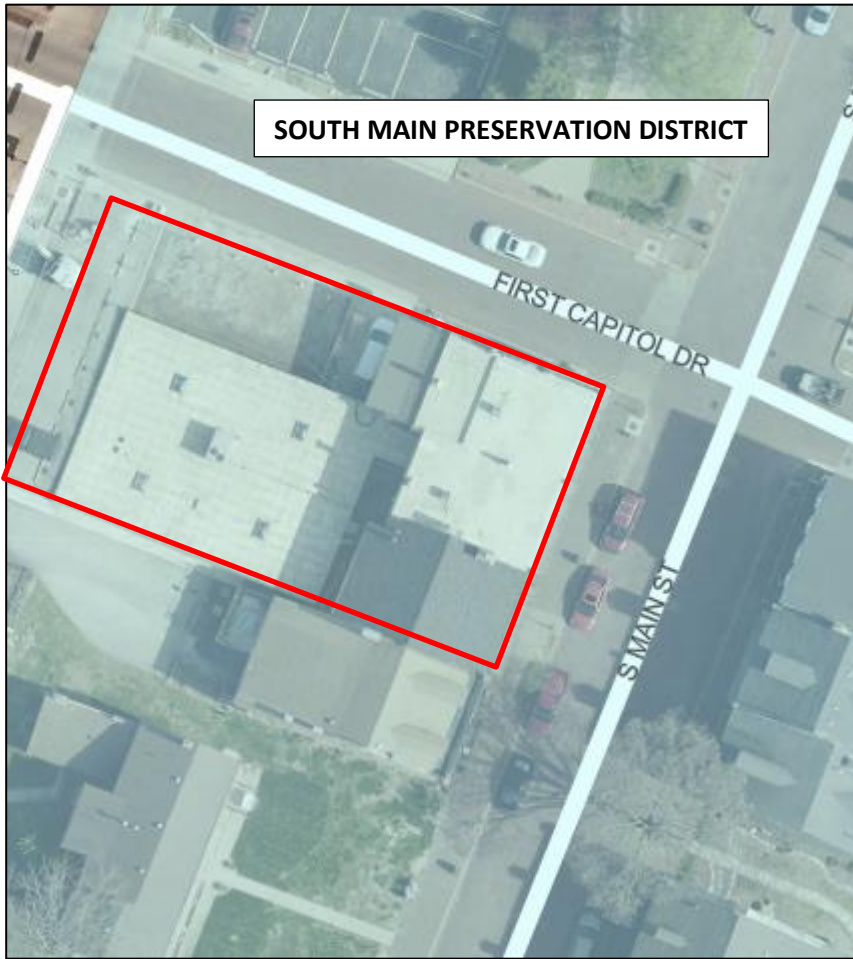


Figure 6: Site plan for proposed addition.



Figure 7: Rear door proposed for like-for-like replacement.



**Figure 8: Subject property's location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 301 & 305 South Main Street

**BUSINESS NAME** (if applicable): Goellner Printing, Inc.

**APPLICANT:**

(Name) Darren Stross

(Address) 701 North Fifth Street, STC, MO 63301

(Phone & Email Address) 314-640-6273 darren@strossdesign.com

**PROPERTY OWNER:**

(Name) Chris Goellner

(Address) 95 Green Number 9 Drive, STC, MO 63303

(Phone & Email Address) 314-775-5707 chris@goellnerprinting.com

**HISTORIC DISTRICT LOCATION:**

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

**DATE OF ORIGINAL CONSTRUCTION:** Mid 19th century - modified circa 1915

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

301 & 305 South Main were built as two residential masonry structures that were remodeled more than once and became commercial storefronts around 1915. In the 1970s Goellner Printing constructed an addition to the rear for the printing plant. Most of the structure is below grade with the upper wall clad in used brick along the North elevation. The rear or west elevation is barely above finish grade. The perimeter of the roof has a circa 1970 residential pre-manufactured faux-wrought iron rail and gate system.

**PROJECT DESCRIPTION** (mark and explain each that may apply):

- Rehabilitate or restore: Replace second story windows with RIVERTOWN historical sash panels.
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): \_\_\_\_\_
- Other (briefly explain): Rework 1970 addition to appear more appropriate. All new stair for added occupancy safety with proposed historically inspired out building addition.

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

The rear addition is proposed to be clad in brick. The inappropriate rail is to be removed and replaced with a stepped parapet wall topped with overlapping terra-cotta coping to match.

Also proposed is a new exit stair and storage area at the southwest corner of the addition. Above grade this exit will be housed in a structure designed to look like an out building that would have existed at the rear of the lot and ones that are missing from throughout the neighborhood. The addition will have a metal roof and board and batten exterior with appropriately scaled six light utilitarian windows.

All second story windows (East, South and West) will be replaced with RIVERTOWN historical true divided custom two over two double hung windows to match existing. One first floor window and a nine light over two panel door on the West side of 301 will also be replaced.

In the near future the owner wishes to restore the front facade of the building. The original 1915 historic storefronts are almost completely intact but the base panels and transom sashes were covered in plywood since the late 1960s. The plywood will be removed and the missing glass panels replaced.

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via [Landmarks@stcharlescitemo.gov](mailto:Landmarks@stcharlescitemo.gov)). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: \_\_\_\_\_

Date: 11 Apr 2025

Signature of the property owner: Chris Goch

Date: 4-11-2025

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

**Exterior Changes & Demolitions: \$50.00**  
**Site Plan (separate application required): \$200.00**



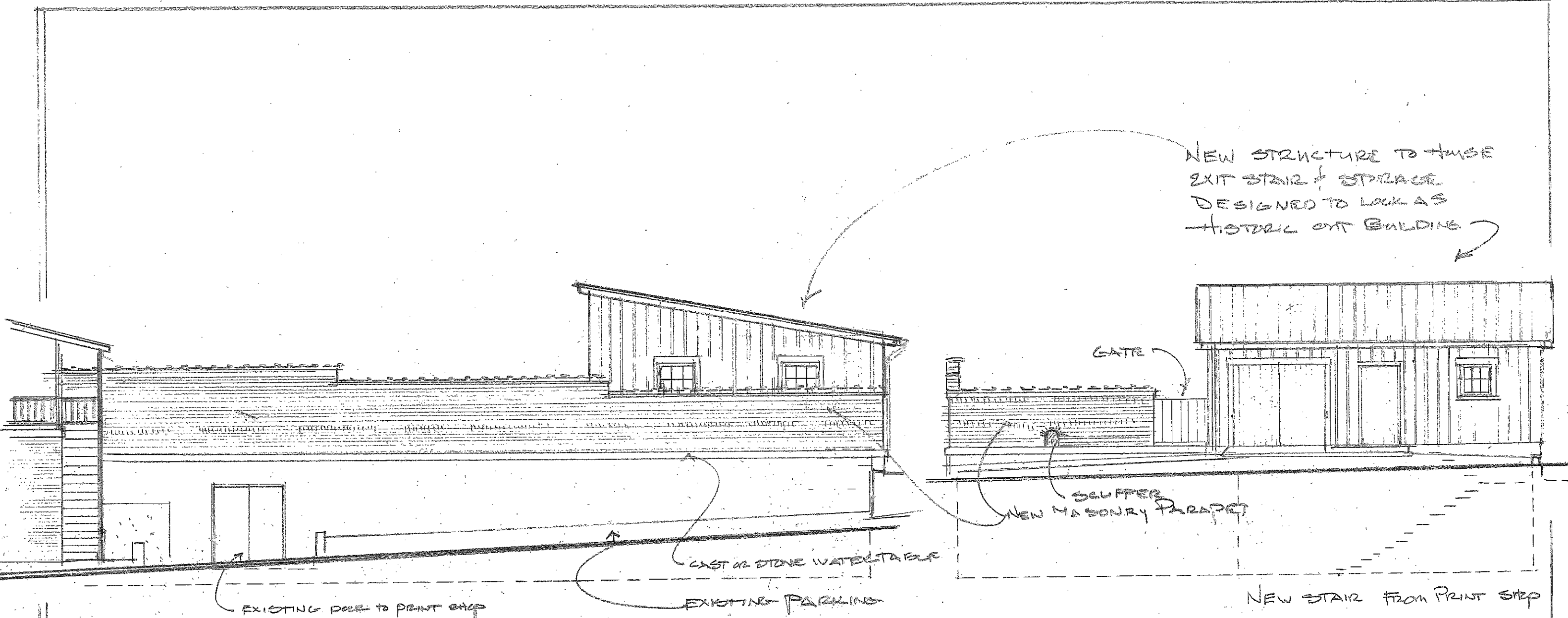
STUDY - FACADE / STOREFRONT RESTORATION 301-303 S. MAIN ST.  
 CORNER SOUTH MAIN + FIRST CAPITAL DRIVE (CLAY ST.)  
 HISTORIC ST. CHARLES, MISSOURI

JANUARY 2025. D. STROSS

NEW LONGER AWNING FOR 301  
 RETURN DESIGN TO 2 BUILDING INTEGRITY

REMOVE 1970's  
 "COLONIAL RENOVEL"  
 DETAILS  
 EXISTING STOREFRONT  
 (1910-1915?) CIRCA

- REMOVE PLYWOOD PANEL FROM TRANSOM
- REMOVE PLYWOOD PANEL FROM LOWER
- REMOVE PARADE BALCONY @ 301
- RESTORE/MORE APPROPRIATE BALCONY @ 303.
- RESTORE 2ND STORY FENESTRATION
- POSSIBLY PAINT SPECIFICS Slightly DIFF.



NEW STRUCTURE TO HOUSE  
EXIT STAIR & STORAGE  
DESIGNED TO LOOK AS  
HISTORIC EXT BUILDING

NORTH ELEVATION - FIRST CAPITOL DR.  
(CLAY STREET) 1/8" = 1/40"

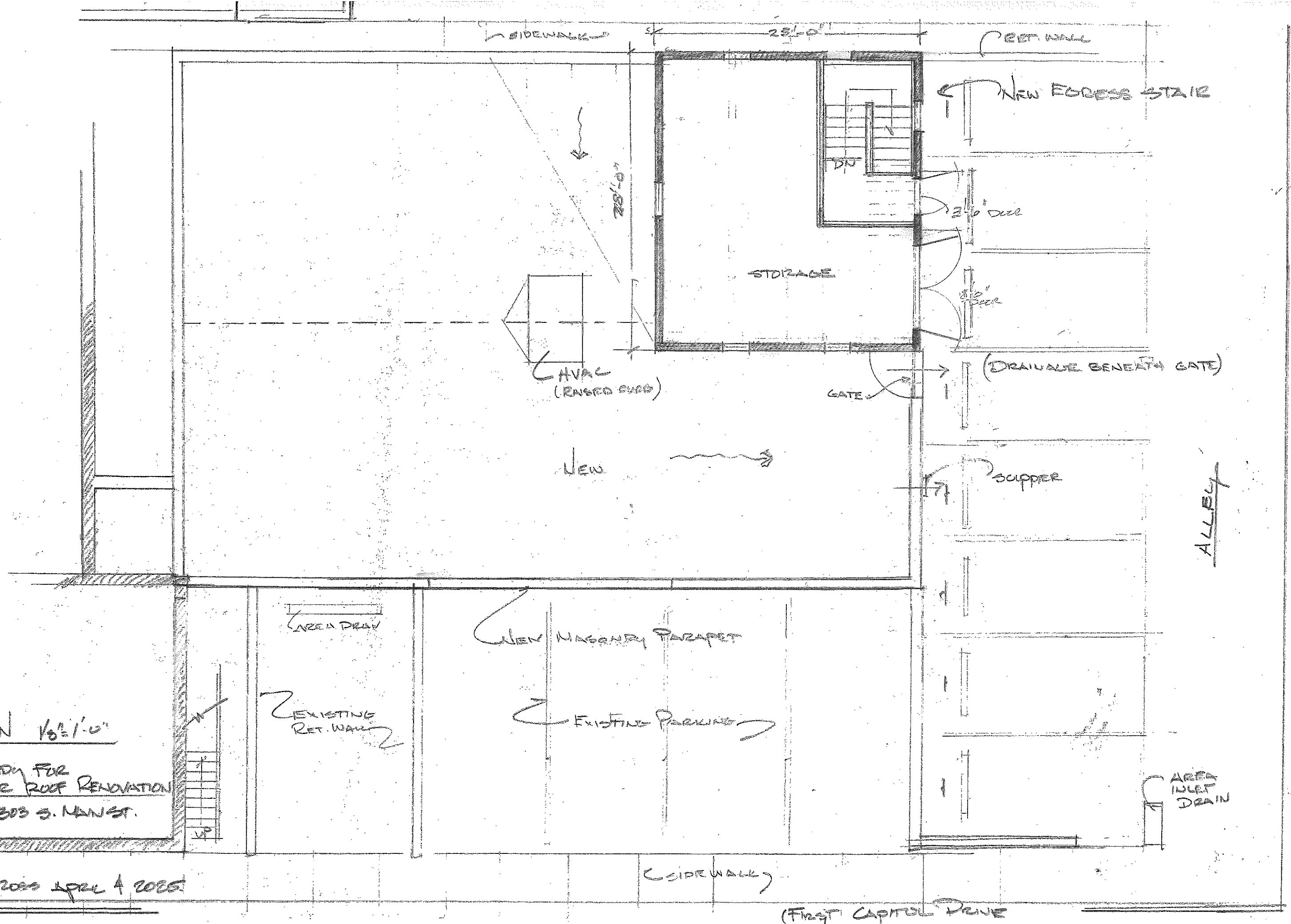
WEST ELEVATION & ALLEY  
1/8" = 1/40"

301-303 SOUTH MAIN STREET  
PROPOSED EXTERIOR RENOVATION TO 1970 ADDITION  
D. STROSS      4 APR 2015

PLAN 1/8" = 1'-0"

STUDY FOR  
REAR ROOF RENOVATION  
301-303 S. MAIN ST.

D. STROSS APRIL 4 2025



AREA DRAIN

EXISTING  
RET. WALL

NEW MASONRY PARAPET

EXISTING PARKING

(SIDEWALK)

(FIRST CAPITAL DRIVE)

AREA  
INLET  
DRAIN

ALLEY

SLOPPER

(DRAINAGE BENEATH GATE)

GATE

STORAGE

NEW EGRESS STAIR

RET WALL

SIDEWALK

28'-0"

25'-0"

DN

3'-0" DIA

3'-0" DIA

HVAC  
(RAISED CASE)

NEW

VP



STUDY FOR RENOVATION OF 1970 ADDITION

301-303 SOUTH MAIN ST. (GOELLNER PRINTING)

- NEW MASONRY PARAPET IN LIEU OF EXISTING PAWK (WROUGHT RAIL)
- NEW EXIST. STAIR STRUCTURE (DESCRIBED AS TRADITIONAL OUT BUILDING)

D STROSS APRIL 2025











**STAFF REPORT  
FENCE & DECK REPLACEMENT  
735 WASHINGTON STREET  
CASE NO. EC-2025-023**

**BY TAYLOR MOORE**

---

**APPLICANT:** Adriana Perrone  
735 Washington Street  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 735 Washington Street

**ZONING:** R-1E – Single-Family Residential  
EHP—Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** May 19, 2025

**BACKGROUND**

Built circa 1900, the subject property is the two-story, framed Folk-Victorian styled house located at 735 Washington Street in the Extended Historic Preservation District. The house is considered a contributing resource in the Midtown Neighborhood Historic District. The applicant is proposing to replace the existing rear privacy fence with an updated fence in the same location. Additionally, the applicant is proposing to replace the existing deteriorated rear deck with a new one in the same footprint. Elevations and a site plan showcasing the proposed alterations appear at the end of this report.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT**

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**SECTION 400.550: FENCES.**

- 1. *General provisions.*

- d. A permit is required for the construction or replacement of fences.
  - e. Fences constructed in the HDD, SMPD and all fences on corner lots in all superimposed historic districts shall require approval by the Landmarks Board.
2. *Residential districts.*
- b. Such fences or walls located on a double frontage lot as defined in Section [400.050](#), (Excluding Corner Lots) may project into the front yard space at the rear of the building, provided no portion of the frontage along the same street where the fence is proposed to be located is utilized as the principal entrance for the main building of any lot in the block.
  - c. Such fences or walls located on a corner lot and within a required front yard on the side of a property used as a principal entrance to the building on the lot are prohibited.
  - d. Such fences or walls located on a corner lot and within a required front yard on the side of a property not used as a principal entrance to the building on the lot shall not exceed seven (7) feet in height, shall be set back from the property line at least ten (10) feet
4. *Construction and Maintenance.*
- a. All fences must be constructed in a workmanship-like manner so that the horizontal and vertical support posts are inside of the fence area or hidden from both the neighbor's and general public's view. Fences must be straight and run parallel to the lot line.
  - b. No more than two (2) different types of fencing material (wood and chain link or two (2) types of wood) are permitted.
  - c. The use of barbed wire, single strand wire, wire mesh, wire grid or chicken wire fences along the perimeter or boundary of a property in a residential zoning district is prohibited.

## **REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

### **Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

3. Building Design
- c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
  - e. Attractiveness
  - f. Material selection

- g. Harmony and compatibility
- i. Maintenance aspects.

**STAFF RECOMMENDATION**

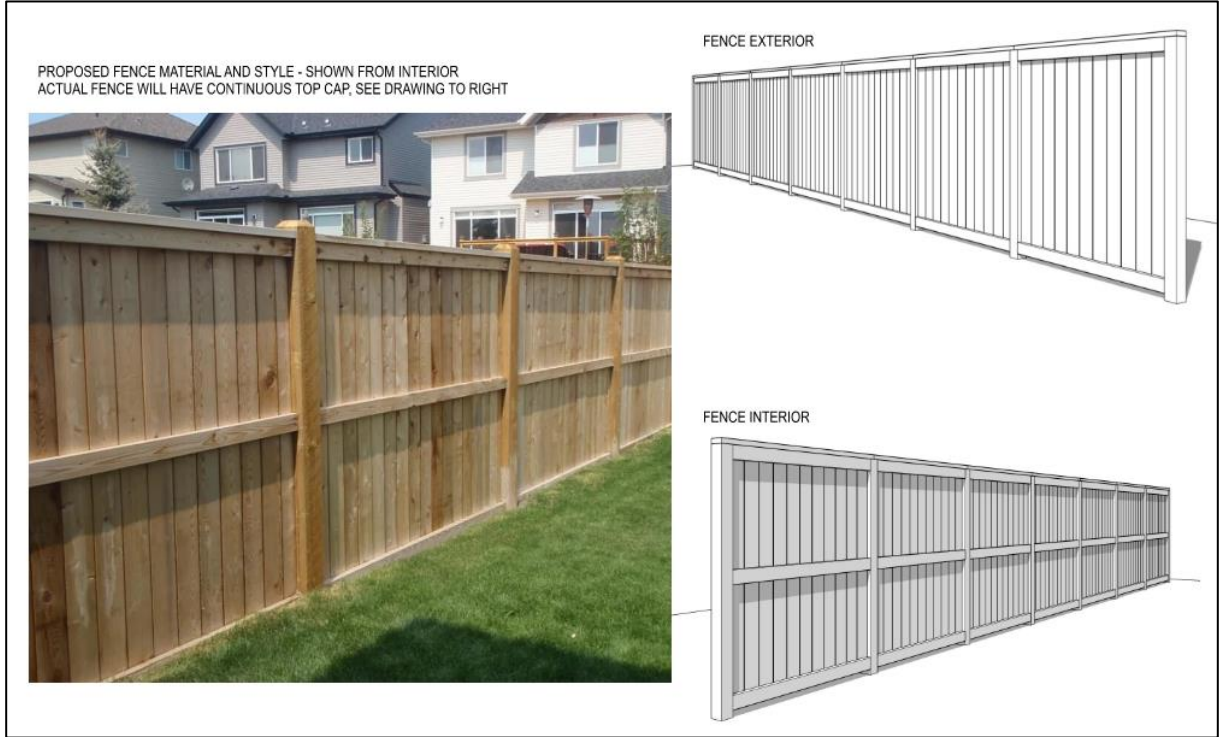
The proposed new fence will be wooden and replace the existing vinyl fence. The new fence will be placed in the same location as the existing, and will be an improvement to the property. The rear deck is deteriorated and in need of replacement. The proposed replacement will be constructed in the same location and will not feature a railing. Due to being less than 2'6" feet off the ground, the applicant has worked with the Building Department who stated a railing would not be required. While the deck is not an original feature to the home or visible from the street, the new deck, while appropriate in design, will not have any impact on the contributing status of the property. Therefore, Staff recommends approval of the work, as submitted.

**Recommended Motion:**

**Motion to approve a new fence and rear deck at 735 Washington Street, as submitted.**



**Figure 1: 735 Washington Street.**



**Figure 2: Proposed wooden replacement fence.**

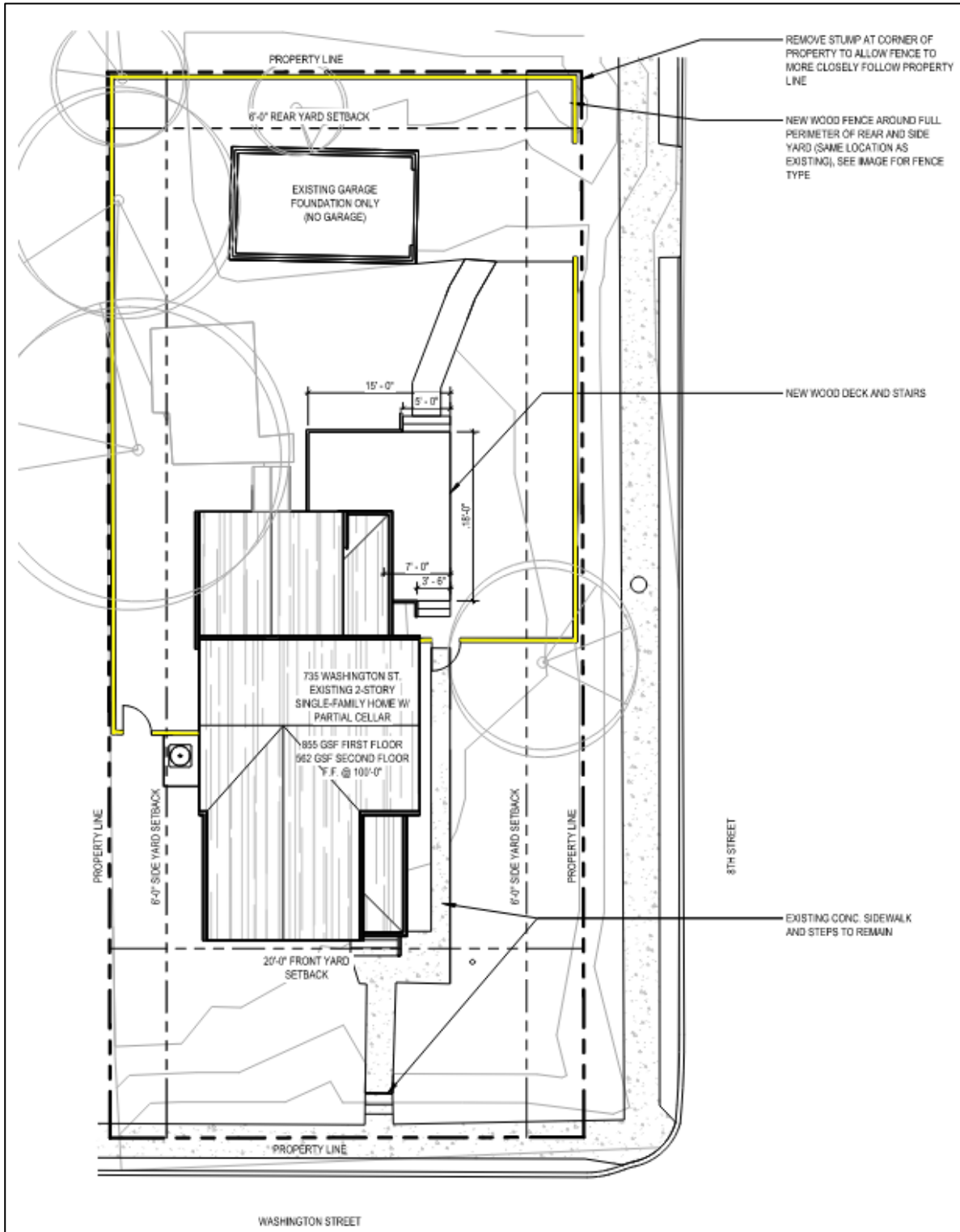
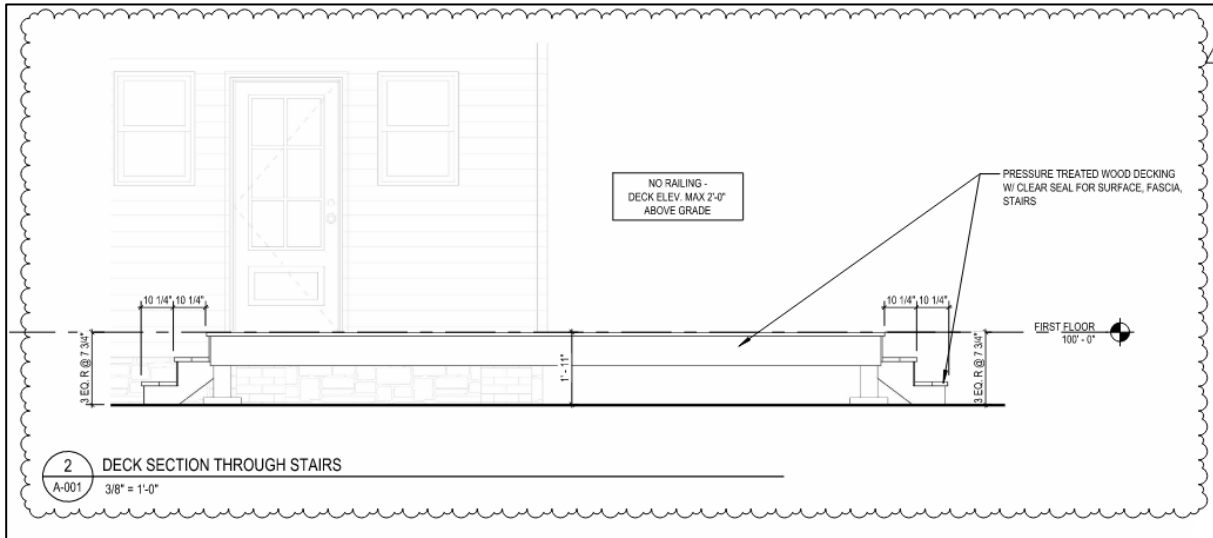


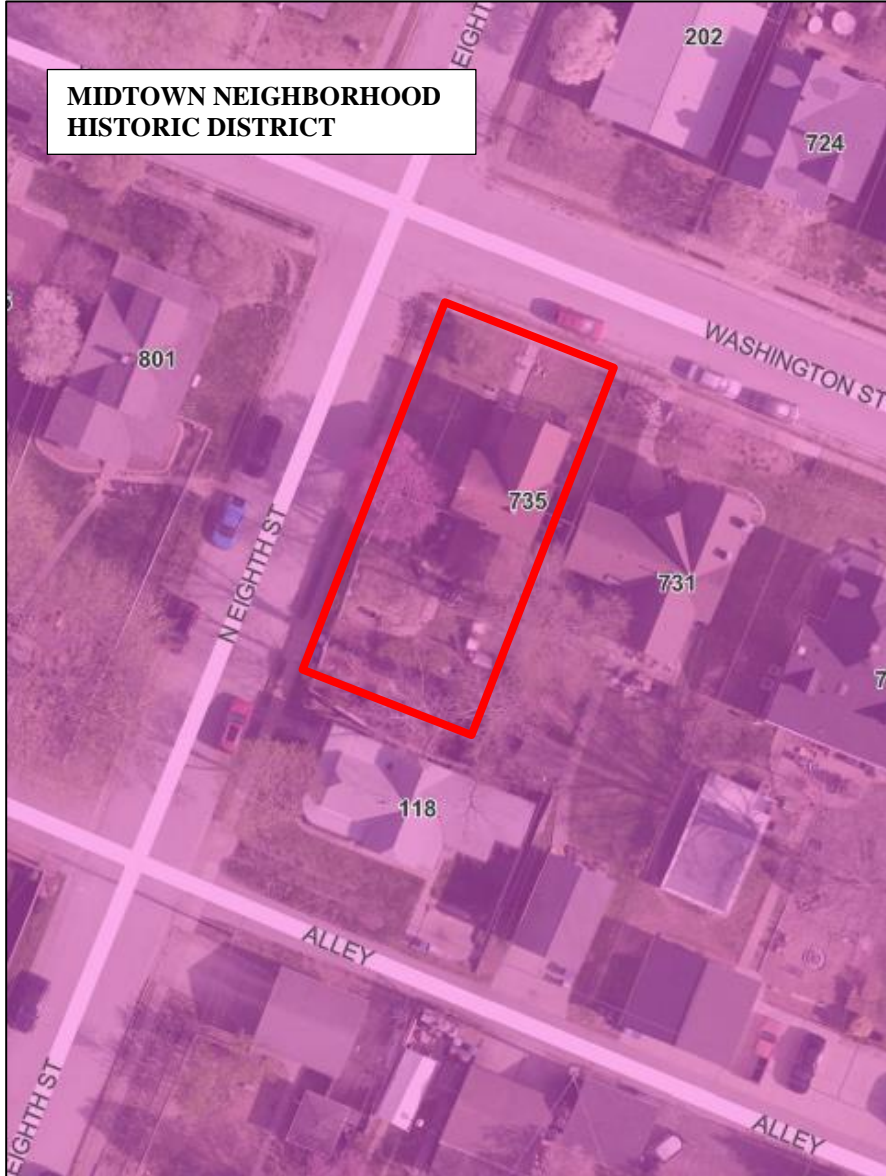
Figure 3: Site plan for proposed new fence.



**Figure 4: Proposed rear deck elevation.**



**Figure 5: Previous rear deck on property.**



**Figure 6: Subject property location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 735 Washington St., St. Charles, MO 63301

**BUSINESS NAME** (if applicable): n/a

**APPLICANT:**

Adriana Perrone

(Name)

735 Washington St., St. Charles, MO 63301

(Address)

636-734-0303 ap@adrianaperronearchitect.com

(Phone & Email Address)

**PROPERTY OWNER:**

Adriana Perrone

(Name)

735 Washington St., St. Charles, MO 63301

(Address)

636-734-0303 ap@adrianaperronearchitect.com

(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

**DATE OF ORIGINAL CONSTRUCTION:** 1900

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

The property at 735 Washington St. contains a two-story single-family residence. The home's style exhibits folk victorian characteristics and could be considered a gable-front upright and wing farmhouse. It currently sits in a state of extreme disrepair. The current siding is heavily damaged yellow aluminum with brown painted fascia, trim, and front porch. The front porch is deteriorated and slanting and has a damaged white vinyl handrail and carpeted deck and stairs. The existing windows are wood and have not been maintained or painted in many years and are in extreme disrepair. The existing vinyl fence is heavily damaged and has recently been further damaged (portions fallen down) by recent wind and hail prompting a need to replace it at this time. The existing deck at the rear of the property is also carpeted and rotten with no proper flashing against the house.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: \_\_\_\_\_

Demolish or move structure: \_\_\_\_\_

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): New fence and new deck

Other (briefly explain): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

These changes are in addition to the previously approved changes from the February 2025 Landmarks Board Meeting. At the time of that application, I wasn't sure when these additional changes would take place so I chose to wait to submit for approval in case I wouldn't have funds to complete the work within the 18-month period of approval. These additional exterior changes will include a new wooden fence around the property in the same location as the existing vinyl fence. The proposed fence style is included in the submitted drawing package. Also, a new wood deck will be constructed in the approximate location of the existing deck. At the portion of deck higher than 2'-6" above grade and at both sets of stairs, a steel cable rail will be installed. Elevation drawings are included in the submitted drawing package.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**APPLICATION SUBMITTAL:**


Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 4/23/25

Signature of the property owner: same as applicant Date: \_\_\_\_\_

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>



ARCHITECT:  
ADRIANA PERRONE, AIA

735 Washington St.  
St. Charles, MO 63301  
P: 636-734-0303  
E: ap@adrianaperronearchitect.com  
www.adrianaperronearchitect.com

GENERAL CONTRACTOR:  
ROB BITTICK CONSTRUCTION

423 Clark St.  
St. Charles, MO 63301  
P: 314-486-2721  
E: robbittickconstruction@gmail.com

AP RESIDENCE

735 WASHINGTON ST.  
ST. CHARLES, MO 63301

PERMIT SET

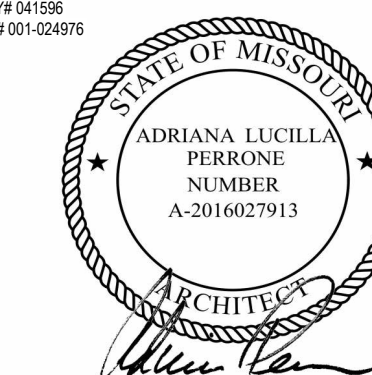
ISSUE DATE: 4/15/25  
DRAWN BY: ALP

REVISIONS

NO.	DATE	DESCRIPTION
1	05/05/25	REVISION 1

This drawing has been prepared under the architect's supervision. The architect disclaims any responsibility for the existing building structure, existing site conditions, existing construction elements, and any change or documents used for the project that are not signed and sealed by the architect. The information herein is of proprietary nature and is submitted in confidence for the use of our clients only. Unauthorized reproduction, distribution, or dissemination, in whole or in part, is prohibited. The information contained herein is and remains the property of Adriana Perrone, Architect and receipt or possession of this information confers no right in or license to disclose to others the subject matter contained herein for any but authorized purposes. All rights reserved. Copyright © 2024.

PROJECT NO: 2407-WASH  
05/05/2025  
Adriana Lucilla Perrone  
Architect  
MCA-A-2016027913  
NYA 041596  
ILF 031-024976



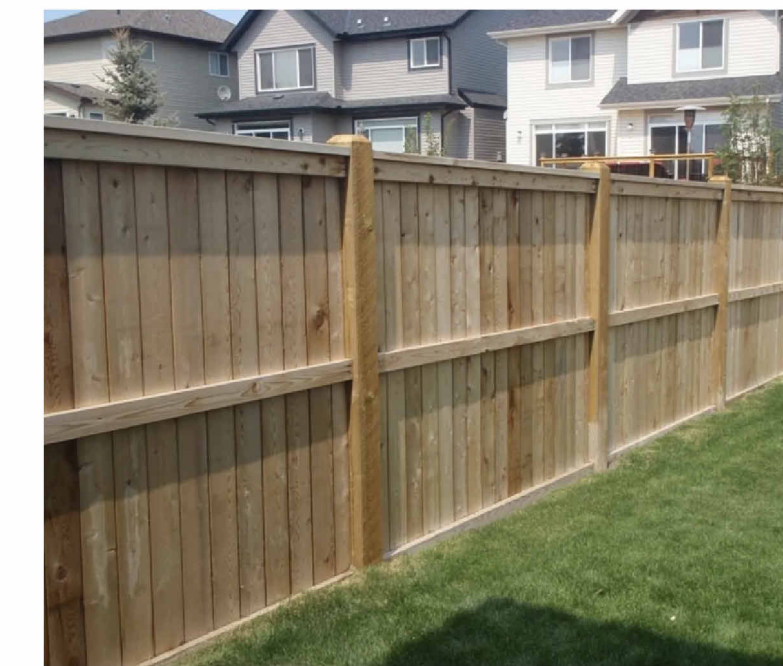
PROPOSED SITE  
PLAN AND DECK  
SECTION

A-001

DECK MATERIAL

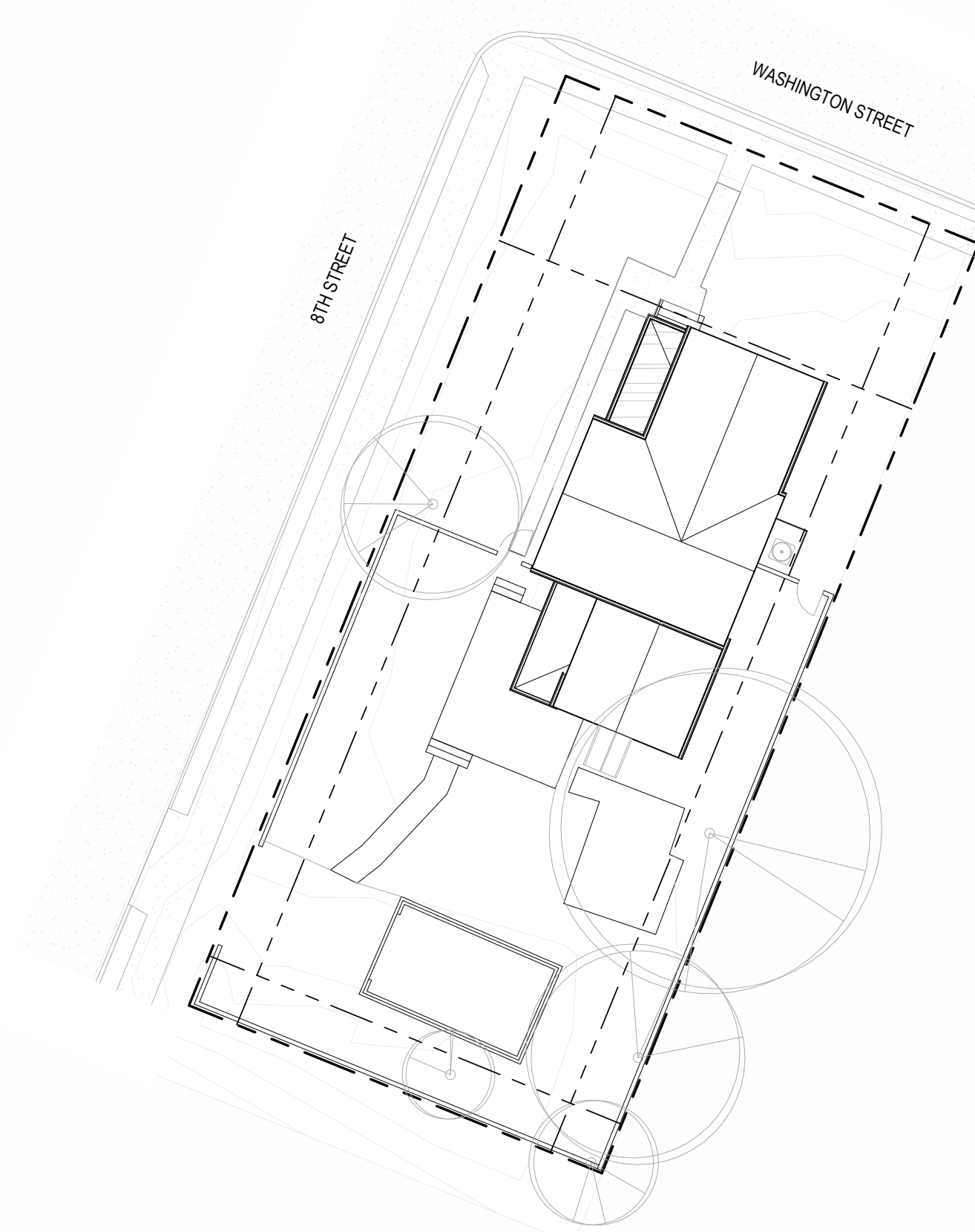
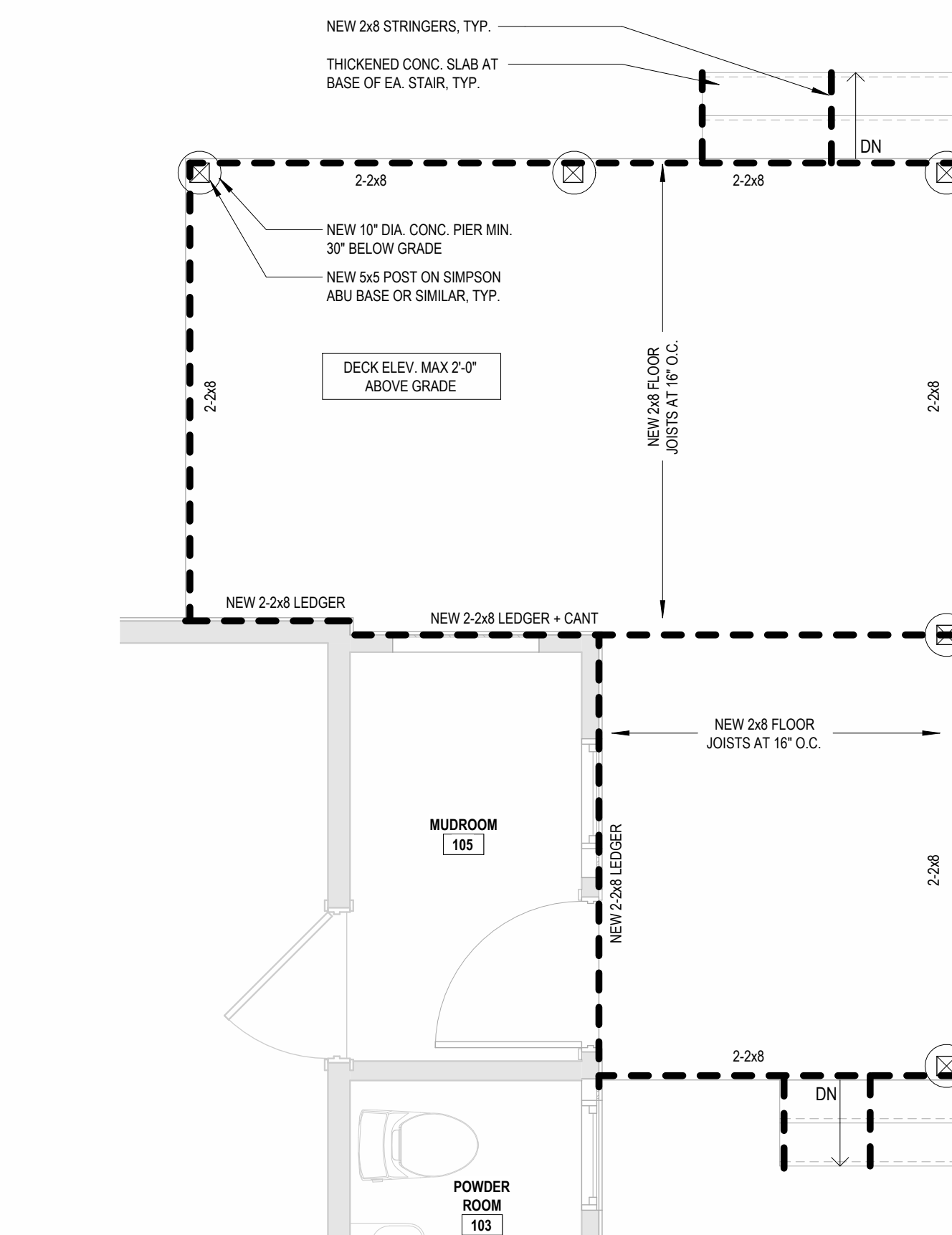
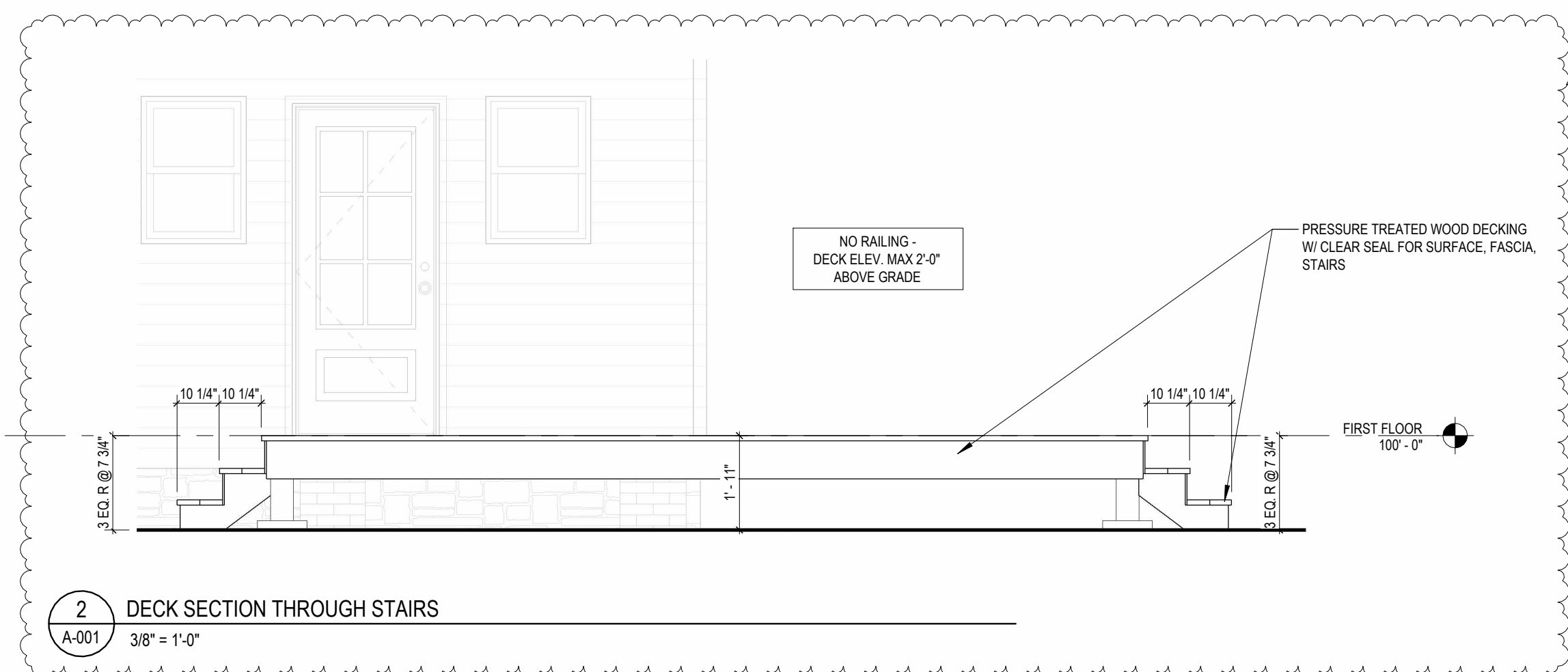
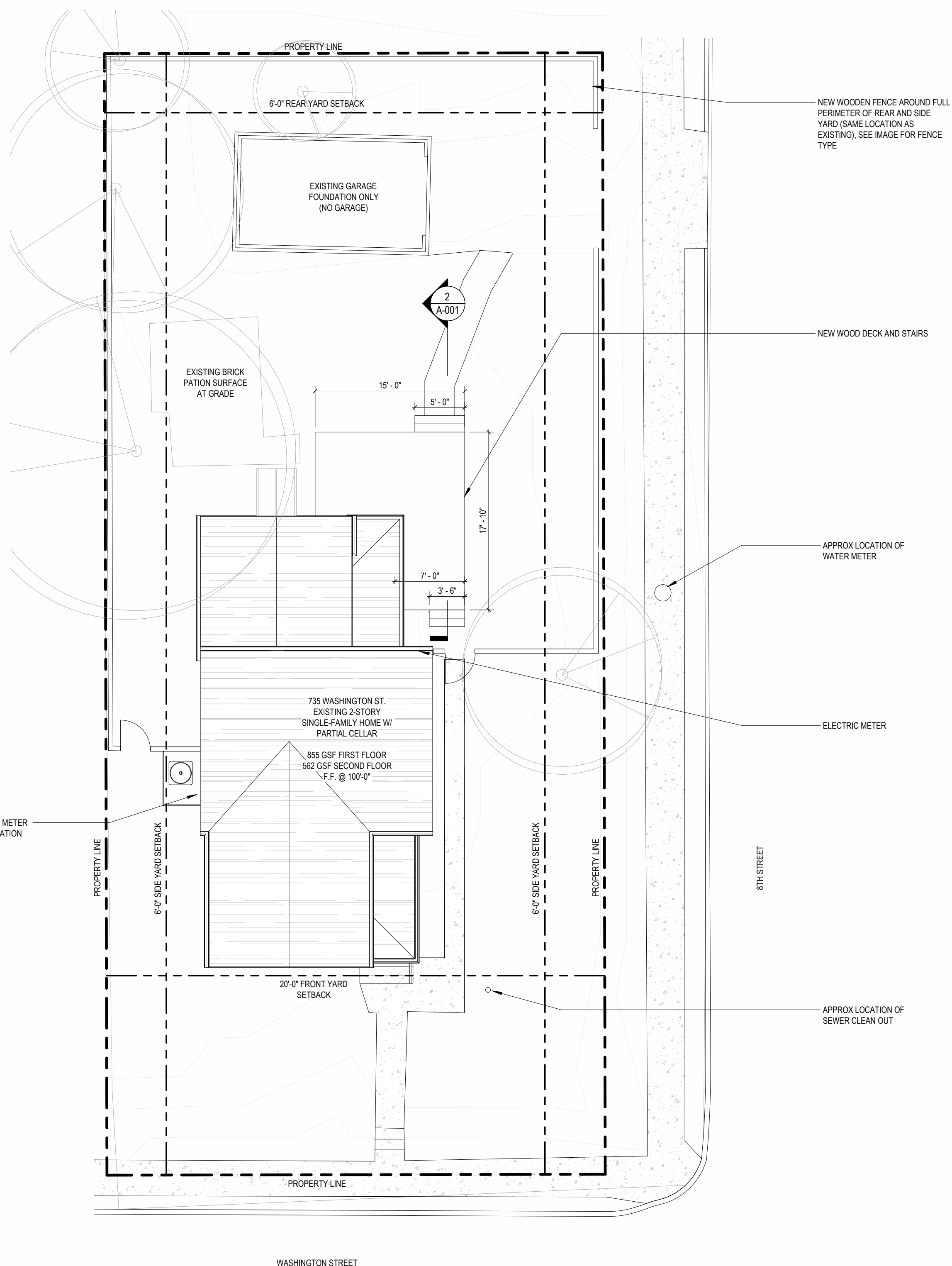


FENCE TYPE



SITE PLAN LEGEND

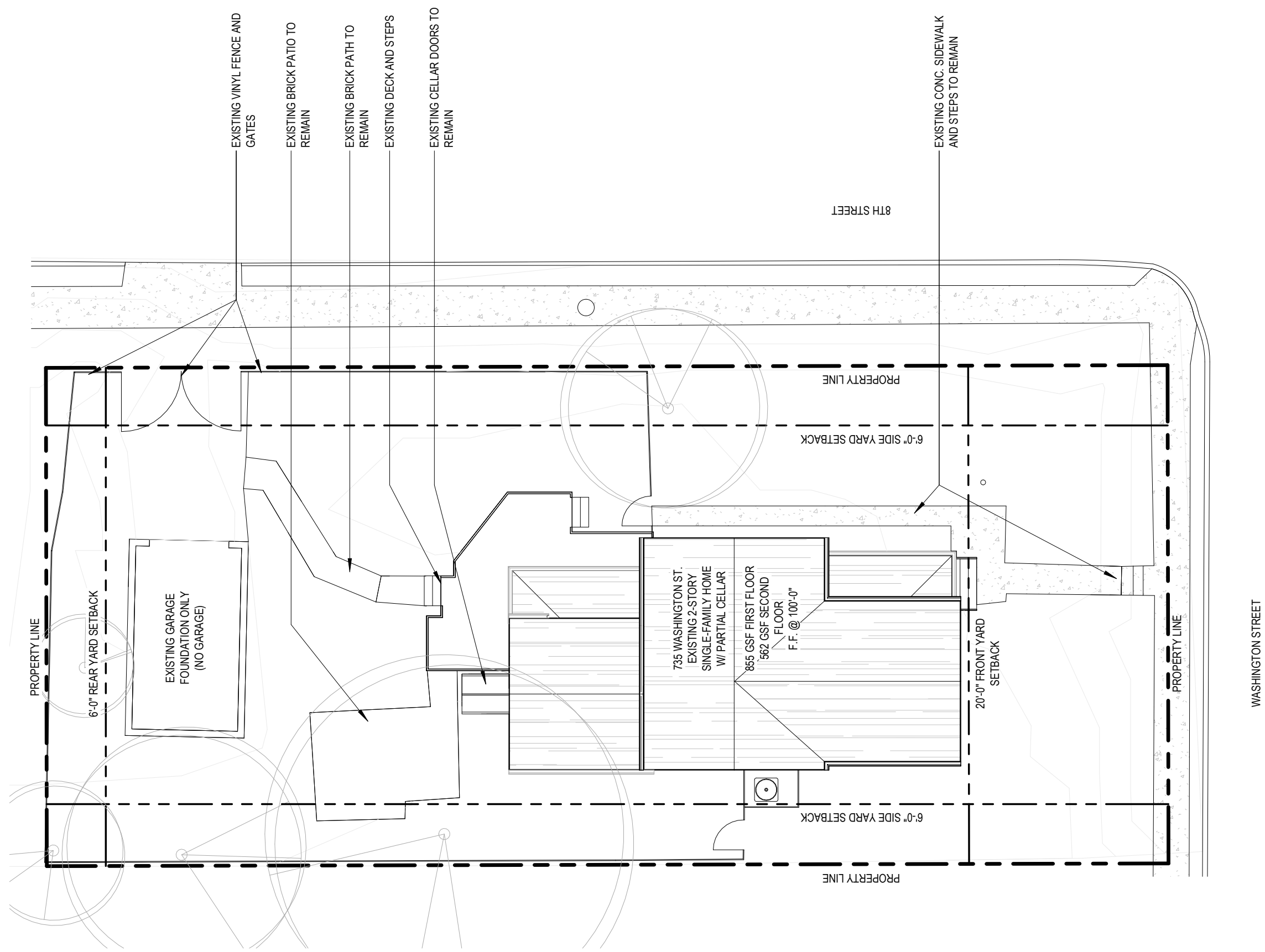
- TOPOGRAPHY - DEMOLISHED CONTOUR
- TOPOGRAPHY - MINOR CONTOUR
- TOPOGRAPHY - MAJOR CONTOUR
- - - LONG DASH - DEMOLISHED ELEMENT
- - - SHORT DASH - HIDDEN, SUB-SURFACE DRAIN PATH, ROCK SWALE
- /// VEGETATION - NEW PLANTING AREA
- GRAVEL



1 SITE PLAN - PROPOSED  
1/8" = 1'-0"

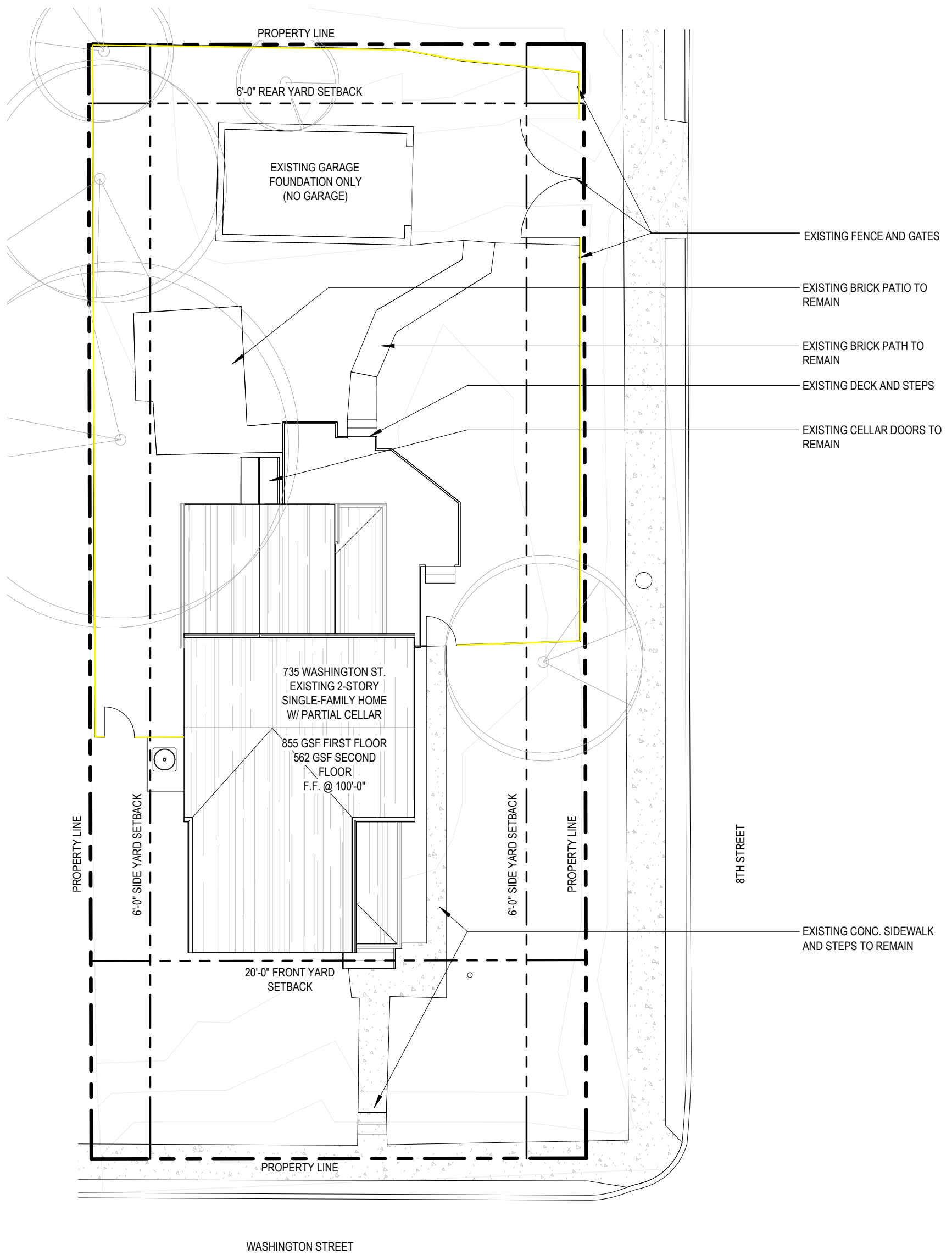
3 PROPOSED STRUCTURAL PLAN - DECK  
3/8" = 1'-0"

4 SITE PLAN - TRUE NORTH  
1/16" = 1'-0"

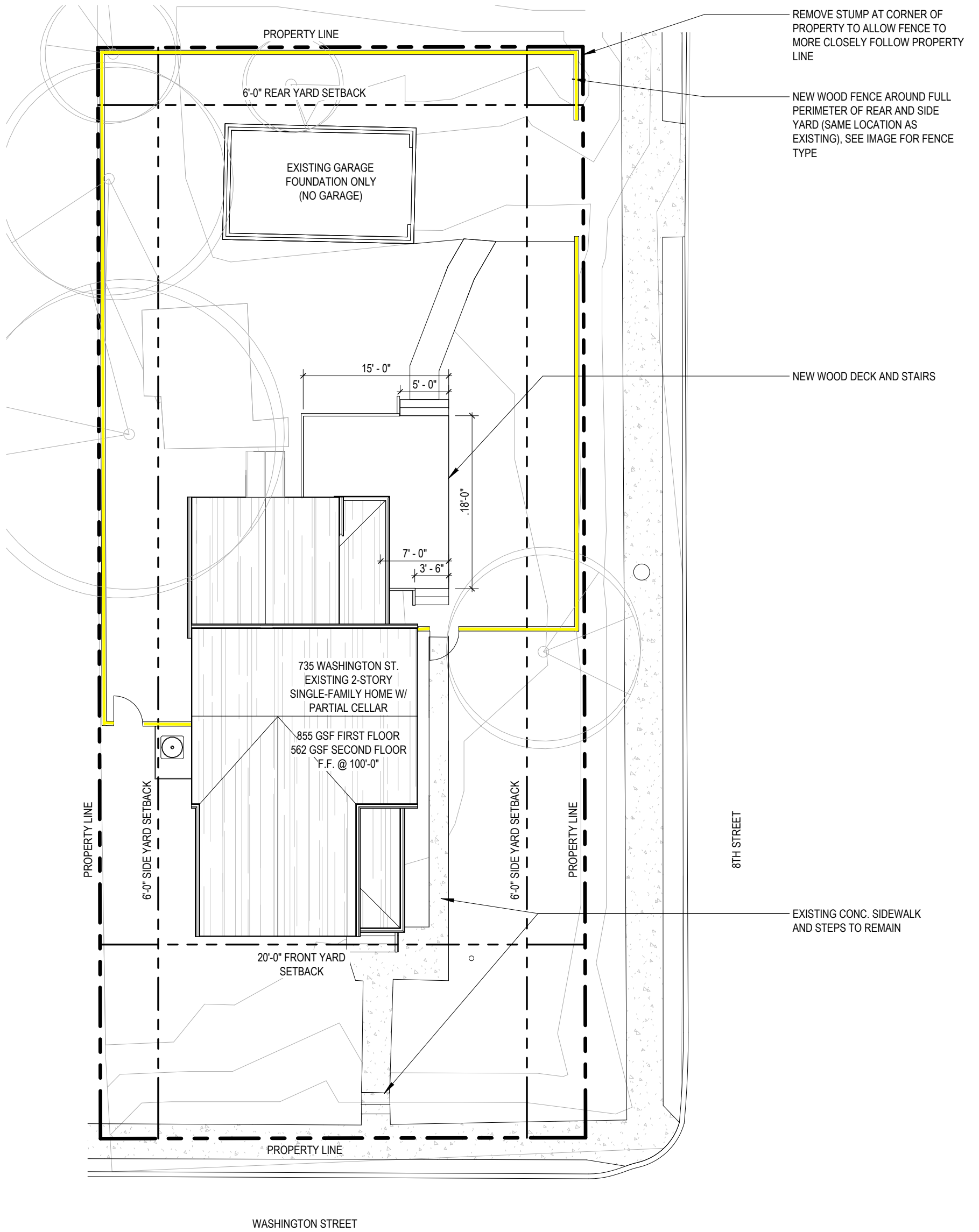


1 SITE PLAN - EXISTING

3/32" = 1'-0"



1 SITE PLAN - EXISTING  
- 3/32" = 1'-0"

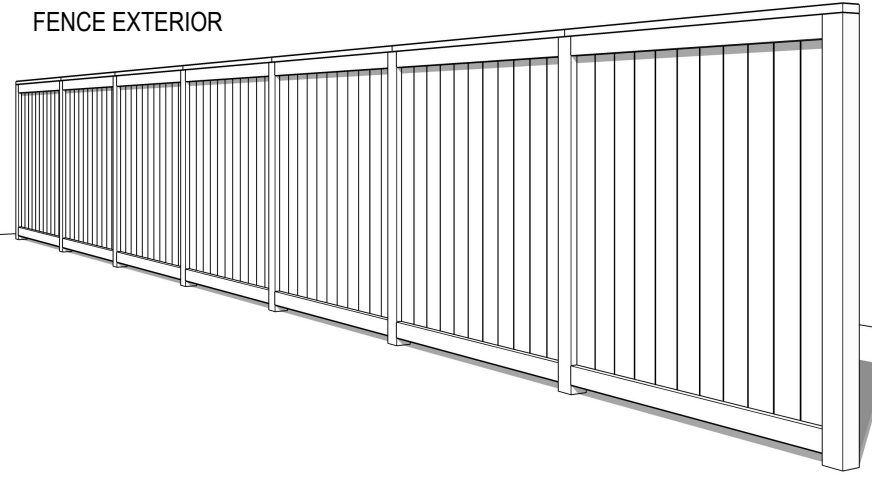


1 SITE PLAN - PROPOSED  
- 3/32" = 1'-0"

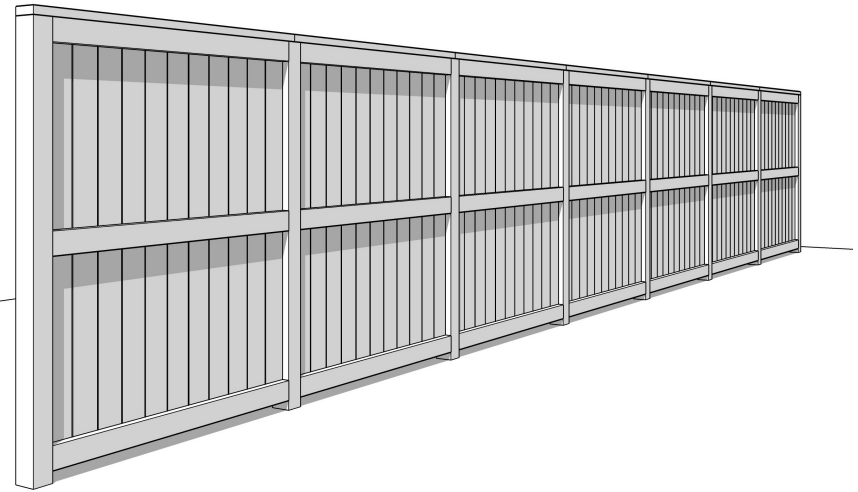
PROPOSED FENCE MATERIAL AND STYLE - SHOWN FROM INTERIOR  
ACTUAL FENCE WILL HAVE CONTINUOUS TOP CAP, SEE DRAWING TO RIGHT



FENCE EXTERIOR



FENCE INTERIOR





**ARCHITECTURAL LEGEND**

- EXISTING TO REMAIN
- - - DEMOLISHED
- NEW
- ▨ NOT IN SCOPE

**ARCHITECT:**  
**ADRIANA PERRONE, AIA**  
 735 Washington St.  
 St. Charles, MO 63011  
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**AP RESIDENCE**  
 735 WASHINGTON ST.  
 ST. CHARLES, MO 63301

**PERMIT SET**  
 ISSUE DATE: 4/15/25  
 DRAWN BY: ALP

**REVISIONS**

▲	DATE	DESCRIPTION

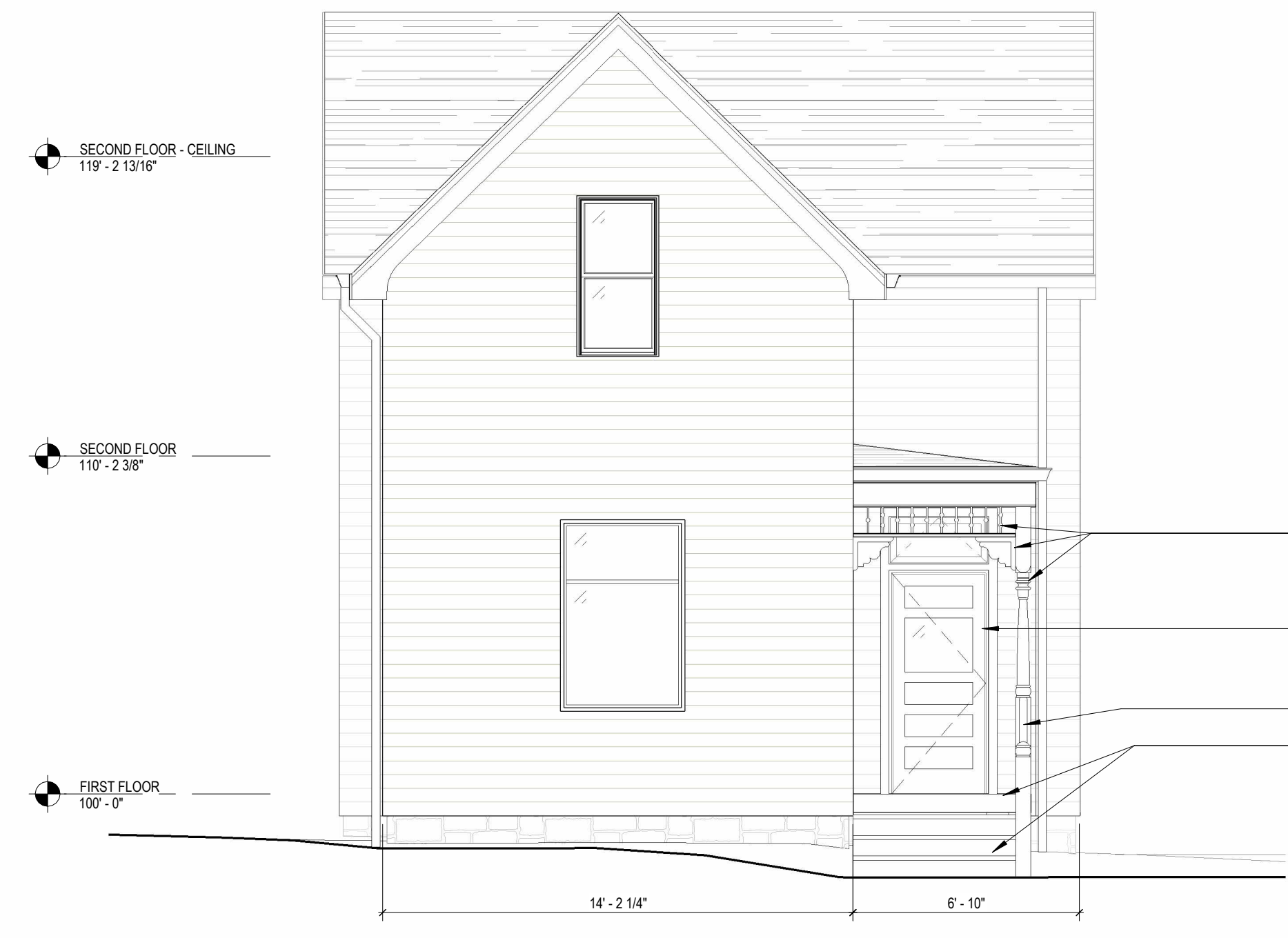
This drawing has been prepared under the architect's supervision. The architect disclaims any responsibility for the existing building structure, existing site conditions, existing construction elements, and any change or documents used for the project that are not signed and sealed by the architect. The information herein is of proprietary nature and is submitted in confidence for the use of our clients only. Unauthorized reproduction, distribution, or dissemination, in whole or in part, is prohibited. The information contained herein is and remains the property of Adriana Perrone, Architect and receipt or possession of this information confers no right in or license to disclose to others the subject matter contained herein for any but authorized purposes. All rights reserved. Copyright © 2024.

PROJECT NO: 2407-WASH  
 4/15/2025  
 Adriana Lucilla Perrone  
 Architect  
 MCA-A-2016027913  
 NYA 041596  
 ILF 031-024976



**PROPOSED EXTERIOR ELEVATIONS**

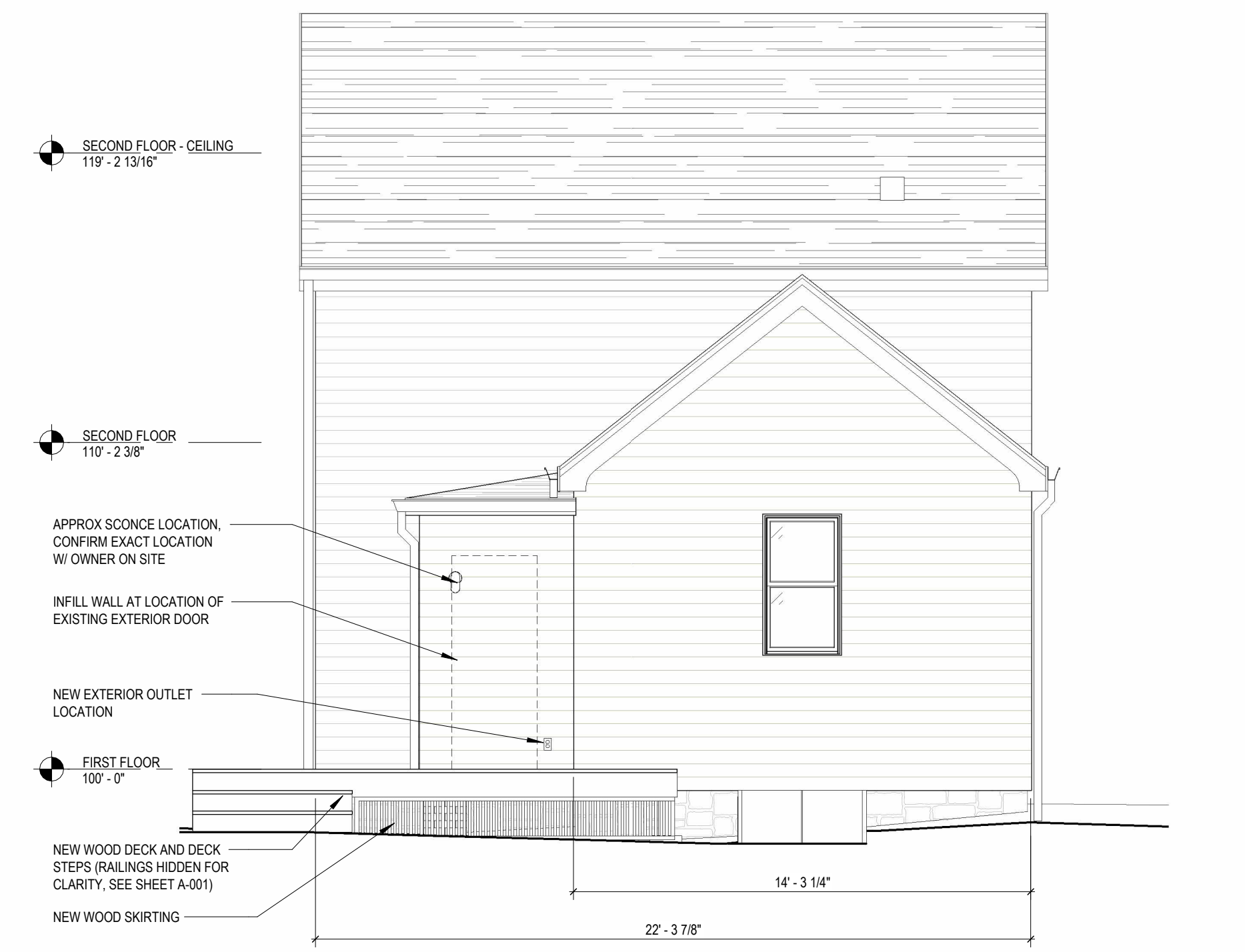
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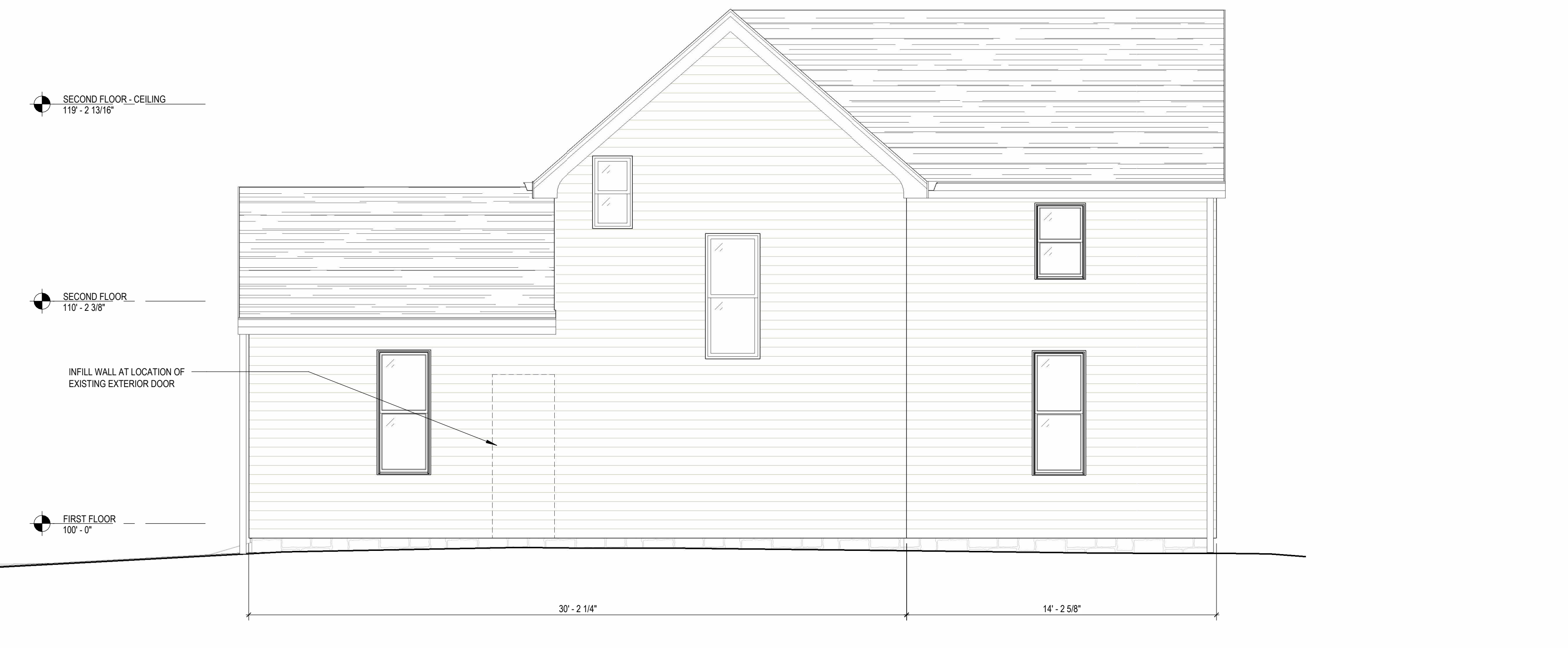
**1 NORTH ELEVATION**  
 A-100 1/4" = 1'-0"



**2 WEST ELEVATION**  
 A-100 1/4" = 1'-0"



**3 SOUTH ELEVATION**  
 A-100 1/4" = 1'-0"



**4 EAST ELEVATION**  
 A-100 1/4" = 1'-0"

4/16/2025 12:49:48 PM  
 \\Mac-Dropbox\AP\A\A\A\Projects\2407-735 WASHINGTON (WASH)\03-WASH-DRAWINGS\735 WASH-PERMIT SET.rvt

PROPOSED DECK MATERIAL - PRESSURE TREATED W/ CLEAR SEAL





**AGENDA ITEM #6C**

**STAFF REPORT  
ADAPTIVE REUSE OF SITE  
1001-1005 NORTH 2ND STREET  
CASE NO. SP-2025-004**

**BY TAYLOR MOORE**

---

**APPLICANT:** Cory King & Bill Barnes  
7379 Mariette Avenue  
Maplewood, MO 63143

**OWNER:** Bob Lawrence  
1003 North Second Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 1001-1005 North Second Street

**ZONING:** FD—Frenchtown District  
FPD—Frenchtown Preservation District

**USE:** Commercial—Side Project Brewing (Micro-Brewery)

**MEETING DATE:** May 19, 2025

**BACKGROUND/ANALYSIS**

Located in the Frenchtown Preservation District, the subject property is the one-story, Mid-Century Modern industrial structure located at 1001-1005 North Second Street. The primary structure was constructed in 1948 and currently houses the American Iron Company (was formerly the location of the Pundmann Motor Company automobile dealership). It is considered a non-contributing resource to the Frenchtown Historic District. The building's north addition at 1005 North 2<sup>nd</sup> Street was constructed sometime in the early 1970s, and is also considered non-contributing.

The applicant is requesting approval to adaptively reuse the property for a new location of Side Project Brewing, a micro-brewery. As part of this proposal, the 1970's metal-clad addition will be removed to accommodate a new parking lot (reviewed under the Demolition Section on page 8 of this report). The plans also include installation of windows in the brick veneer of the office portion of the building fronting North 2<sup>nd</sup> Street, which was previously approved by the Board in 2020. The site plan features the creation of a new outdoor gathering area situated between the building and proposed parking lot. This space will be turfed and include a serving station housed in a shipping container, along with space for yard games and seating for patrons. The current application also calls for removing a metal shed garage at the rear of the complex along Montgomery Street and constructing a new masonry dumpster enclosure and staff parking in its place. Accompanying the application are elevations, renderings, a site plan, and photographs of the property.



**Figure 1: Rendering of proposed Side Project Brewing site.**

**Building Elevations:**

The applicant has submitted exterior elevation drawings as part of the proposed adaptive reuse of the existing industrial structure. The following provides a summary of the proposed changes by elevation, based on comparison of the submitted plans and the current site conditions:

**East Elevation**

The primary, east elevation, is currently an industrial façade with limited architectural detailing. It consist of loading bays, minimal window openings, and recessed central drive lane for equipment. The proposed changes include the introduction of a new storefront windows on the southeast corner. This existing office space is primarily a brick veneer façade installed in the 1970's to cover the original car showroom windows. The proposed new windows and black trim framing will open the façade for patron experience. The existing garage doors will be replaced with glassed overhead doors to be harmonious and consistent with the proposed windows. This elevation will primarily consist of the new outdoor patio area which will feature seats for patrons, space for yard games, and a shipping container for an outdoor service station (see below Shipping Container section on page 4 of this report).



**Figure 2: Proposed eastern elevation.**

### North Elevation

The north elevation along Lawrence Street will mainly consist of the proposed parking lot with the removal of the metal-clad addition. This elevation will feature new windows and overhead garage doors as well to be consistent with the east elevation. The turfed patio area will be highly visible from this frontage, allowing for patrons to easily flow between the parking lot and main entrances to the structure. Two additional entryways will be featured on this elevation for access to added tenant spaces in the structure.



**Figure 3: Proposed north elevation.**

### South Elevation

The south elevation along Montgomery Street will consist of the new storefront windows towards the southeast corner, while housing the site's dumpster enclosure in the southwest corner. The existing metal-clad domed roof shed will be removed to provide room for the enclosure and rear staff parking. The dumpster closure will be masonry and feature wooden gates. The existing chain-link fence will be replaced with a black aluminum fence that will act as a barrier between the street and a small patio space.



**Figure 4: Proposed south elevation.**

### Shipping Container

While metal-clad buildings are prohibited within the Frenchtown Preservation District, shipping containers may be considered if they meet the requirements listed in [Section 400.290\(D\)\(9\)](#). The code requires shipping container structures to be painted or treated to prevent rust, affixed to a permanent platform, be certified by a Missouri licensed professional engineer as structurally sound, and shall not be utilized as a single-family dwelling. The applicant has agreed to comply with these requirements in order to place a shipping container on the site.



**Figure 5: Proposed shipping container design and placement.**

### Parking/Traffic Analysis:

The proposed parking lot will be located on the northern portion of the property. The existing metal-clad addition is to be removed to create space for a twenty-nine (29) stall surface parking lot. In accordance with [Section 400.290\(D\)\(8\)](#), off-street parking is waived for approved uses within the Frenchtown District. However, the proposal calls for the creation of a 4,256 sq. ft. outdoor patio area that will need to be accounted for in the parking schedule. City Code requires 3 parking stalls per one thousand (1,000) square feet for non-residential purposes. While the applicant is only required to provide thirteen (13) spaces, the 29 spaces, including 4 ADA stalls, is completely compliant with the requirements.

The parking lot will consist of two (2) entryways from Lawrence Street along with access from the western alley. The two lane drive aisle will be the required 26'6" length and the one way drive aisle will be the required 15'. Additional off-street parking will also be incorporated into the plans for the North 2nd Street Great Streets Plan.

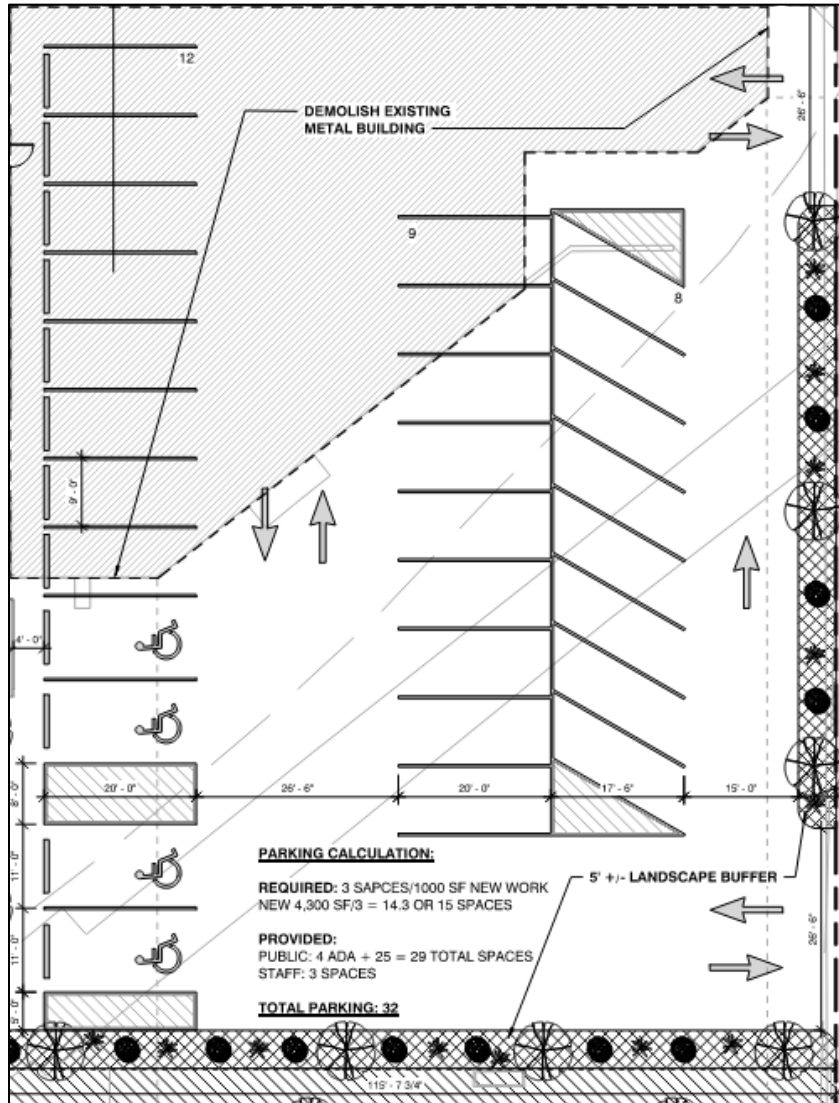


Figure 6: Proposed surface parking lot on property.

**Landscaping/Lightings:**

As discussed above, landscaping buffers of at least 5' are required where a parking lot adjoins the right-of-way. The applicant has provided the buffer on both the North 2<sup>nd</sup> Street frontage and Lawrence Street. The landscaping consists of the required 1 tree for every 50' and 1 shrub for every 5' within the landscaping perimeter. No landscaping islands are required and none of been proposed for this site.

While information on lighting fixtures has not been provided at this time, the applicant has stated the parking lot and site lighting will be designed to match historic aesthetics. Once the applicant decides on fixtures, the Board will need to review them in the future under separate application to ensure material and design are appropriate. It is important to also note the existing lights along North 2<sup>nd</sup> Street will be replaced by Engineering in the near future in accordance with the Great Streets Plan.

## **APPLICABLE DESIGN GUIDELINES**

### **SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT**

D. *Architectural Review for Non-Contributing Properties.* For non-contributing properties as provided in Section 400.340(C), Construction Permits within the Extended Historic Preservation District, every application for a building permit for construction of, additions to and exterior alterations of any building in the district shall be submitted to the HLPARB for review and approval.

### **Chapter V: Guidelines for New Construction and Alterations to Non-Contributing Structures**

#### **Form, Mass and Scale of an Addition**

- 4.7 A new addition shall be subordinate to the historic structure in scale and character.
- a. The addition shall be set-back significantly from primary facades.
  - b. The addition shall minimize destruction of historic material.
  - d. Set back an addition from historically important primary facades in order to allow the original proportions and character to remain prominent. Also consider setting the addition apart from the historic building and connect it with a “link.”

#### **Architectural Detail**

- 5.17 Architectural features that provide visual interest to pedestrians are encouraged.
- a. Building facades without ornamentation are inappropriate. It is part of the character of the district to have stylistic elements (i.e. cornices, pediments, brackets, dormers, joined chimneys, wooden shutters, transom and sidelights, etc.) seen on the historic structures.
- 5.19 A literal imitation of historic features is permitted.
- a. Use only materials and details similar in character to those employed historically on similar buildings.
  - b. Using the same kind of material as that employed historically is preferred. A newer material is acceptable if the form and design of the material itself conveys the visual appearance of that employed historically. For example, a metal window frame may be considered if it accurately conveys the dimension and profile of the wood windows seen traditionally. The finish shall match the original in appearance as closely as is possible.
- 5.20 A new architectural detail should relate to the comparable historic elements in general size, shape, scale and finish.
- 5.21 Materials shall appear similar in character to those used historically.

#### **Street Facades**

- 5.24 Incorporate the following character-defining elements of the street façade in all new residential structures.
- a. Employ brackets, turned posts and other special details.

#### **Windows**

- 5.29 Windows shall be of size and proportions as traditionally found in that building style.
- 5.30 Windows shall be similar in character to those of historic buildings in the district.
- 5.31 A window with vertical emphasis is encouraged.
- a. Repair rather than replacement is normally most appropriate
- 5.32 A window shall be simple in shape.
- 5.33 Use materials that appear similar to those seen historically.
- a. A new window should be similar design and construction of historic windows
  - b. Windows should be trimmed in wood.

### **STAFF RECOMMENDATION – SITE PLAN**

The building that is being physically impacted by the project is not a contributing resource to the Frenchtown Historic District. It was constructed in 1948 and has been heavily modified from its original appearance. The introduction of the new storefront windows will not have a detrimental impact on any historic resources or the streetscape as a whole and will improve the appearance of the building. The glass garage doors will be harmonious with the storefront windows and are a vast improvement to the current appearance. The proposed alterations offer visual interest to an existing industrial building within the historic district and soften the exterior of the building. The proposed masonry dumpster enclosure at the rear of the property is compliant with all applicable zoning codes and will not detract from the building or streetscape.

The proposed parking lot on the north end of the property is consistent with the requirements for the district, including the number of spaces, landscaping perimeter, and mandatory dimensions. The removal of the existing metal-clad addition with the new surface parking lot will be an improvement to the property and streetscape. While lighting was not finalized by the time of this submittal, proposed lights will return to the Board to ensure compliance with the district guidelines.

The proposed patio area, located in the front of the property will transform the existing industrial loading zone into an active, pedestrian friendly space. This improvement will enhance the 1000 block of North 2<sup>nd</sup> Street and support the adaptive reuse of the property to commercial from industrial. The repurposed shipping container structure located in this space will contribute to the overall industrial feel of the property, and allow for patrons to receive service while on the new patio. However, the shipping container must comply with all applicable district requirements regarding use and placement.

Overall, Staff believes the repurposing of this property from industrial to commercial use will help activate this portion of the Frenchtown District in accordance with the goals of the 2021 Frenchtown Great Street Plan as adopted by the City. The proposed improvements will contribute to increased foot traffic, enhanced street level activity, and greater visual interest. Furthermore, the planned extension of Main Street, anticipated to connect with North 2<sup>nd</sup> Street at the existing intersection to the south of the property, will further elevate the visibility of this corner. As a result, the conversion of this property becomes even more valuable with the districts ongoing revitalization efforts. Therefore, Staff recommends approval of the project, subject to the following conditions:

1. Exterior lighting fixtures for the parking lot and exterior shall be presented to Landmarks for review.
2. The proposed shipping container structure shall meet all requirements in Section 400.290(D)(9).
3. This approval is contingent on the approval of Conditional Use CU-2025-09 receiving approval from City Council.

### **Recommended Motion:**

**Motion to approve the exterior alterations and proposed site plan at 1001-03 North Second Street, subject to the conditions recommended by Staff.**

### **DEMOLITION ANALYSIS**

The City's Zoning Ordinance requires that as part of an application for a demolition in the historic districts, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided a detailed written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

*Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.*

- **Applicant: No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**
- **Staff: Staff concurs with this evaluation. This entire property was considered Non-contributing on the 1991 National Register Survey. Furthermore, the subject structure was constructed outside the period of significance for the local Frenchtown District.**
- 

*Criterion 2: The property's location as a site of a significant local, county, state or national event.*

- **Applicant: No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**
- **Staff: Staff concurs with this evaluation with similar evidence as Criterion 1.**
- 

*Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.*

- **Applicant: The Pundmann family is responsible for the primary building on the property which is to remain.**
- **Staff: Staff concurs with this evaluation. The proposed building for removal was not added till the 1970's, and is not directly associated with the Pundmann family.**

*Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.*

- **Applicant: No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**
- **Staff: Staff concurs with this analysis, the structure is a metal-clad building and was constructed outside the Period of Significance.**

*Criterion 5: The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant: No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**

- **Staff:** *Staff concurs with this analysis, no one has been identified with this portion of the building.*

*Criterion 6: The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant:** **No, the building being demolished is an accessory structure added later to the main building of historic significance on the site. It is of a lesser construction quality and character than the main structure and thus detracts from its character.**
- **Staff:** *Staff concurs with this analysis, the structure does not embody any significant architectural characteristics.*

*Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.*

- **Applicant:** **No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**
- **Staff:** *Staff concurs with this evaluation.*

*Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.*

- **Applicant:** **No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**
- **Staff:** *Staff concurs with this evaluation. While the structure is located off a highly traveled road and is extremely visible, it is not the most significant portion of the structure. The original structure and façade will remain while this 1970's addition will be removed.*

*Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.*

- **Applicant:** **No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**
- **Staff:** *Staff concurs, the structure is not utilitarian and is an addition to the primary structure on the property.*

*Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.*

- **Applicant:** **No, the building being demolished is an accessory structure added later to the main building of historic significance on the site.**
- **Staff:** *Staff concurs, as noted above, the property was listed as Non-contributing on the National Register survey as it was constructed outside the period of significance for the Frenchtown district.*

#### **SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL**

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has

- been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
  2. Its location as a site of a significant local, county, state or national event;
  3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
  4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
  5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;

6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
7. Its embodiment of design elements that make it structurally or architecturally innovative;
8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
10. The fact that it has yielded, or may be likely to yield, information important in history.

### **STAFF RECOMMENDATION – HISTORICAL SIGNIFICANCE**

Staff concurs that the northern addition to the structure is not historical and holds no significance to the site or the district. Additionally, due to being constructed outside the period of significance, the entire site was considered non-contributing to the Frenchtown District in the 1991 National Survey. The addition was constructed in the early 1970's, further out of the period of significance than the 1948 structure. After conducting a thorough review of the property utilizing the ten criteria; Staff determines that the structure is not historically significant to the district, and is able to be demolished.

### **Recommended Motions:**

**Motion to find the north 1970's addition at 1001-1005 North 2nd Street to be historically significant.** (*Staff recommends that this structure IS NOT found historically significant*).



**Figure 7: 1001-1005 North 2<sup>nd</sup> Street seen currently.**



**Figure 8: Existing metal-clad addition on north side of the property.**



**Figure 9: Property seen from alleyway.**



**Figure 10: Metal garage to be removed.**



**Figure 11: Property seen currently from Montgomery and North 2<sup>nd</sup> Street intersection.**

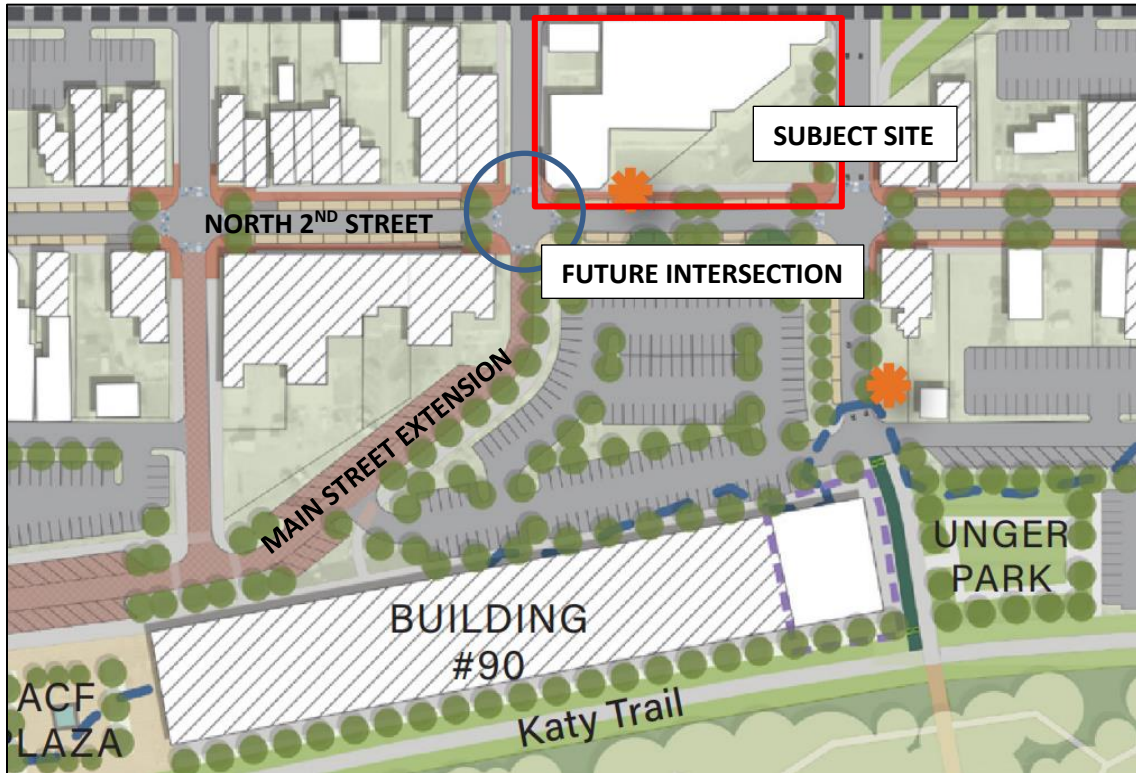


Figure 12: Proposed Main Street Extension intersection with North 2<sup>nd</sup> Street adjacent to site.

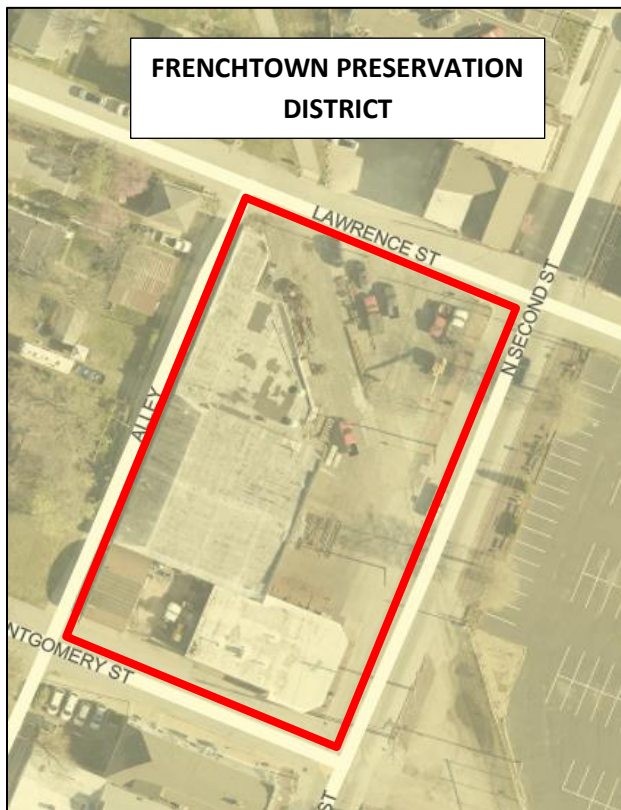


Figure 13: Subject property's location.



**Figure 14: Aerial view of subject property.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1001 and 1005 N. 2nd St., St. Charles MO 63301

BUSINESS NAME (if applicable): Side Project Brewing

APPLICANT: Cory King & Bill Barnes  
(Name)

7379 Marietta Ave., Maplewood MO 63143  
(Address)

Cory King: 573-450-5725 - cory@sideprojectbrewing.com | Bill Barnes: 314-578-1708 - wbarnes@nadesco.com  
(Phone & Email Address)

PROPERTY OWNER: Hot Iron LLC - Robert Lawrence  
(Name)

1003 N. 2nd St., St. Charles MO 63301  
(Address)

Cell: 314-220-7928 - bob@americanironco.com  
(Phone & Email Address)

#### HISTORIC DISTRICT LOCATION:

- Commons Preservation District                       Extended Historic Preservation District  
 Frenchtown Preservation District                       Historic Downtown Preservation District  
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1948 per St. Charles County Assessor's website

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

1001 N. 2nd St. is a 12,171 sf slab on grade masonry bldg. currently occupied by American Iron Co. and utilized as a metal fabrication shop. There is a quonset hut structure on the property utilized for storage.

\_\_\_\_\_

1005 N. 2nd St. is a 4,708 SF metal clad industrial bldg. with a lower level currently being utilized for storage by American Iron Co.

\_\_\_\_\_

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: Renovate 1001 N. 2nd St. for a future Side Project Brewery, restaurant and tasting room. Also 1 tenant space will be available for lease.

Construct a new structure: \_\_\_\_\_

Demolish or move structure: Demolish 1005 N. 2nd St. to create more parking.

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): 1005 N. 2nd St.: Construct parking lot after the building has been demolished.

Other (briefly explain): Create outdoor customer patio space in front of 1001 N. 2nd St.

\_\_\_\_\_

\_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

-Reintroduce storefront windows, glass and entry doors in the southern portion of 1003 N. 2nd St. which was the former Pudman Ford showroom.

\_\_\_\_\_

This area will be utilized by Side Project as the restaurant/bankitchen portion of their operation.

-Replace and upgrade doors, windows and overhead doors in the northern portion of 1003 N. 2nd St. which currently is the shop area of American Iron Co.

\_\_\_\_\_

This area will be utilized by Side Project as area for brewing operation, inside seating and inside games area.

-1005 N. 2nd St. building (north bldg) is planned to be demolished and the north property will be converted to a parking field. An estimated 35 new parks may be achieved.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: WR Barns III Date: 4-18-25

Signature of the property owner: Robert E. Lawrence Date: 4-18-25  
Robert E. Lawrence (Apr 18, 2025 12:53 CDT)

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>





4/14/2025 3:17:30 PM



General Contractor:

Civil Engineer:

Structural Engineer:

MEPF Engineer:

The Professional Architect's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this architect, and this architect expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.

This drawing and details on it are the sole property of the architect and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or part, or for any other purpose or project without the written consent of the architect.



TENANT BUILD-OUT  
**SIDE PROJECT BREWING**

No.	Description	Date
1	P&Z SUBMISSION	04-14-2025

Sheet Title:

**RENDERINGS**

Project Number: 25020  
 Drawn By: XX  
 Issue Date: XX-XX-2017

**A901**

C:\V Three Studios\Dropbox\Three Studios Team Folder\Arch\2025\2025\_Side Project\_SF\_St Charles\_041025.rvt

• Due to the property being located within the Frenchtown Preservation District and the proposed partial demolition, a Historical/Architectural Report is required in accordance with Section 400.1280(F). A licensed architect (or other listed professional) must address the ten criteria outlined in this section to determine whether the portion proposed for demolition holds historic significance. Note: The entire property is considered non-contributing to the district, so it is unlikely the proposed portion will hold any historical significance. **See Below:**

*Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:*

- 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country; **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***
- 2. Its location as a site of a significant local, County, State or national event; **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***
- 3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country; **The Pundmann family is responsible for the main building of historic significance on the site which is remaining.***
- 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material; **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***
- 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country; **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***
- 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant; **No the building being demolished is an accessory structure added later to the main building of historic significance on the site. It is of a lesser construction quality and character than the main structure and thus detracts from its character.***
- 7. Its embodiment of design elements that make it structurally or architecturally innovative; **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***

8. *Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City; **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***

9. *Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***

10. *The fact that it has yielded, or may be likely to yield, information important in history. **No the building being demolished is an accessory structure added later to the main building of historic significance on the site.***

**LANDMARKS BOARD - MINUTES**  
**April 21, 2025**  
**City Council Chambers, Fourth Floor City Hall**  
**200 North Second Street**  
**St. Charles, MO 63301**

**MEMBERS PRESENT**

Jill Ryan, Vice Chair  
Michelle Beucke  
Dave Settle  
Tom Smith  
John Donnelly  
Denise Mitchell, Council Liaison

**STAFF PRESENT**

Taylor Moore, Preservation Planner

Absent: Steve Martin, Chair

On Monday, April 21, 2025, at 6:00 p.m., the City of St. Charles Landmarks Board held its regular monthly meeting in the Council Chambers on the fourth floor of City Hall.

**1. Call to order and the roll.**

*The meeting was called to order by Jill Ryan at 6p.m. Taylor Moore called the roll.*

**2. Pledge of Allegiance.**

**3. Consent Agenda**

(A) Case No. EC-2025-010 201 Perry Street. Renewal by Anderson. The applicant is requesting approval to replace the rear doors on the dwelling [Extended Historic Preservation District, Ward 2].

(B) Case No. EC-2025-011 311 Pike Street. Amy Mixen. The applicant is requesting approval to install new siding on the dwelling [Extended Historic Preservation District, Ward 2].

(C) Case No. EC-2025-017 1100 North 5<sup>th</sup> Street. M & M Custom Fence and Deck. The applicant is requesting approval to install a new privacy fence on the property [Frenchtown Preservation District, Ward 1].

(D) Case No. EC-2025-018 213 North Main Street. Bruce Schwerdt. The applicant is requesting approval to install two new windows on the structure [Historic Downtown District, Ward 1].

*This item was removed.*

(E) Case No. EC-2025-019 211 Reservoir Street. Fredrick Lauer. The applicant is requesting approval to construct a new front porch on the dwelling [Extended Historic Preservation District, Ward 2].

*This item was removed.*

*Denise Mitchell made a motion to approve the remaining balance of the consent agenda, Michelle Beucke seconded the motion. All were in favor (6-0).*

**4. Removed Consent Items**

(A) Case No. EC-2025-018 213 North Main Street. Bruce Schwerdt. The applicant is requesting approval to install two new windows on the structure [Historic Downtown District, Ward 1].

*Bruce Schwerdt was present to answer questions for the Board. Michelle Beucke made a motion to approve the application, Tom Smith seconded the motion. All were in favor (6-0).*

- (B) Case No. EC-2025-019 211 Reservoir Street. Fredrick Lauer. The applicant is requesting approval to construct a new front porch on the dwelling [Extended Historic Preservation District, Ward 2].

***Fredrick Lauer was present to answer questions for the Board. Michelle Beucke made motion to approve the application, John Donnelly seconded the motion. All were in favor (6-0).***

## 5. Sign Permit Applications

- (A) Sign Permit No. 2025-944 901 1<sup>st</sup> Capitol Drive. Reach St. Charles. The applicant is requesting approval to install a new wall mounted sign for the business “Reach St. Charles” [Extended Historic Preservation District, Ward 2].

***Representatives from Reach St. Charles were present to answer questions for the Board. Michelle Beucke made motion to approve the sign application, Denise Mitchell seconded the motion. All were in favor (6-0).***

- (B) Sign Permit No. 2025-1029 1106 North 2<sup>nd</sup> Street. Marcia Randoll. The applicant is requesting approval to install new window signs for the business “La Riviere Events” [Frenchtown Preservation District, Ward 1].

***Russ Randoll present to answer questions for the Board. Michelle Beucke made a motion to approve the sign application. Tom Smith seconded the motion. All were in favor (6-0).***

- (C) Sign Permit No. 2025-1481 143 North Main Street. Rhonda Hollingsworth. The applicant is requesting approval to install a new awning sign for the business “Sage & Pine Home Co.” [Historic Downtown District, Ward 1].

***Rhonda Hollingsworth was present to answer questions for the Board. Tom Smith made a motion to approve the sign application. Michelle Beucke seconded the motion. All were in favor (6-0).***

- (D) Sign Permit No. 2025-1705 1312 North 2nd Street. Maurice Robinson. The applicant is requesting approval to install a new wall-mounted sign for the business “Big Mo’s BBQ” [Frenchtown Preservation District, Ward 1].

***Maurice Robinson was present to answer questions for the Board. Denise Mitchell made a motion to approve the sign application. Tom Smith seconded. All were in favor (6-0).***

- (E) Sign Permit No. 2025-1717 911 North 2nd Street. Derek Heidorn. The applicant is requesting approval to install a new wall-mounted sign for the business “Ink-Remedy” [Frenchtown Preservation District, Ward 1].

***Derek Heidorn was present to answer questions for the Board. Michelle Beucke made a motion to approve the sign application. Tom Smith seconded. All were in favor (6-0).***

## 6. Structure Review

- (A) Case No. EC-2025-012 550 Morgan Street. Scott Doughman. The applicant is requesting approval install three new windows on the dwelling [Commons Preservation District, Ward 1].

***The homeowner Madeline Young was present to answer questions for the Board. Michelle Beucke made a motion to approve the new windows on the dwelling. Denise Mitchell seconded the motion. All were in favor (6-0).***

- (B) Case No. EC-2025-008 409 Clark Street. Chris Carver. The applicant is requesting approval to install new windows and doors on the property, and to remove an existing chimney [Extended Historic Preservation District, Ward 1].

**Chris Carver was present to answer questions for the Board. Tom Smith made a motion to approve the exterior alterations. John Donnelley seconded the motion. All were in favor (6-0).**

- (C) Case No. EC-2025-014 401 Houston Street. Karen Dunman. The applicant is requesting approval to install new siding on the dwelling [Extended Historic Preservation District, Ward 1].

**Goat Construction was present to answer questions for the Board. Denise Mitchell made a motion to approve the new siding. Michelle Beucke seconded the motion. All were in favor (6-0).**

- (D) Case No. SP-2025-002 410 Houston Street. David Deep. The applicant is requesting approval to construct a carport off an existing garage in the rear of the property [Extended Historic Preservation District, Ward 1].

**David Deep was present to answer questions for the Board. Michelle Beucke made a motion to approve the carport. Tom Smith seconded the motion. All were in favor (6-0).**

- (E) Case No. EC-2025-013 922 South 3rd Street. Renewal by Anderson. The applicant is requesting approval to install a new front door and transom on the dwelling [Extended Historic Preservation District, Ward 2].

**Tony with Renewal by Anderson was present to answer questions for the Board. Michelle Beucke made a motion to approve the application subject to door option 3 (3/4 glass panel) door be installed. Denise Mitchell seconded the motion. All were in favor (6-0).**

- (F) Case No. D-2025-003 1901 North 2<sup>nd</sup> Street. SLT Demolition LLC. The applicant is requesting approval to demolish the fast food restaurant structure on the property [Frenchtown Preservation District, Ward 1].

**Steve Milles the property owner was present to answer questions for the Board. Denise Mitchell made a motion to find the structure historically significant. Michelle Beucke seconded the motion. None were in favor, all were opposed (0-6). The structure was found not-historically significant and permitted to be removed.**

- (G) Case No. EC-2025-015 701-703 Clark Street. Brighter Homes Investments. The applicant is requesting after-the-fact approval to install new windows and doors on the dwelling [Extended Historic Preservation District, Ward 1].

**Felina Higby, the homeowner, was present to answer questions for the Board. Tom Smith made a motion to approve the after-the-fact alterations. Michelle Beucke seconded the motion. All were in favor (6-0).**

- (H) Case No. EC-2025-016 800 Washington Street. Tom Hutchinson. The applicant is requesting approval to install low-rise steps off the dwelling. [Extended Historic Preservation District, Ward 1].

**Tom Hutchinson with Restore St. Charles was present to answer questions for the Board. Denise Mitchell made a motion to approve the proposed steps. Dave Settle seconded the motion. All were in favor (6-0).**

- (I) Case No. EC-2025-020 1010 North 3<sup>rd</sup> Street. Gerard C. Johns. The applicant is requesting approval to construct an addition off the rear garage [Frenchtown Preservation District, Ward 1].

**Gerard C. Johns was present to answer questions for the Board. Michelle Beucke made a motion to approve the addition to the rear garage. Denise Mitchell seconded the motion. All were in favor (6-0).**

**7. Announcements/Reports from Officers –**

- *Taylor Moore discussed with the Board the Missouri Main Street Conference that will be July 23-24, 2025 hosted in St. Charles. A Resolution was presented that was required for the Grant the City applied to in order to send Staff and Board Members to the Conference.*
- *Denise Mitchell mentioned during a City Council work session it was discussed to showcase Façade Grant award-winners with a sign in a yard.*
- *Denise Mitchell informed the Board the Landmarks Awards will be received at the May 20, 2025 City Council Meeting.*

**8. Staff Report – Christi Tennyson introduced as a candidate for the Lindenwood Neighborhood Chair Position**

**9. Approval of February 24, 2025 Meeting Minutes - Michelle Beucke made a motion to approve the minutes, Denise Mitchell seconded the motion. Five were in favor, 0 opposed, 1 abstained (6-0-1).**

**10. Approval of February 27, 2025 Subcommittee Minutes – Denise Mitchell made a motion to approve the minutes with the amendment to add Gene Wood’s Memorial award to be added to be on the May 20, 2025 City Council award ceremony. Michelle Beucke seconded the motion. All were in favor (6-0).**

**11. Adjournment**

*Michelle Beucke made a motion to adjourn, Tom Smith seconded. All were in favor (6-0). The meeting was adjourned at 6:36p.m.*

\_\_\_\_\_  
SECRETARY

\_\_\_\_\_  
DATE