



LANDMARKS BOARD

AGENDA FOR REGULAR MEETING

June 16, 2025

LANDMARKS BOARD:

Steve Martin, Chair
Jill Ryan, Vice Chair
Michelle Beucke
Dave Settle
John Donnelly
Tom Smith
Christi Tennyson
Denise Mitchell, Council Liaison

Mesdames and Gentlemen:

On Monday, June 16, 2025, at 6:00 p.m., the City of St. Charles Landmarks Board will hold its regular monthly meeting in the Council Chambers on the fourth floor of City Hall, 200 North Second Street, St. Charles, Missouri. The agenda for this meeting is as follows:

1. Call to order and call the roll

2. Pledge of Allegiance

3. Consent Agenda

(A) Case No. EC-2025-024 205 North 5th Street. David York. The applicant is requesting approval to install a new awning and shutters on the property [Extended Historic Preservation District, Ward 2].

(B) Case No. EC-2025-025 700 South 5th Street. Aaron Groff. The applicant is requesting approval to install new windows on the structure [Extended Historic Preservation District, Ward 2].

4. Removed Consent Items

5. Sign Permit Applications

(A) Sign Permit No. 2025-2391 200 North Main Street. Carrie Hodapp. The applicant is requesting approval to install three new sign for the business “The Divine Otter Hotel” [Historic Downtown District, Ward 1].

(B) Sign Permit No. 2025-2657 316 South 2nd Street. Holly Avis. The applicant is requesting approval to install two signs for the business “Wrinkle” [Extended Historic Preservation District, Ward 2].

6. Structure Review

(A) Case No. EC-2025-026 815 Monroe Street. Donald Goette. The applicant is requesting approval to construct new rear decks on the dwelling [Extended Historic Preservation District, Ward 2].

(B) Case No. EC-2025-028 971 North Kingshighway Street. Renewal by Anderson.

The applicant is requesting approval to install new windows on the dwelling [Extended Historic Preservation District, Ward 1].

- (C) Case No. D-2025-04 519 South Main Street. Donna Hafer. The applicant is requesting approval to remove an accessory structure from the property [South Main Preservation District, Ward 2].
- (D) Case No. SP-2024-034 727 Jackson Street. David Nafar. The applicant is requesting approval to make exterior alterations and construct a rear addition on the dwelling [Extended Historic Preservation District, Ward 2].
- (E) Case No. EC-2025-027 924-926 North 2nd Street. Jeffrey Besselman. The applicant is requesting to construct a new front balcony, a rear porch, and make several exterior alterations to the structure [Frenchtown Preservation District, Ward 1].

- 7. **Announcements/Report of Officers**
- 8. **Staff Reports**
- 9. **Approval of May 19, 2025 regular meeting minutes**
- 10. **Adjournment**

*The next regular meeting of the Landmarks Board is scheduled for
Monday, July 21, 2025 at 6:00pm*

*The submittal deadline for the July 21, 2025 meeting is June 16, 2025.
(June 23, 2025 for signs)*

INCLEMENT WEATHER: In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY – for the hearing impaired).

The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk's Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.

Agenda posted on 6/12//2025 @ 12pm by TRM



AGENDA ITEM #3A

**STAFF REPORT
NEW AWNING & SHUTTERS
205 NORTH FIFTH STREET
CASE NO. EC-2025-024**

BY TAYLOR MOORE

APPLICANT: Dave York
2500 S. Old Hwy 94, Ste. 200
St. Charles, MO 63303

OWNER: T.G.L. Properties
2500 South Old Hwy. 94, Suite 200
St. Charles, MO 63303

ADDRESS/LOCATION: 205 North Fifth Street

ZONING: C-2—General Business District
EHP—Extended Historic Preservation District

USE: Commercial—205 Executive Building

MEETING DATE: June 16, 2025

BACKGROUND

The subject property is an office building located at 205 North Fifth Street in the Extended Historic Preservation District. According to the county tax records, the two-and-one-half story, masonry building was constructed in 1930. Due to the main façade being extensively altered, this property is also considered a noncontributing structure to the Midtown Neighborhood District. The applicant is requesting approval to remove the existing awning above the main entryway and replace with a new black awning. The applicant is also requesting to remove all awnings above the windows and replace them with black shutters. Photographs of the property appear at the end of this report.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and

Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used by the HLPARB shall apply to the review of construction permits under this subsection.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
- (3) Materials shall be of durable quality.

e. Colors shall be harmonious and shall use only compatible accents.

7. Maintenance-Planning and Design Factors

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF RECOMMENDATION

The existing green awning over the front entryway is to be replaced with a new black awning. The new awning will not feature any signage. The green semi-circle awnings above the windows on the front façade will be removed and replaced with black shutters. The proposed alterations are consistent with the Zoning Ordinance's design standards and with the general intent of the guidelines for properties located within the Extended Historic Preservation District. Therefore, Staff recommends approval of the alterations, as submitted.

Recommended Motion:

Motion to approve the new front awning and window shutters at 205 North 5th Street, as submitted.



Figure 1: Subject structure seen currently from North 5th Street.



Figure 2: Proposed shutters.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 205 N 5th Street, St. Charles MO 63301

BUSINESS NAME (if applicable): _____

APPLICANT: Dave York
(Name)

2500 S Old Hwy 94, STE 200 ST Charles MO 63303
(Address)

636.946.0761 amy@corporategrp.com
(Phone & Email Address)

PROPERTY OWNER: TGL Properties, LLC
(Name)

2500 S. Old Hwy 94, ST 200 St. Charles MO 63303
(Address)

636.946.0761 amy@corporategrp.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 20+ years

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Commercial office spaces.

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: _____
 - Construct a new structure: _____
 - Demolish or move structure: _____
 - Construct a new addition: _____
 - New sign or awning: New awning and shutters.
 - Site work (patio, fence, etc.): _____
 - Other (briefly explain): _____
-
-

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Remove awning above main door and replace with new black awning (no signage will be on the new awning). Remove all awnings above windows; replacing with black shutters.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: [Signature] Date: 5/19/25

Signature of the property owner: [Signature] on behalf of TGL Properties LLC. Date: 5/19/25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:
Site Plan: \$200.00
Exterior Changes & Demolitions: \$50.00



**STAFF REPORT
WINDOWS
700 SOUTH FIFTH STREET
CASE NO. EC-2025-025**

BY TAYLOR MOORE

APPLICANT/OWNER: Aaron Groff
700 South Fifth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 700 South Fifth Street

ZONING: T5-CBD—Central Business District
EHP—Extended Historic Preservation District

USE: Commercial—Sucrose Bakery Café

MEETING DATE: June 16, 2025

BACKGROUND

The subject property is 700 South Fifth Street, which is a corner lot in the Extended Historic Preservation District and the Fifth Street/Hospital Overlay District. According to the County’s tax parcels database, the 1½-story, side-gabled, Federal brick house was built in 1890. The rear portion of the property is an addition that is believed to have been constructed in the 1970’s. The structure has been rehabilitated for the use of Sucrose Bakery Café. The applicant is requesting approval to replace all the windows on the structure, as many were damaged in a hail storm in 2024. The proposed windows will be like-for-like in configuration, and design. Accompanying the application is the window specification cut sheet and existing photographs of the structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used by the HLPARB shall apply to the review of construction permits under this subsection.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
- (3) Materials shall be of durable quality.

e. Colors shall be harmonious and shall use only compatible accents.

7. Maintenance-Planning and Design Factors

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF RECOMMENDATION

The applicant has stated they plan to replace all windows on the structure in portions for financial purposes. The proposed windows will be like-for-like of the existing, and will be more energy efficient than those seen currently. While majority of the structure being new construction, and the window color, design, and dimensions matching the existing, Staff recommends approval of the window replacements, as submitted.

Recommended Motion:

Motion to approve the installation of all new like for like windows at 700 South Fifth Street, as submitted.



Figure 1: Front façade of subject property.



Figure 2: North elevation of the building along Perry Street.



Figure 3: South elevation of the structure.



Figure 4: Rear of structure.

PROPERTY OWNER:

A.GroffLLC

CO. Aaron Groff

(Name)

3450 Riverchase Pkw, St. Charles, MO 63301

(Address)

314-288-9176. info@sucrosebakerystl.com

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District Frenchtown Preservation District Historic Downtown Preservation District South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: Uncertain. Addition in late 80's

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Our building is mostly brick with some vinyl siding. We have a parking lot and our building backs up to Perry St. We keep it well landscaped and have a small garden and green space for anyone to enjoy.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore:

_____ Construct a new structure: _____ Demolish

or move structure: _____

Construct a new addition:

_____ New sign or awning:

(patio, fence, etc.): _____

Other (briefly explain): We are wanting to replace windows.

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

With the hail storm at the end of last year we had some damage to windows and screens. We are looking to replace outdated and broken windows with newer and more efficient versions. They will be replaced with similar versions that will show no noticeable change in current product. We hope this leads to a more efficient building by controlling interior conditions which will intern help preserve the quality of our building. Also a more efficient building will be less taxing on our utility services intern saving us money that we may reinvest in our business, building and community.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

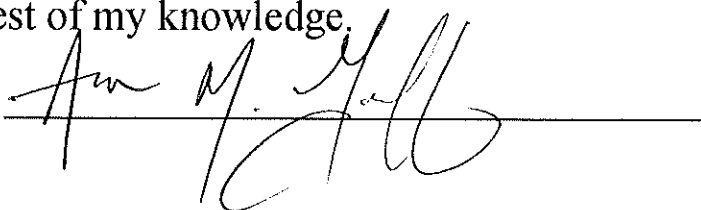
1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - The actual shape and dimension of the lot.
 - Any existing or proposed building, accessory building, and their locations upon the lot.
 - Photos of existing structures.
 - Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: _____

Date: 5/13/25

A handwritten signature in cursive script, appearing to read "Ann M. Hall", is written over a horizontal line. The signature is written in black ink.

Signature of the property owner: _____

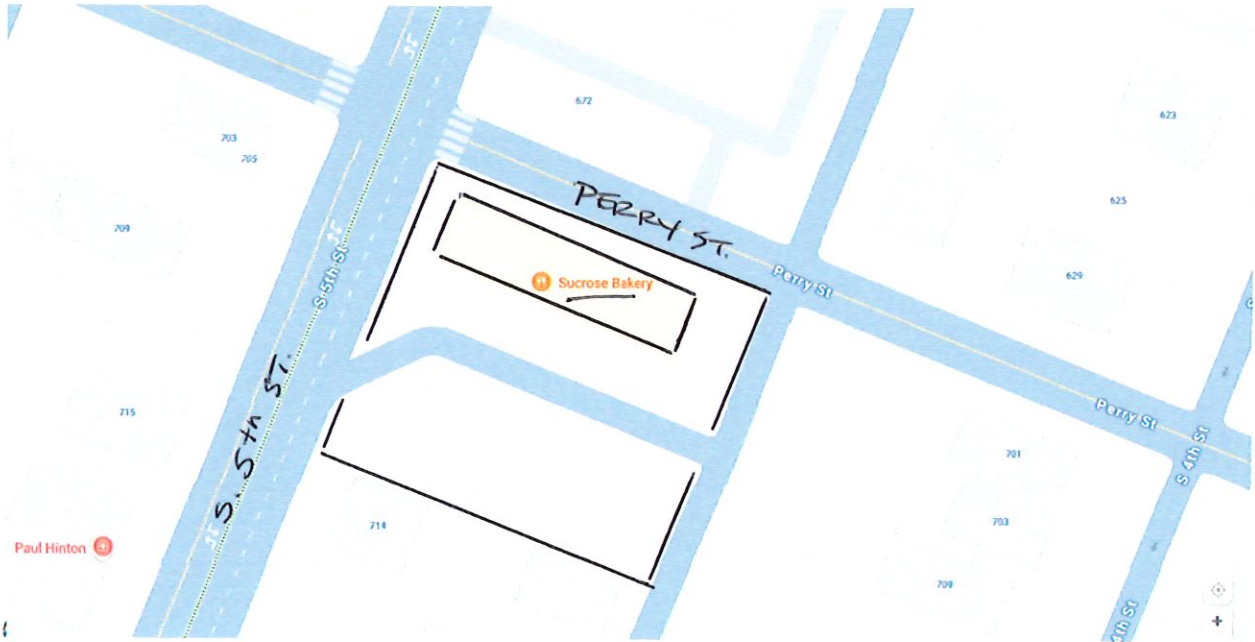
Date: _____

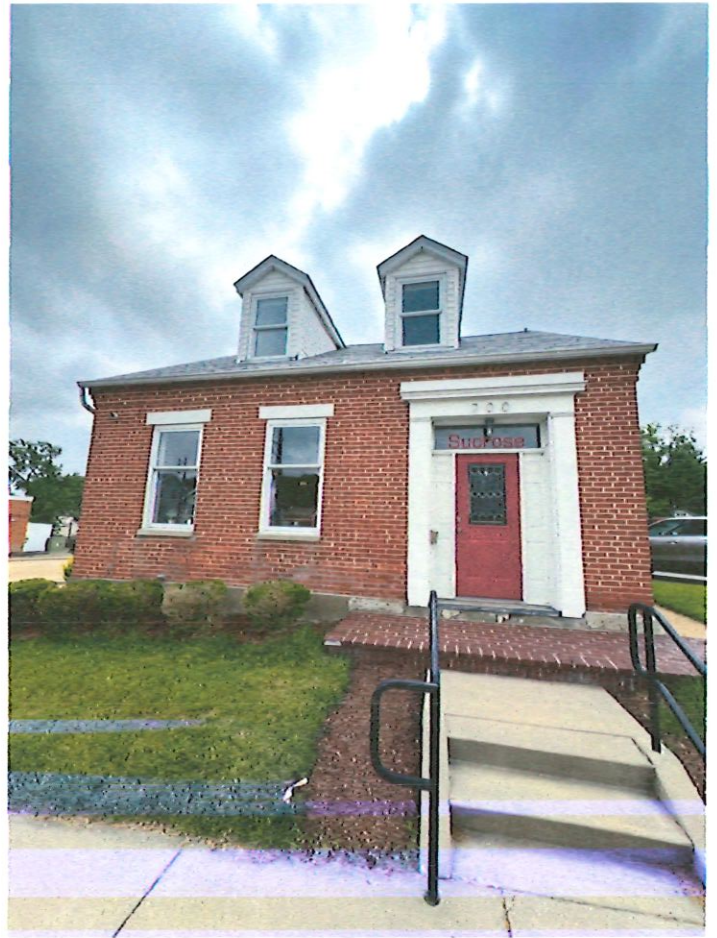
Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.

Application Fees:

Site Plan: \$200.00 Exterior Changes & Demolitions: \$50.00

First image is satellite view.
Second image shows lot lines.

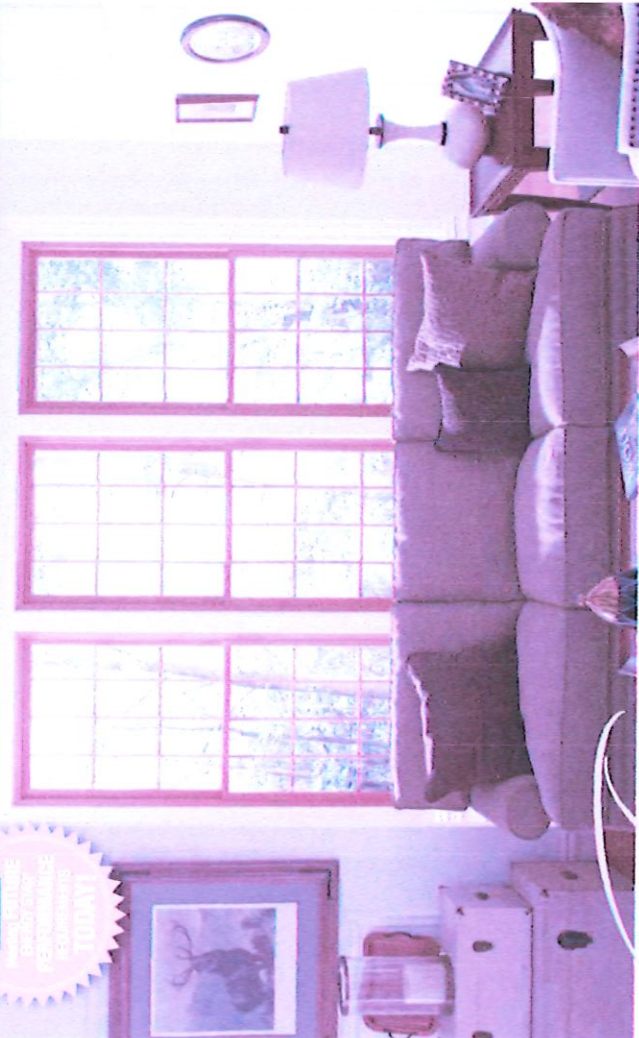






WINDOW WORLD 4000 SERIES WINDOWS


IMPROVED ENERGY EFFICIENCY
EXCELLENT PERFORMANCE
FUNCTIONALITY



Featuring a beautifully refined silhouette and advanced energy-saving technology, our 4000 Series delivers exceptional style, strength, energy efficiency and value – everything today's homeowners are looking for in a quality replacement window, and more.

This next-generation 4000 Series is precision-engineered to meet or exceed stringent ENERGY STAR® requirements, providing triple-pane energy-saving performance in a dual-pane unit. The dual-pane, double-strength insulated glass, thermally optimized frame and sash and non-conductive composite reinforcements are just part of the advanced energy engineering that puts 4000 Series Windows in a class all their own – premium window performance with everyday affordability. With the Window World 4000 Series, your home will gain fresh, energy-efficient, low-maintenance windows, and you'll enjoy the peace of mind that comes with a lifetime limited warranty.



Both sashes of Window World Double-Hung Windows tilt in for easier, safer cleaning from inside your home.

Best-in-Class Performance Features:

- Reinforced narrow silhouette frame and sash profiles make a statement of style with their low-profile design. The result is a beautiful and expanded glass area. At the same time, internal chambers increase structural integrity, rigidity and energy efficiency.
- Composite meeting-rail reinforcement allows for secure mounting of hardware; the non-conductive material helps reduce the transfer of energy.¹
- End-of-throw cam shift locking delivers increased strength and protection to the recessed lock. It also includes an "unlocked" indicator.
- The smooth and uniform true sloped sill quickly directs water runoff without the use of weep holes, keeping the exterior of the window clean and attractive.²
- Our telescoping sill dam delivers a triple payoff: protection from air and water infiltration, increased structural stability and enhanced beauty.
- When extreme wind and weather hit, our proprietary sill Interlock stands strong. Traditional sloped sill designs can allow the sash to bow during powerful winds, but with our interlocking sash-to-sill technology, the sash is channeled firmly into the window frame for a unified wall of strength.
- Our innovative screen bulb seal creates a snug fit that eliminates light and insect penetration between the screen and frame. It also aids in easy screen installation and removal.³

Additional Sliding Window Features:

- Sashes glide horizontally for easy opening and closing.
- Both sashes lift out for convenient cleaning.
- Nylon-reinforced dual brass roller system for smooth gliding performance.

Insulated Glass Packages to Meet Your Needs.

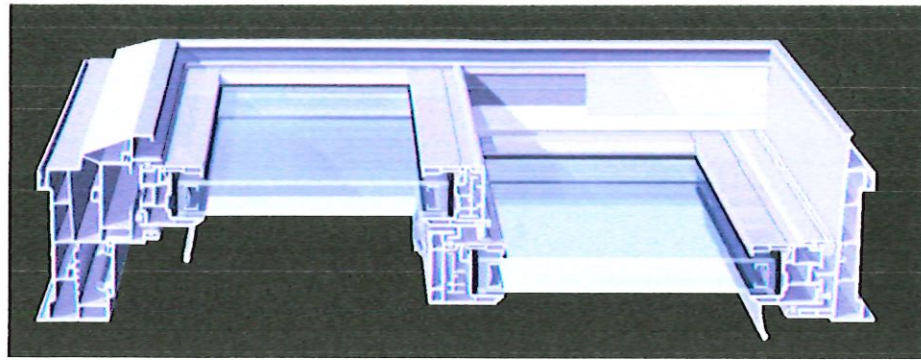
Maximize your energy savings by choosing a high-performance SolarZone insulated glass⁴ package to meet your specific climate challenges. The lower the U-Value, the less energy you'll need to heat your home. The lower the Solar Heat Gain Coefficient (SHGC), the more you'll conserve on air-conditioning.

Clear Glass	Double-Hung		Sliding	
	U-Factor	SHGC	U-Factor	SHGC
SolarZone	0.29	0.30	0.28	0.30
SolarZone IE	0.28	0.30	0.28	0.30
SolarZone Plus	0.28	0.30	0.27	0.30
SolarZone Plus Elite	0.28	0.21	0.28	0.21
SolarZone ThermD IE	0.27	0.21	0.28	0.21
SolarZone ThermD IE	0.28	0.30	0.27	0.30
SolarZone ThermD Elite	0.27	0.21	0.27	0.21

⁴ Window values are based on double-strength glass, standard 4000 Series offering with composite stormpanels. U-Factor and SHGC performance values are also available.

Window World 4000 Base	Air		Water	Structural
	CHPF	per sq ft		
Window World 4000 ST	.04	6.0	DP40	
	.08	7.5	DP50	

Performance values are based on standard Air, Water and Structural Loads as determined through ASTM Product Safety Testing for Windstorm Test Methods.



¹ Double-hung lines model will automatically be converted to U-Factor enhancement for all units ordered in excess of 50' wide at 5' high.
² For larger size windows or to meet specific DP-PC ratings, optional weight performance is available.
³ Available only with the US screen option.





**STAFF REPORT
SIGNAGE
200 NORTH MAIN STREET
PERMIT NO. 2025-2391**

BY TAYLOR MOORE

APPLICANT: Carrie Hodapp
3512 Canal Street
St. Charles, MO 63301

OWNER: Carly Whiteaker
3 Rainer Ct
O’Fallon, MO 63366

ADDRESS/LOCATION: 200 North Main Street

ZONING: CBD—Central Business District
HDD—Historic Downtown District

USE: Commercial—Divine Otter Hotel

MEETING DATE: June 16, 2025

BACKGROUND

The subject property is 200 North Main Street in the Historic Downtown District, and is considered a contributing resource to the district. According to the County’s tax parcels database, the two-story, blond brick commercial building was constructed in 1890. The applicant is requesting to install three signs for the business, “The Divine Otter Hotel.” The building has a primary lineal frontage of 25’, which permits up to 25 square feet of signage. As the property is located on a double frontage lot, an additional 50% of the permitted signage area (12.5 square feet) is permitted for the second frontage (Riverside Drive), for a total of 37.5 square feet. The proposed signage includes the following:

- One projecting sign measuring approximately 4.9 square feet,
- One wall-mounted sign measuring 4’ x 4’ (16 square feet) located at the front corner of the building
- One wall-mounted sign measuring 5’ x 2.5’ (12.5 square feet) proposed for the rear frontage along toward Riverside Drive.

Accompanying this application are photos of the building, sign specifications, and proposed locations for the signs on the property.

APPLICABLE DESIGN GUIDELINES

SECTION 400.350: “HDD” HISTORIC DOWNTOWN DISTRICT.

C. Building, Sign and Occupancy Permits.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, including signs, or in any way change the outward appearance of any building or structure in the Historic Downtown District overlay without having

obtained a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

SECTION 400.1830. SIGN REGULATIONS FOR “SMPD,” “HDD,” “FHD,” “LMPD” AND “EHP” SUPERIMPOSED DISTRICTS

B. “HDD” Historic Downtown District.

1. *General regulations.*
 - a. No sign or graphic may be displayed without first obtaining a certificate of appropriateness from the HLPARB.
 - b. No sign or graphic shall be permitted in the district unless the sign relates to or advertises a business within the district.
 - c. Signs shall be compatible with the architecture of the building and the Historic Downtown District.
2. *Wall projecting, window and awning signs.*
 - a. Each building is permitted a maximum sum total of all wall, projecting, and window signage of one (1) square foot of signage per each lineal foot of frontage of the building. Where there are two (2) or more frontages, the average of frontages shall be computed to determine the signage allotment under this formula. One (1) additional sign is permitted on the rear of each building with a maximum size of 50% of that allowed on the front, provided that the area of the rear elevation signage shall count towards the total sign area for the building.
 - b. Each building within the district is allowed one (1) projecting sign per tenant. Projecting signs shall be included in the calculation of the total amount of building signage permitted. Projecting signs must clear a sidewalk or walkway at least eight (8) feet.
5. *Illumination of Signs.* Internal illumination of signs is prohibited. Only a steady concealed source of light shall be permitted for signs within the district.
7. *Sign design.* Signs shall utilize colors from the approved paint color chart adopted by the HLPARB or shall use colors with proven historical relevance that may be approved by the HLPARB.
9. Letter size and styles should be compatible with the building.

STAFF RECOMMENDATION

The proposed signs will be made of ACM metal and display the Hotels’ logo and name. The rear wall-mounted sign, projected to be located on the existing staircase, will feature additional contact information for the Hotel. The projecting sign is required to have a clearance of 8’ above the sidewalk and must feature time appropriate black brackets and chains. The wall-mounted sign on the front corner will need to be connected to the building in the mortar and not the face of the masonry. The signs will have no impact on the historic streetscape nor will they impact the district as a whole. Therefore, Staff recommends approval of the proposed signs, subject to the conditions recommended by Staff:

1. The front projecting sign shall have a clearance of 8’ from the sidewalk and feature black brackets and chains.
2. The wall-mounted sign shall be bolted into the mortar and not the masonry face.

Recommended Motion:

Motion to approve the installation of three new signs for the business “The Divine Otter Hotel” subject to the conditions recommended by Staff.



Figure 1: Subject property seen from Main Street.



Figure 2: Proposed projecting sign and wall sign for front of the business.



Figure 3: Proposed mounted sign in rear of the business.

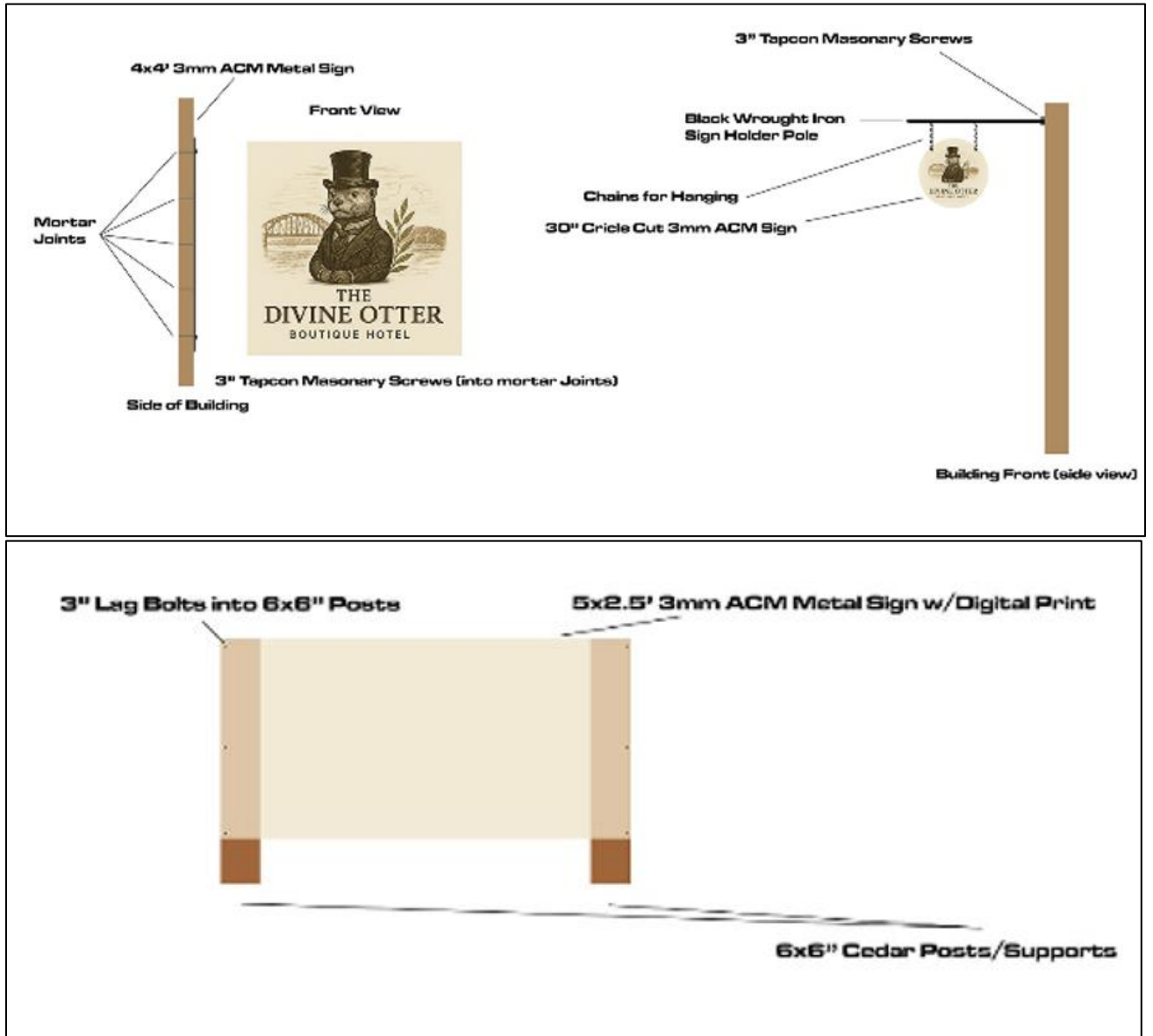


Figure 4: Sign details.



Figure 5: Subject property's location.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557



SIGN PERMIT APPLICATION

Today's Date: 5/16/25

Permit #: 25-2391

DOCUMENTS REQUIRED WITH APPLICATION

Two (2) colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
- Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
- Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

SIGN LOCATION:

NAME OF BUSINESS: The Divine Other Hotel

ADDRESS: 200 N. main Street

*Is this property located in a historic district? (Check One): YES NO

If yes, review from the Landmarks Board is required.

APPLICANT:

Name: Carrie Hodapp Phone: 314-719-7340
Address: 3512 Canal St City, State & Zip: St. Charles, MO 63301
Email: chodapp@koala-insulation.com

SIGN CONTRACTOR:

Name: Gary Wilds Phone: 636-875-6345
Address: 2 St. Leo Drive City, State & Zip: O'Fallon, MO 63366
Email: pinnacle.conciergegroup@gmail.com

PROPERTY OWNER:

Name: Carly Whitaker Phone: 314-637-6655
Address: 3 Rainer Ct City, State & Zip: O'Fallon, MO 63366
Email: _____

TYPE OF SIGN(S):

Banner Window Frame/Sandwich Board Hanging Wall Monument Awning Pole

SIGN INFORMATION: Total number of signs being requested? 2

Lineal Frontage of occupant's portion of the building: 12' Sign Dimensions 4x4' and 10x4'

Who is installing the signage? Owner/Tenant Contractor Other (Specify) _____

Will the sign(s) be illuminated? YES NO *If yes, will new wiring be required? YES NO

Company name of licensed electrician (if required): n/a

SIGNATURE OF APPLICANT: Carrie Hodapp

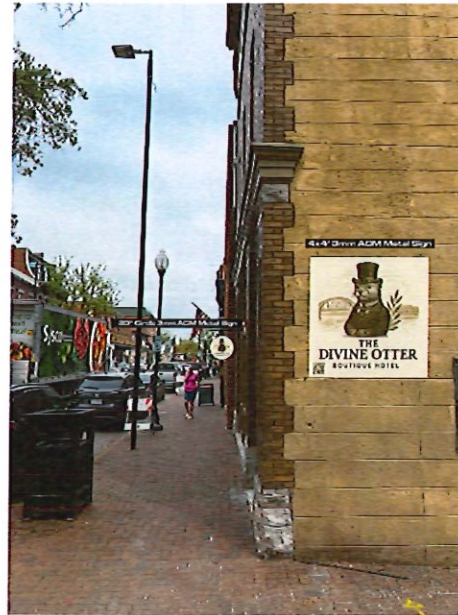
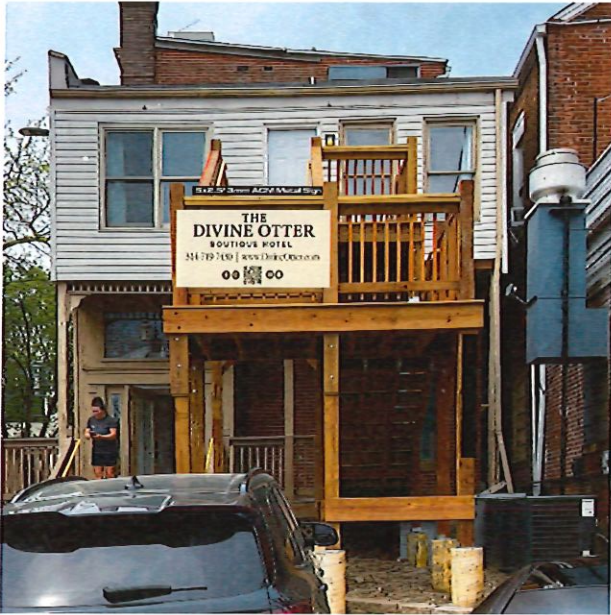
Date Received Stamp

RECEIVED
MAY 20 2025

COMMUNITY DEVELOPMENT

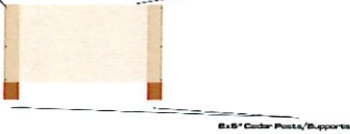


HotelSigns_Update-01.jpg



3" Leg Bolts Into 6x8" Posts

6x8x2' 3mm ACM Metal Sign w/ Digital Print



6x8" Cedar Posts/Supports

4x4' 3mm ACM Metal Sign



3" Tapered Masonry Screws (into mortar joints)
Side of Building

3" Tapered Masonry Screws

Black Wrought Iron Sign Holder Pole

Chairs for Hanging

30" Chrome Die 3mm ACM Sign

Building From Side view



**STAFF REPORT
NEW SIGNAGE
316 SOUTH SECOND STREET
PERMIT NO. 2025-2657**

BY TAYLOR MOORE

APPLICANT/ OWNER: Holly Avis
7079 Blackhorse Drive
O'Fallon, MO 63368

ADDRESS/LOCATION: 316 South Second Street

ZONING: CBD—Central Business District
EHP—Extended Historic Preservation District

USE: Commercial—Wrinkle

MEETING DATE: June 16, 2025

BACKGROUND

The subject property is 316 South Second Street, which is located in the Extended Historic Preservation District. The building is a Folk Victorian style house, constructed circa 1860, and is currently utilized for commercial use. The applicant is requesting approval to install one oval 33”x 22” (5.04 square feet) sign, which will hang from a black metal bracket attached to the north façade of the building near the rear of the building. The applicant is also requesting to re-face the existing 34” x 26” (5.67 square feet) wall-mounted sign on the front of the building. Illustrations of the proposed sign and proposed placement accompany the application.

APPLICABLE DESIGN GUIDELINES

SECTION 400.1830: SIGN REGULATIONS FOR "SMPD", "HDD", "FHD", "LMPD" AND "EHP" SUPERIMPOSED DISTRICTS

- D. *"EHP" Extended Historic Preservation District.*
1. *General regulations.*
 - a. No sign or graphic may be displayed on a building constructed before 1960 without first obtaining a Certificate of Appropriateness from the HLPARB.
 - b. No sign or graphic shall be permitted in the district unless the sign relates to or advertises a business within the district.
 - c. Signs shall be compatible with the architecture of the building on which the sign will be located.
 - d. In reviewing applications for a Certificate of Appropriateness, criteria provided in [Divisions 1--8 of this Article](#) shall be used.

SECTION 400.1490: BUILDING-MOUNTED SIGNS

2. Such sign may be flag-mounted in situations where the character of the area may be preserved and enhanced by the use of such signs;
5. Sign area shall be regulated by the provisions of Division 3 of this Article;

6. Including the business name, a maximum of eight (8) items of information may be displayed on a building mounted sign

SECTION 400.1720: LEGAL, NON-RESIDENTIAL USES

1. The total aggregate area of one (1) face of all signs on the premises pertaining to any one (1) business shall not exceed forty (40) square feet. However, if the portion of the building adjacent to its lot's street property line measures more than forty (40) feet, then the total aggregate area of one (1) face of all such signs on the premises may be increased in area at the rate of one (1) square foot of sign area for each foot of building frontage in excess of forty (40) lineal feet; but the total aggregate area of one (1) face of all such signs on the premises shall not exceed eighty (80) square feet for each business. The total aggregate area of all signs on the premises pertaining to any one business with a frontage exceeding one hundred fifty (150) lineal feet may be increased to one hundred fifty (150) square feet. For corner buildings, only the main entrance frontage shall be so measured.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC PRESERVATION DISTRICT

5. SIGNS—NEW OR MODIFIED REQUIRING A PERMIT

- a. Every sign shall have good scale and proportion in its design and in its visual relationship to buildings and surroundings.
- b. Every sign shall be designed as an integral architectural element of the building and site to which it principally relates.
- c. The colors, materials, and lighting of every sign shall be restrained and harmonious with the building and site to which it principally relates.
- d. The number of graphic elements on a sign shall be held to the minimum needed to convey the sign's major message and shall be composed in proportion to the area of the sign face.
- e. Each sign shall be compatible with signs on adjacent buildings or adjoining premises.
- f. Identification signs of a prototype design and corporation logos shall conform to the criteria for all other signs.

STAFF RECOMMENDATION

The proposed signs and square footage in area which is appropriate in size and scale for the small building. The colors to be used are simple black and white, which are harmonious with the building and is in keeping with the historic character of the district. The decorative black metal bracket arm for the projecting sign is existing and does not detract from the building and compliments the sign. The signs meet the regulations of the zoning ordinance and complies with the district's design guidelines. Therefore, Staff recommends approval of the two signs as submitted.

Recommended Motion:

Motion to approve one wall-mounted sign and one projecting sign for the business "Wrinkle" at 316 South Second Street, as submitted.



Figure 1: Proposed location for wall-mounted sign on front façade.



Figure 2: Proposed location for projecting sign.



Figure 3: Proposed signs for the business.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557



SIGN PERMIT APPLICATION

Today's Date: 5/30/25

Permit #: _____

DOCUMENTS REQUIRED WITH APPLICATION

Two (2) colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
• Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
• Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

SIGN LOCATION:

NAME OF BUSINESS: Wrinkle

ADDRESS: 316 South Second Street St. Charles, MO 63301

*Is this property located in a historic district? (Check One): YES [checked] NO []

*If yes, Landmarks Board approval is required. Sixteen (16) colored copies of all requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).

APPLICANT:

Name: Holly Avis Phone: 314-680-9676
Address: 7079 Blackhorse Drive City, State & Zip: O'Fallon, MO 63368
Email: stiritup314@gmail.com

SIGN CONTRACTOR:

Name: Fast signs Phone: 636-875-7337
Address: 4101 - O Mexico Road City, State & Zip: St. Peters, MO 63376
Email: _____

PROPERTY OWNER:

Name: Holly Avis Phone: 314-680-9676
Address: 7079 Blackhorse Drive City, State & Zip: O'Fallon, MO 63368
Email: stiritup314@gmail.com

TYPE OF SIGN(S):

[] Banner [] Window [] Frame/Sandwich Board [checked] Hanging [checked] Wall [] Monument [] Awning [] Pole

SIGN INFORMATION: Total number of signs being requested? 2

Lineal Frontage of occupant's portion of the building: _____ Sign Dimensions 34' x 26' / 33' x 22'

Who is installing the signage? Owner/Tenant [checked] Contractor [] Other (Specify) _____

Will the sign(s) be illuminated? YES [] NO [checked] *If yes, will new wiring be required? YES [] NO []

Company name of licensed electrician (if required): _____ Date Received Stamp

SIGNATURE OF APPLICANT: [Signature]

SIGNATURE OF PROPERTY OWNER: [Signature]

33"W x 22"H 6mm Black Max Metal
Double-Sided
Qty. 1



34"W x 26"H Black Max Metal
Qty. 1







AGENDA ITEM #6A

**STAFF REPORT
NEW REAR DECK
815 MONROE STREET
CASE NO. EC-2025-026**

BY TAYLOR MOORE

APPLICANT: Donald Goette
DBA Complete Decks & Renovations
9290 Ridge Road
Dittmer, MO 63023

OWNER: Stacey Enders
815 Monroe Street
St. Charles, MO 63301

ADDRESS/LOCATION: 815 Monroe Street

ZONING: R-1E—Single-Family Residential District
EHP—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: June 16, 2025

BACKGROUND

The subject property is 815 Monroe Street, a 1½ story, brick bungalow, located in the Extended Historic Preservation District. The property was built circa 1929 and is also located in the Midtown Neighborhood National Historic District, where it is considered a contributing resource. The applicant is requesting approval to remove the existing rear deck and construct a new deck and screened porch in the same footprint and location. A site plan, elevations and existing photographs accompany this application.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340:“EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

(C) *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT
Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

3. Building Design

c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
- (3) Materials shall be of durable quality.
- e. Colors shall be harmonious and shall use only compatible accents.
- 7. Maintenance-Planning and Design Factors
 - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
- 8. Factors for Evaluation
 - a. Conformance to ordinances and the Appearance Code.
 - d. Architectural character
 - e. Attractiveness
 - f. Material selection
 - g. Harmony and compatibility
 - i. Maintenance aspects.

STAFF RECOMMENDATION

The existing 8' x 10' and 10' x 12' decks will be removed, including the existing slanted roof. The new decks will be the same size and location, with the only difference being the 10' x 12' deck will be roofed and feature screened walls. There will be a screen door where the two decks meet. The wooden flooring and rails, roof material, and screens are all appropriate and will have no adverse impact on the house. The proposed decks comply with the zoning ordinance and is consistent with the guidelines for properties located within the Extended Historic Preservation District. The decks will be completely behind the house and will not be street visible, therefore having no impact on the district or streetscape. Therefore, Staff recommends approval of the project as submitted.

Recommended Motion:

Motion to approve the construction of two new rear decks at 815 Monroe Street as submitted.



Figure 1: 815 Monroe Street seen currently.



Figure 2: Existing rear decks seen currently.

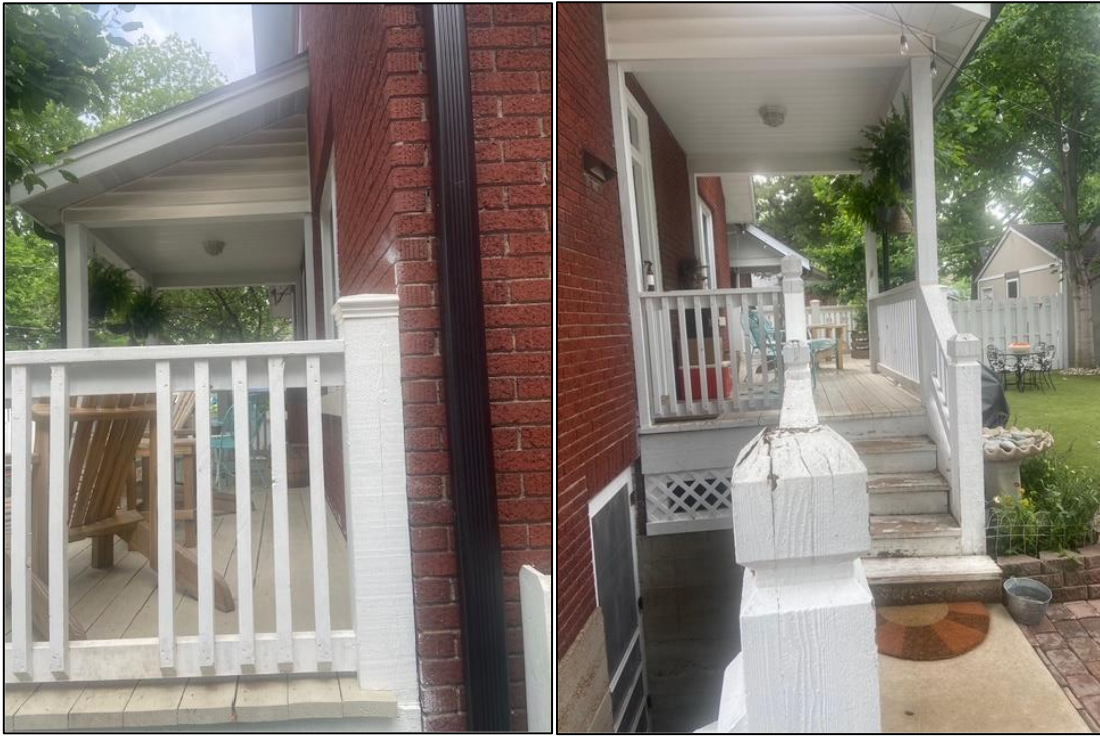


Figure 3: Examples of deck deterioration.

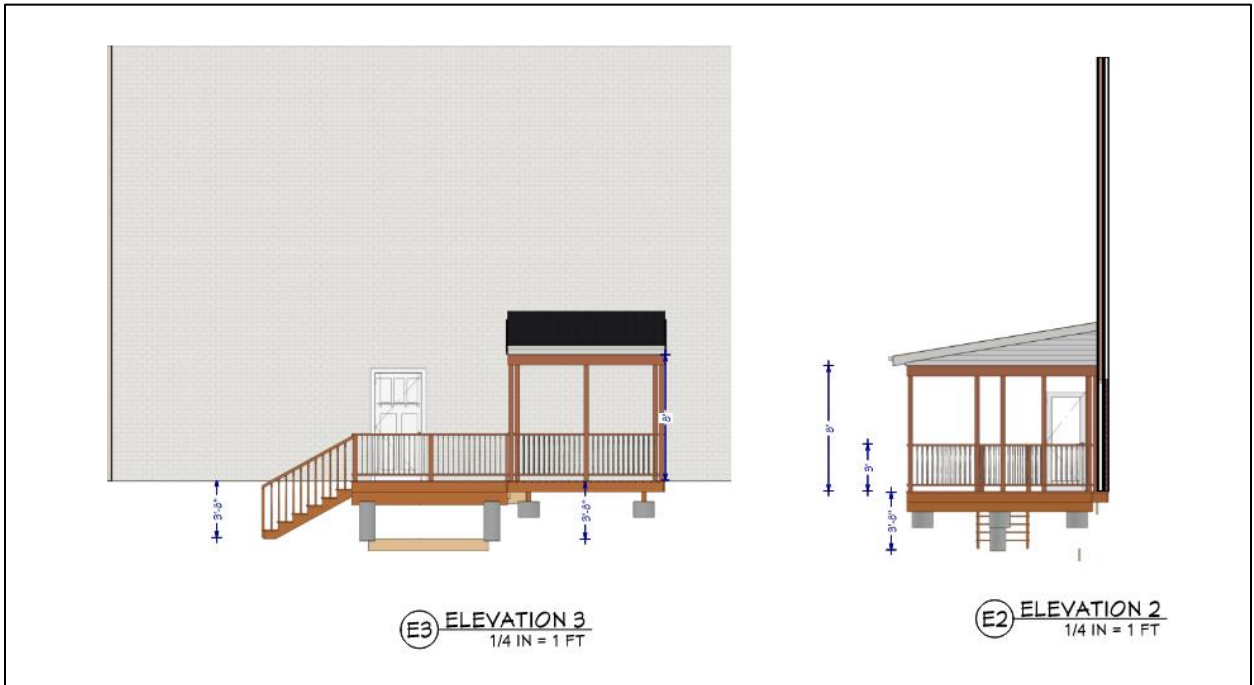


Figure 4: Elevation showcasing proposed new decks.

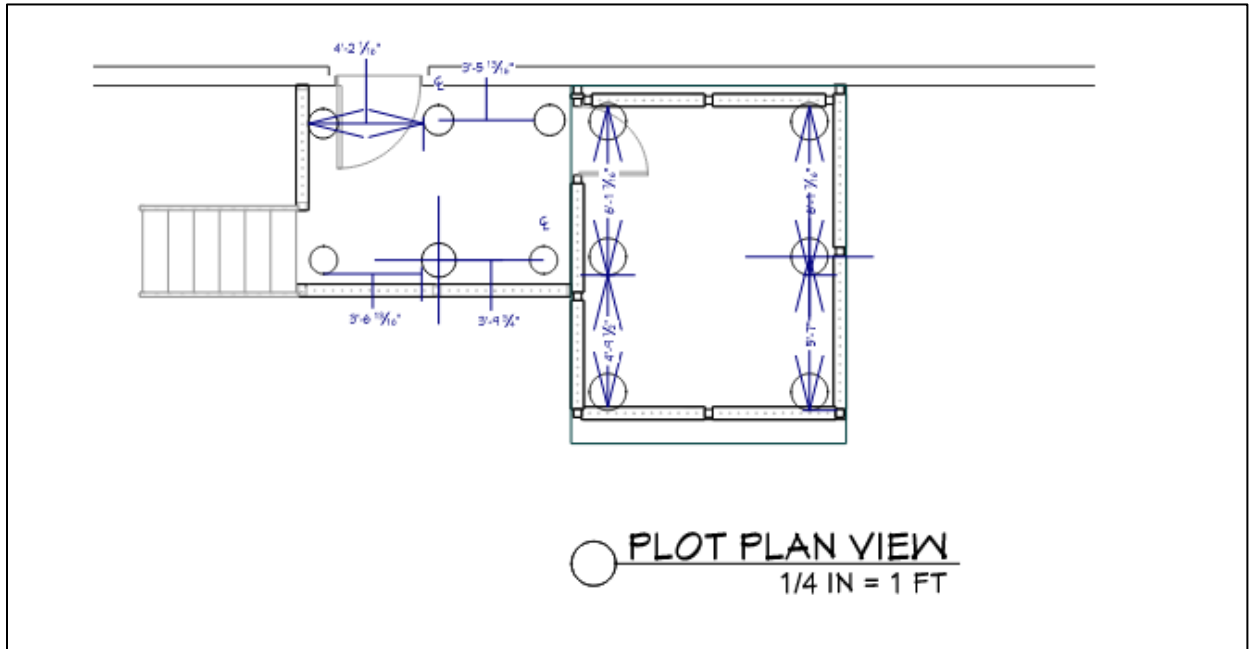


Figure 5: Deck footprints and site plan.

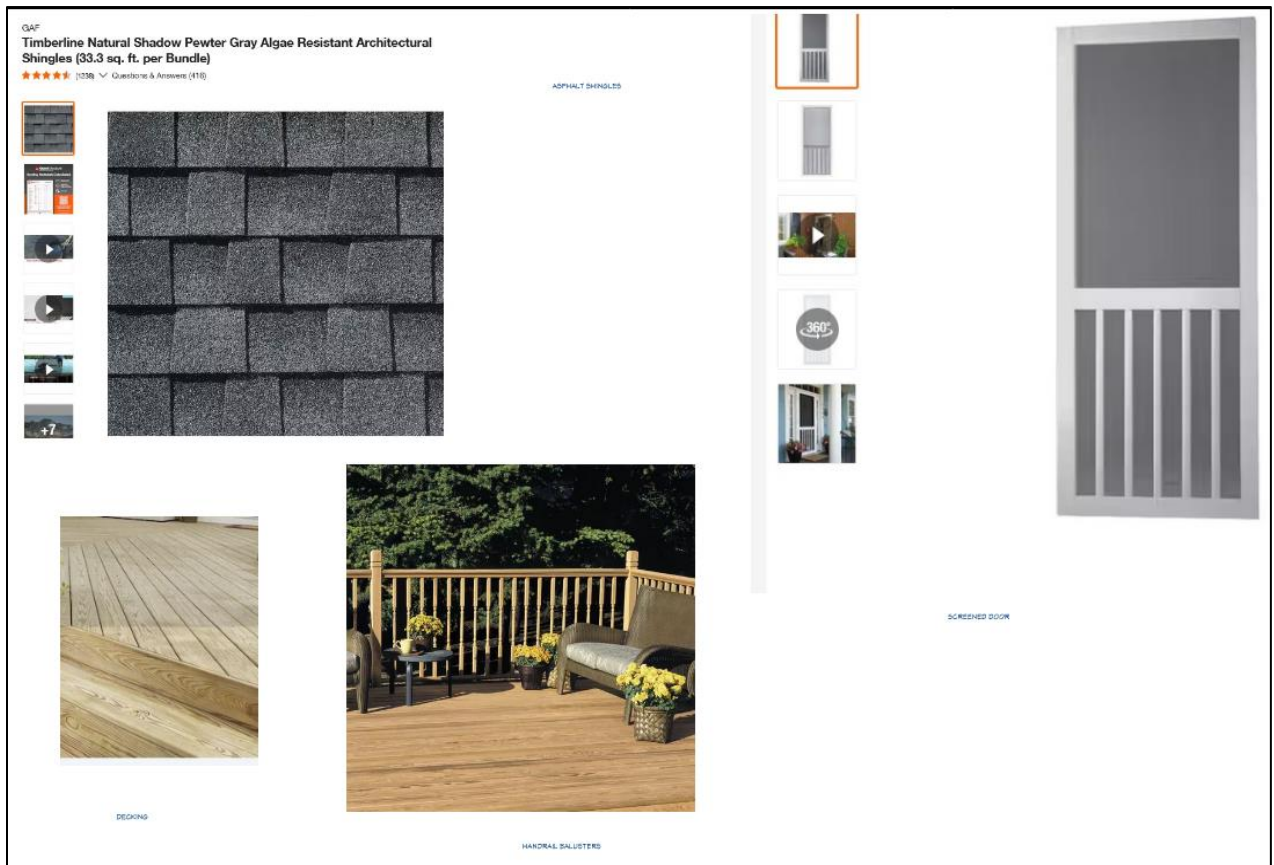


Figure 6: Proposed materials for new decks.



Figure 7: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 815 monroe st _____

BUSINESS NAME (if applicable): Complete decks and renovations _____

APPLICANT: Donald Goette DBA Complete decks and renovations _____

(Name)

9290 Ridge Rd Dittmer, Mo

(Address)

3147373380 dgoette1991@hotmail.com

(Phone & Email Address)

PROPERTY OWNER: Stacey Enders _____

(Name)

815 Monroe st

(Address)

6364489049 sbenders@yahoo.com

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1929 _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

815 Monroe street is a two story brick single- family residence located in the extended historic district of St. Charles, Mo. The structure features original brick masonry, a covered front porch. It has 4 bedrooms and 2 bathrooms. character defining elements include wood framed windows, hardwood floors and period appropriate exterior details that contribute to the historic integrity o

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: Replace existing rear deck with screened porch
- Construct a new structure: _____
- Demolish or move structure: _____
- Construct a new addition: _____
- New sign or awning: _____
- Site work (patio, fence, etc.): _____
- Other (briefly explain): Replace existing rear deck with exact size deck.
size of deck is 8x10 and 10x12. Both decks will adjoin
10x12 deck will be screened in porch using period
specific materials

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

The existing decks will be removed. The new decks will be the same size replacement. The only changes that will be made will be the 10x12 portion will have a roof over the deck, The area from the deck floor to the ceiling will be screened in, There will be a screen door where the two decks meet. All materials used in the proposed work will be selected to match the style, appearance, and character of the original construction period of the home as closely as possible, using products currently available on the market. Every effort will be made to preserve the historic integrity of the property through the use of historically appropriate design elements and finishes

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Donald Goette Date: 5/19/25

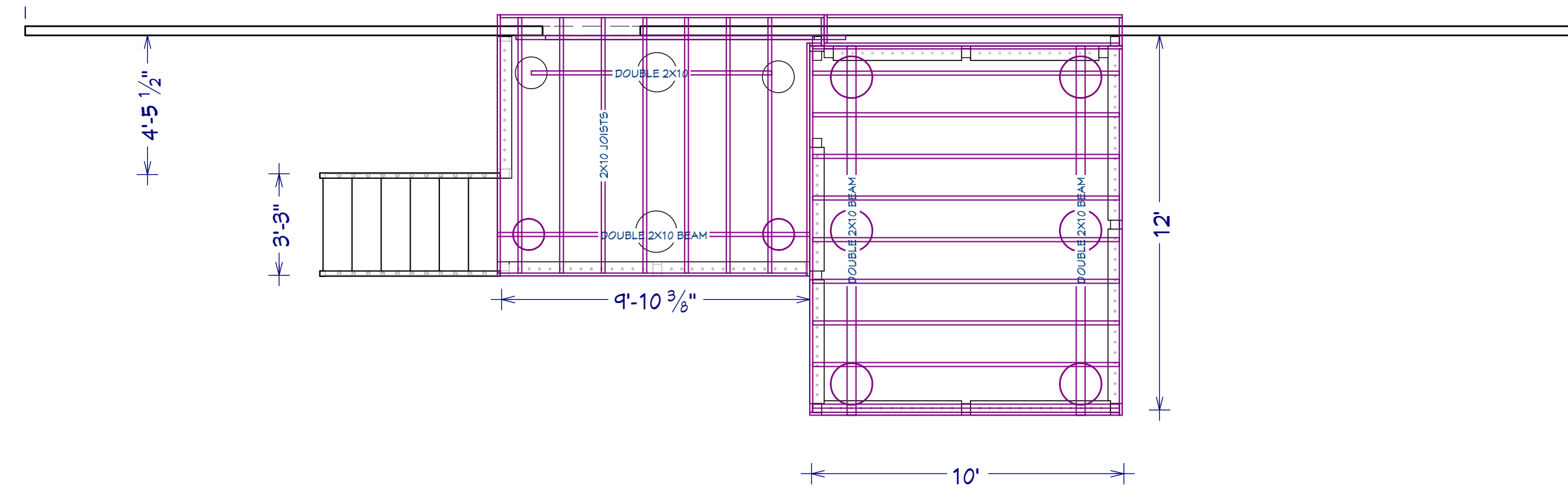
Signature of the property owner: Stacey Enders Date: 5/19/25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

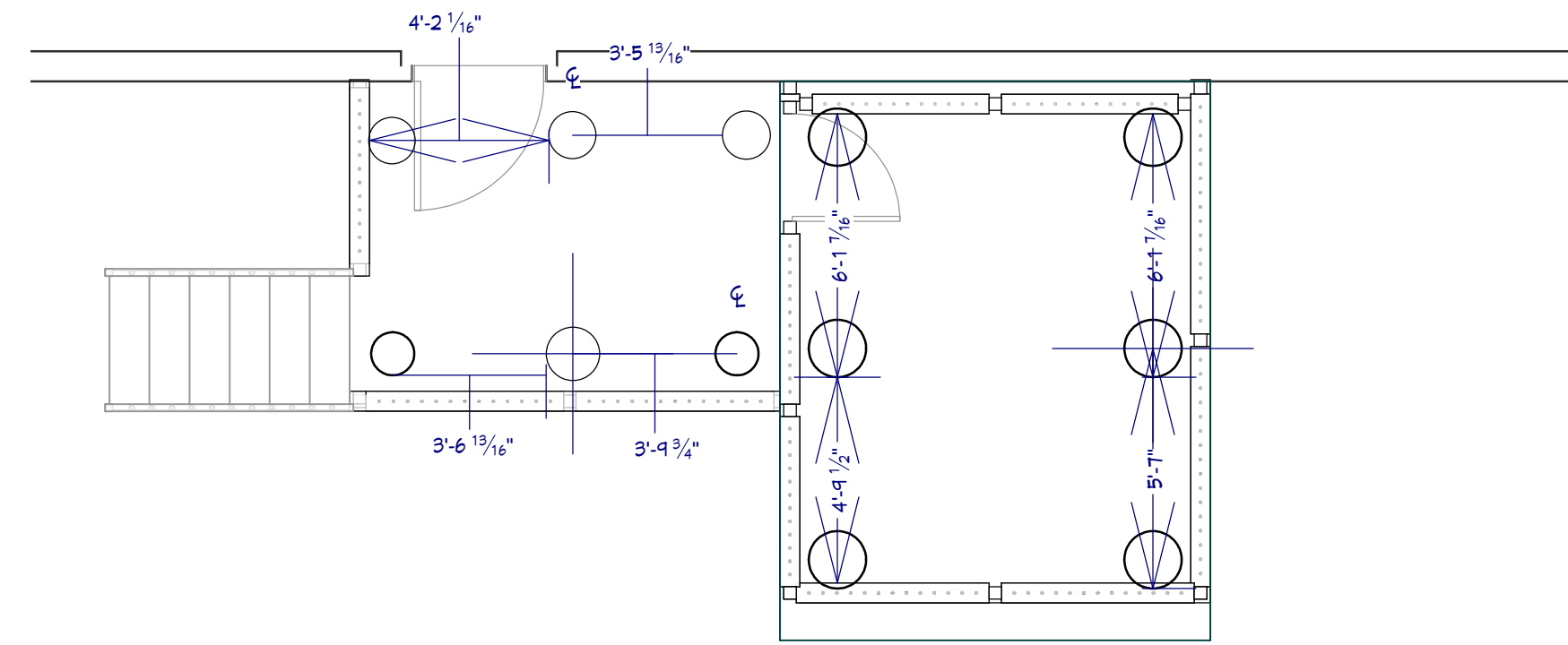
Application Fees:

Site Plan: \$200.00

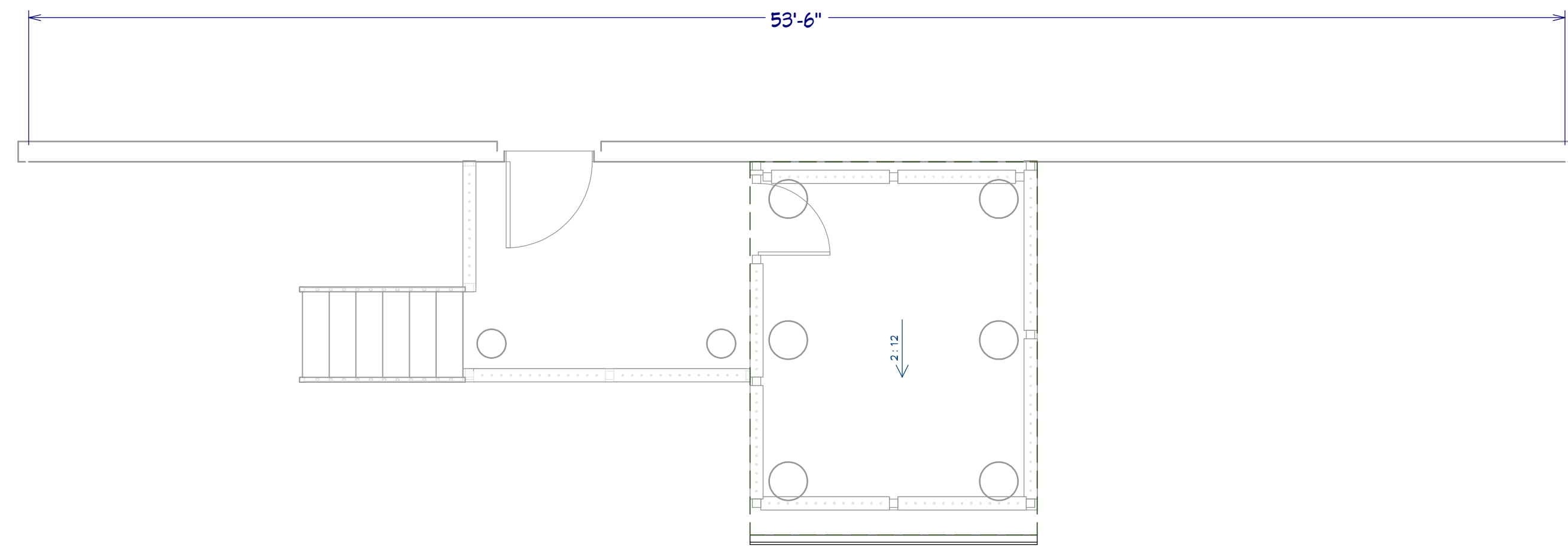
Exterior Changes & Demolitions: \$50.00



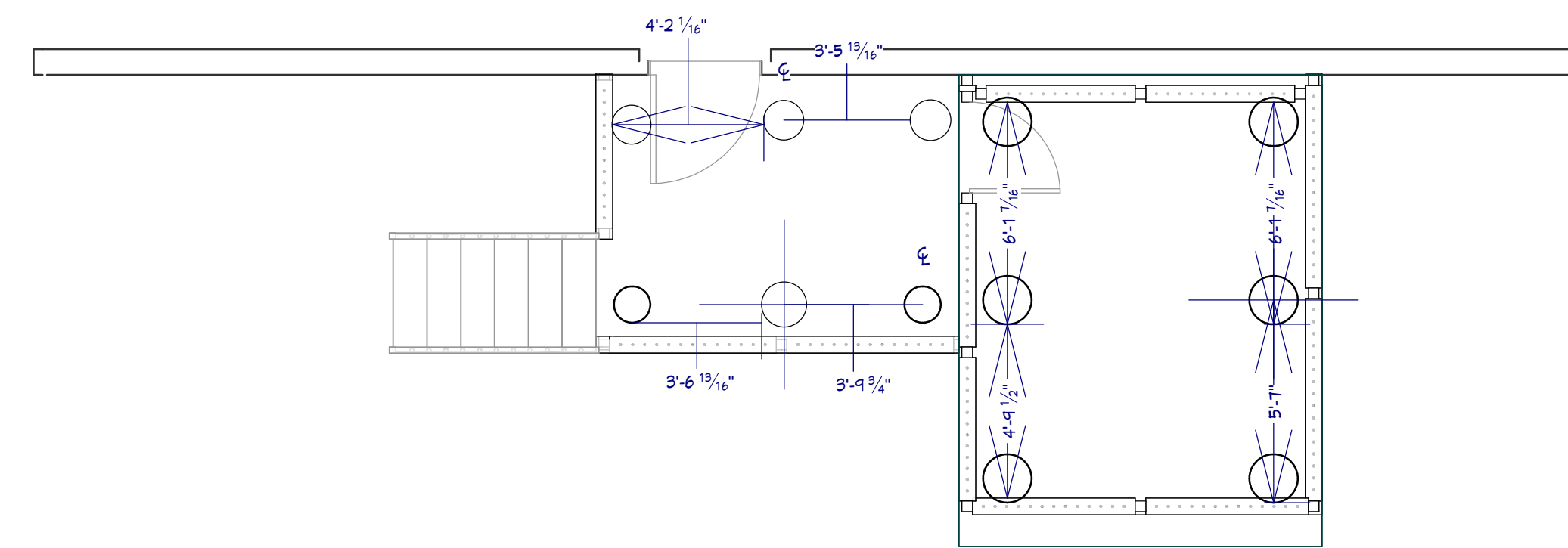
FRAMING, FLOOR PLAN VIEW
1/4 IN = 1 FT



PLOT PLAN VIEW
1/4 IN = 1 FT



ROOF PLAN VIEW
1/4 IN = 1 FT



PLOT PLAN VIEW
1/4 IN = 1 FT

REVISION TABLE	
NUMBER	DATE

Project Overview

Project Overview

DRAWINGS PROVIDED BY:

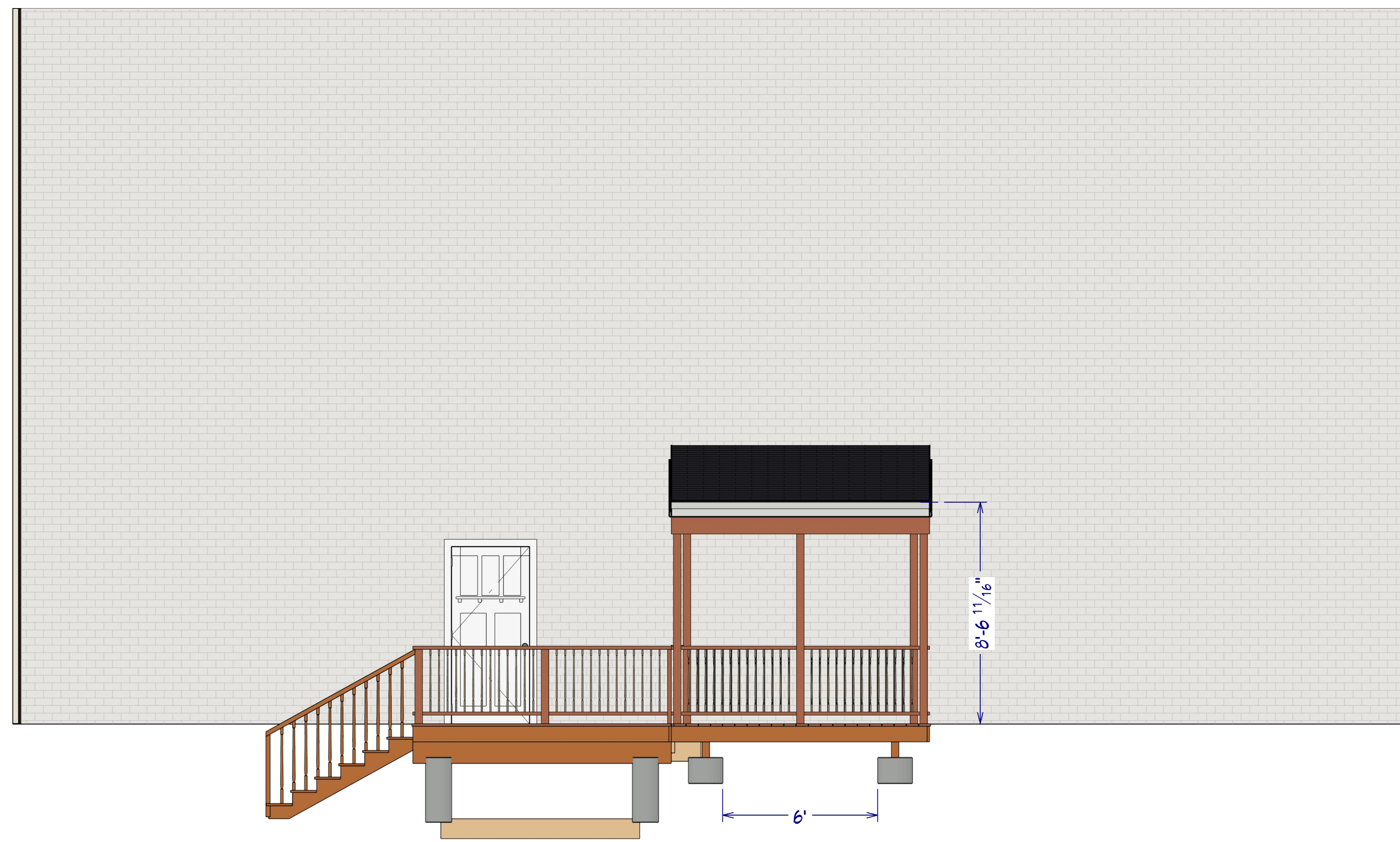
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5/19/2025

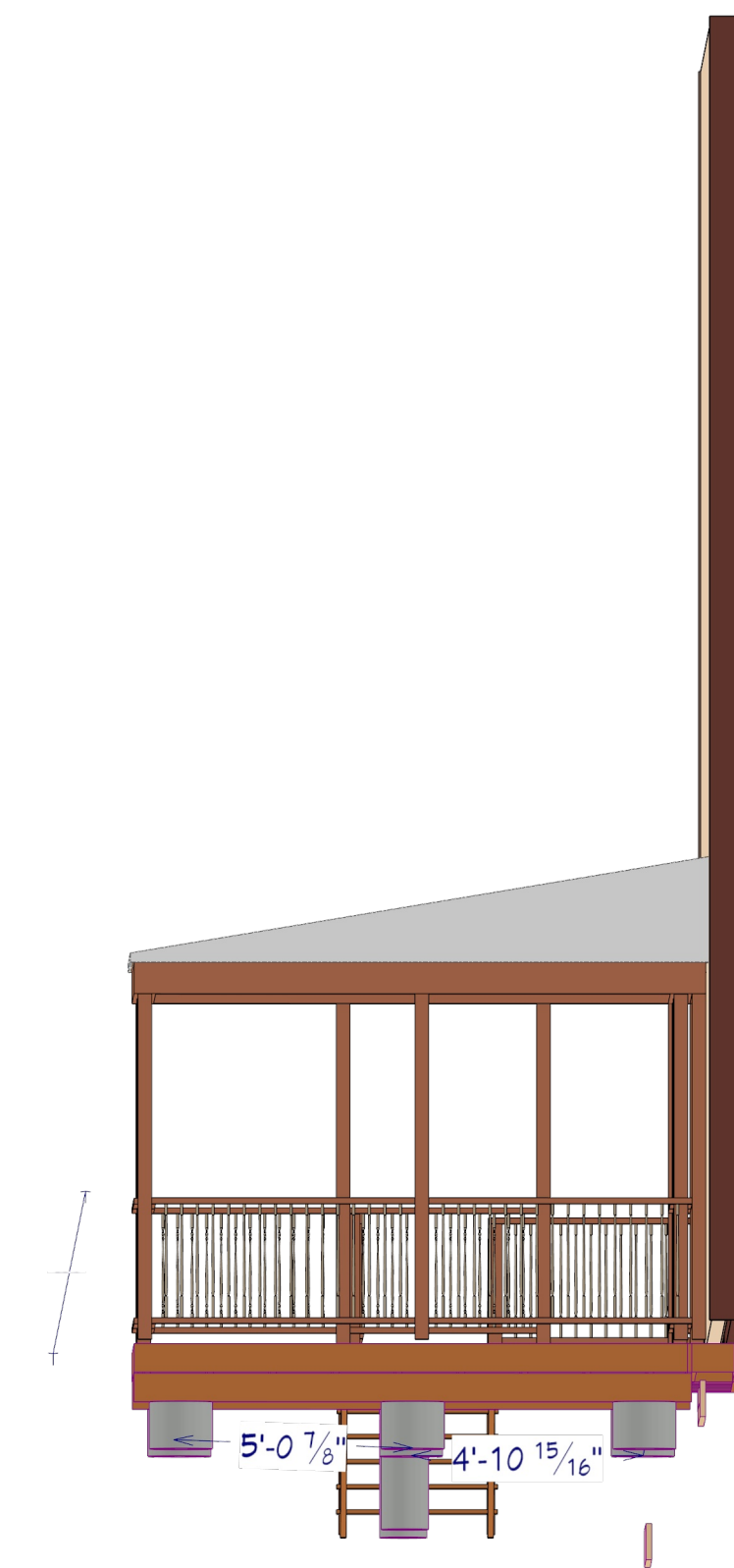
SCALE:

SHEET:

P-1



E1 ELEVATION 1
1/4 IN = 1 FT



C2 CAMERA 2
1/4 IN = 1 FT

REVISION TABLE	
NUMBER	DATE

REVISION TABLE
REVISOR BY DESCRIPTION

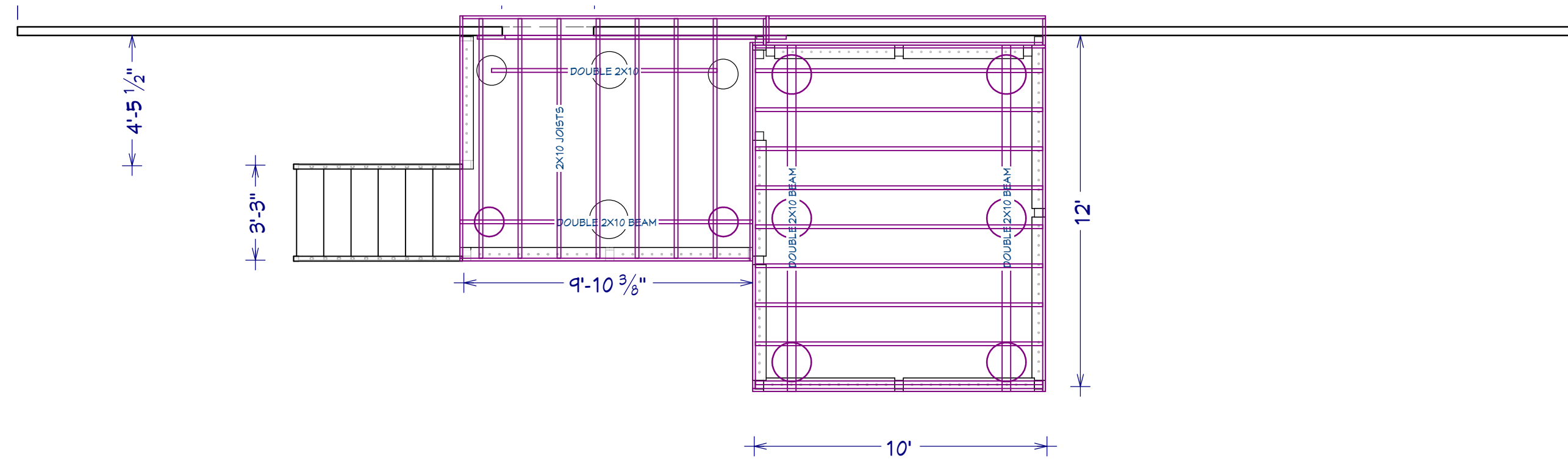
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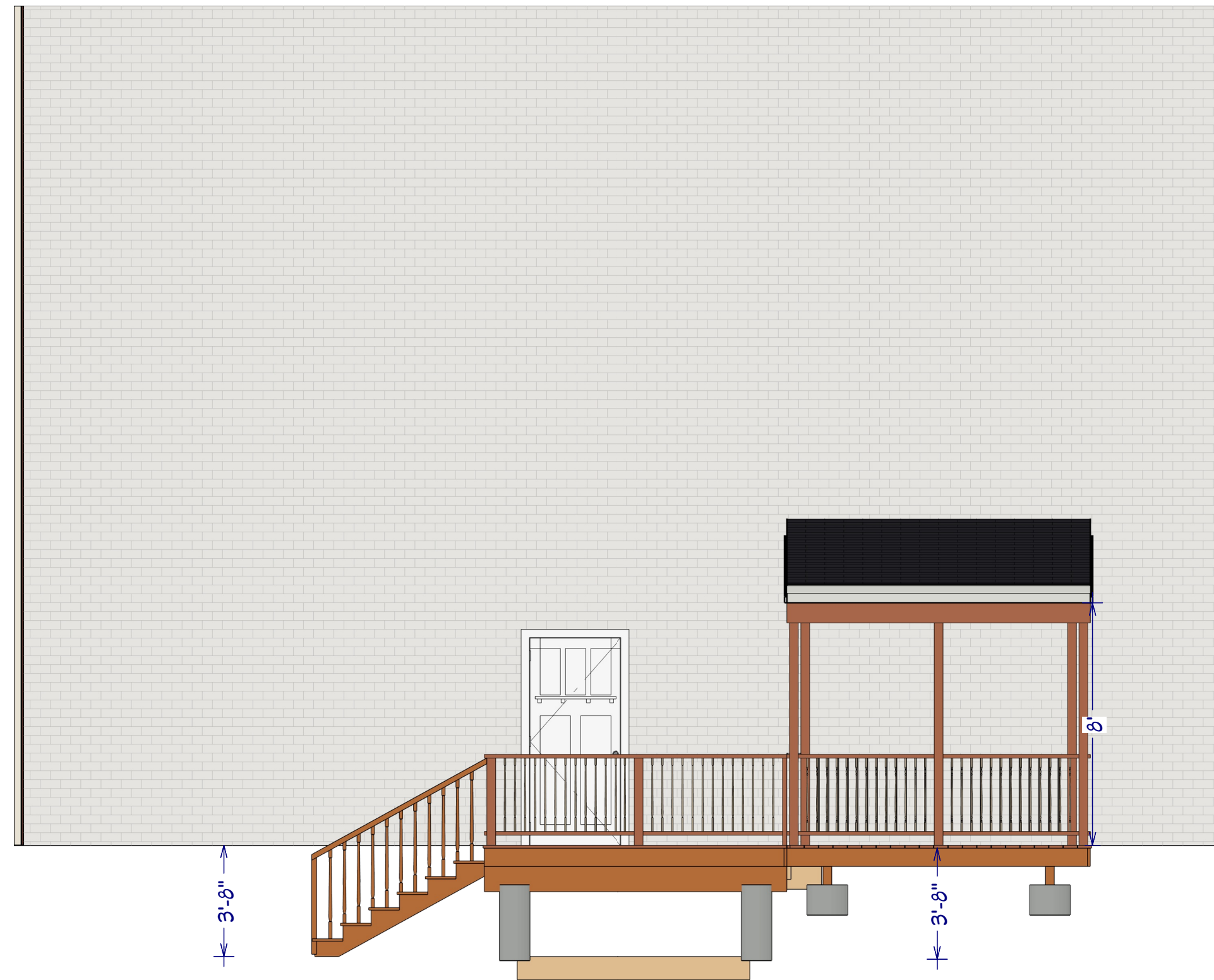
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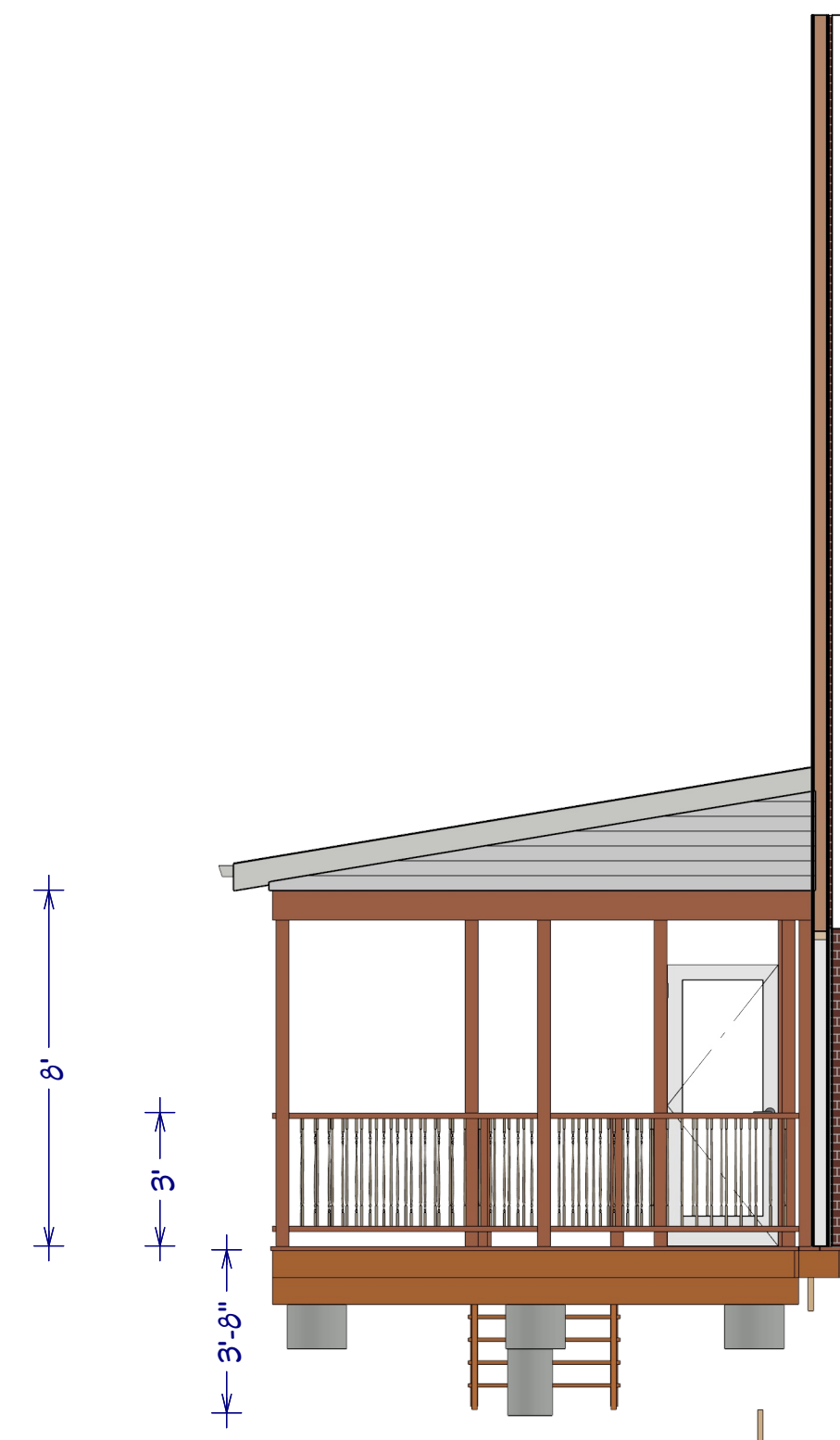
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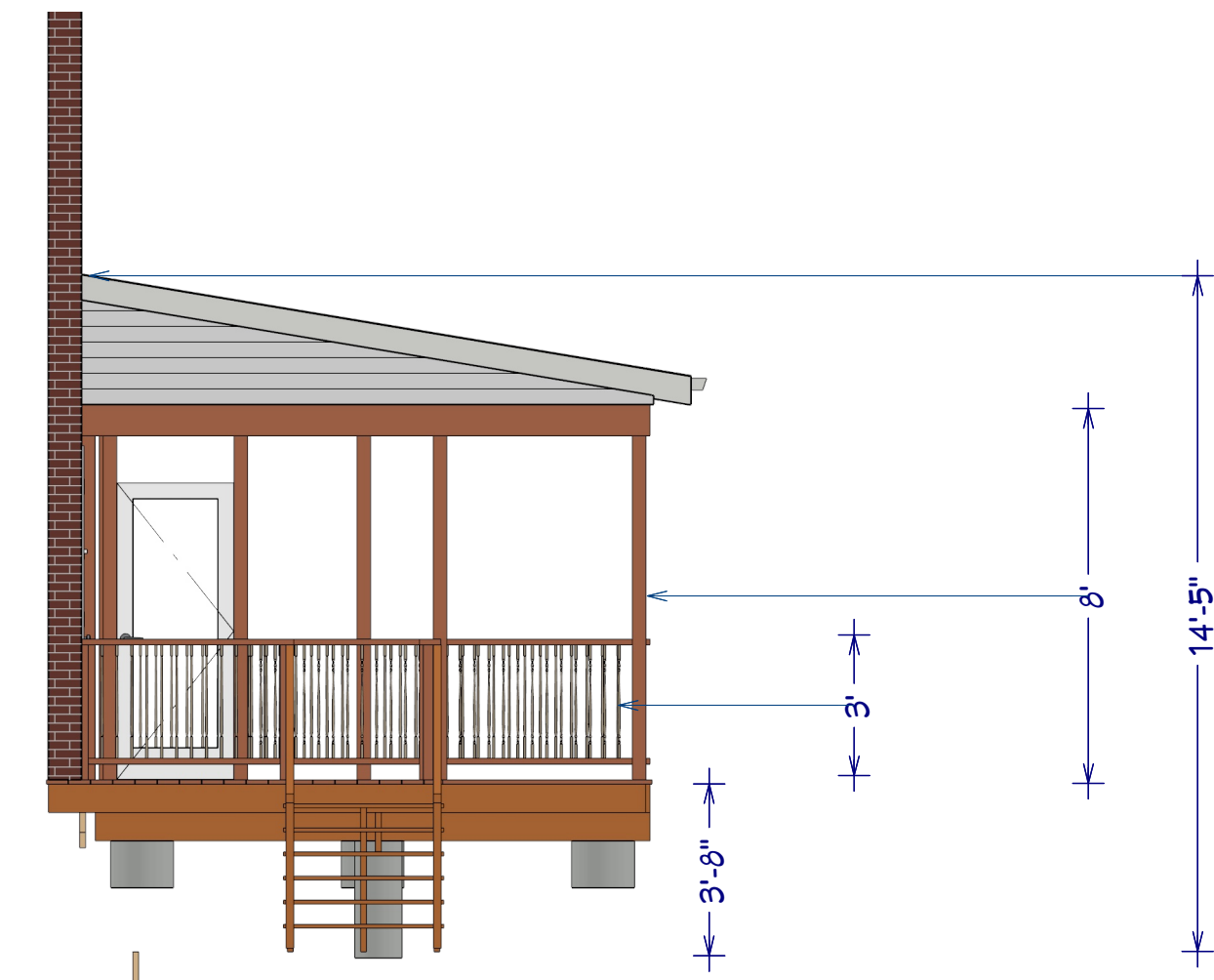
○ FRAMING, FLOOR PLAN VIEW
1/4 IN = 1 FT



○ E3 ELEVATION 3
1/4 IN = 1 FT



○ E2 ELEVATION 2
1/4 IN = 1 FT



○ E4 ELEVATION 4
1/4 IN = 1 FT

REVISION TABLE	
NUMBER	DATE

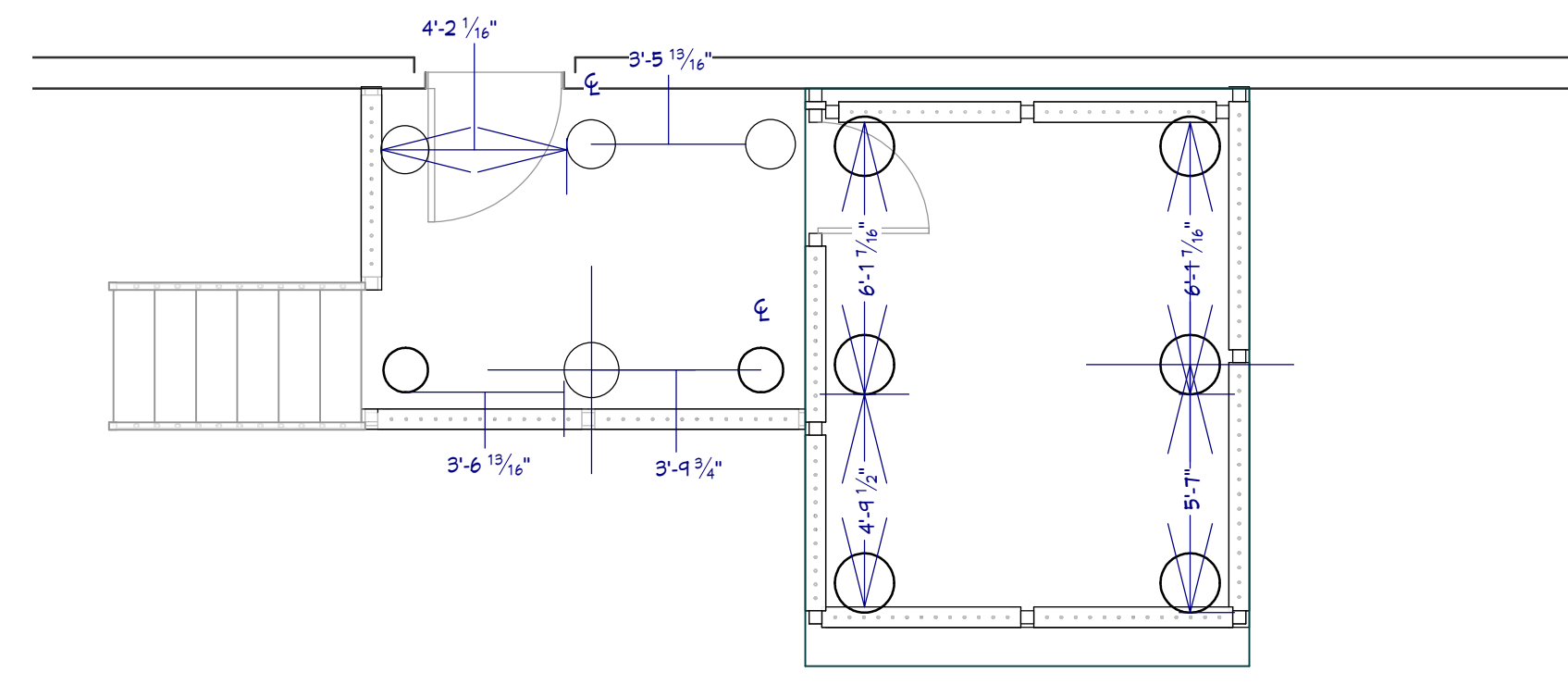
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DATE:

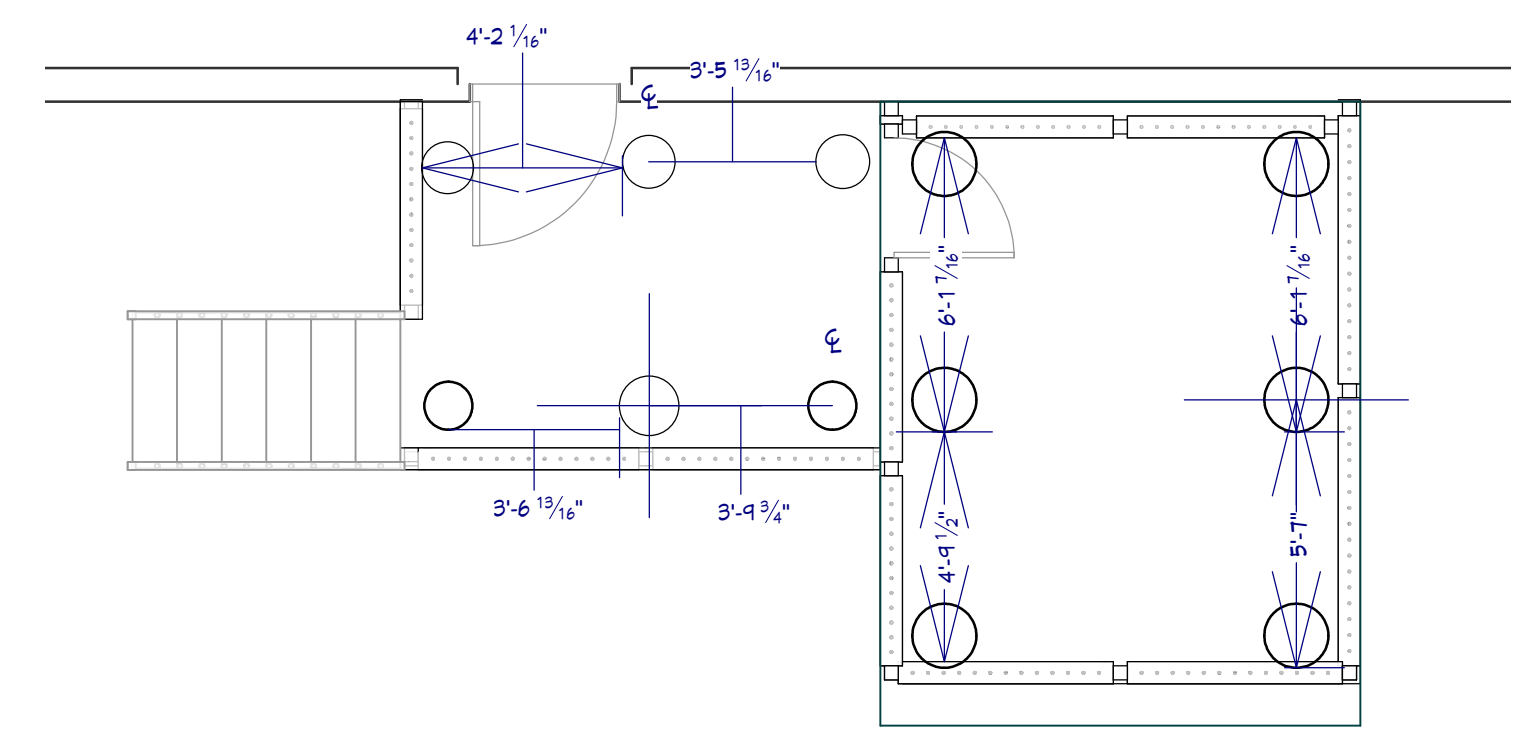
5/19/2025

SCALE:

SHEET:



○ PLOT PLAN VIEW
1/4 IN = 1 FT



○ PLOT PLAN VIEW
1/4 IN = 1 FT

REVISION TABLE	
NUMBER	DATE

REVISION TABLE
REVISOR BY DESCRIPTION

DRAWINGS PROVIDED BY:

DATE:

5/19/2025

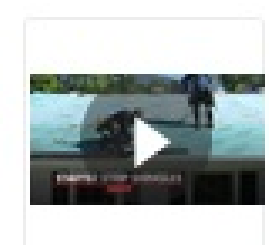
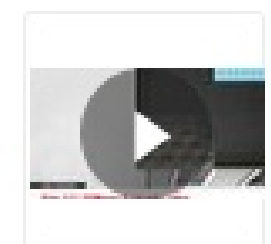
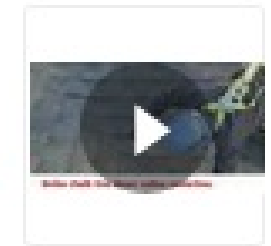
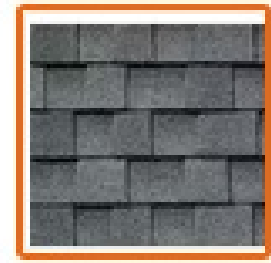
SCALE:

SHEET:

GAF

Timberline Natural Shadow Pewter Gray Algae Resistant Architectural Shingles (33.3 sq. ft. per Bundle)

★★★★★ (1238) Questions & Answers (416)



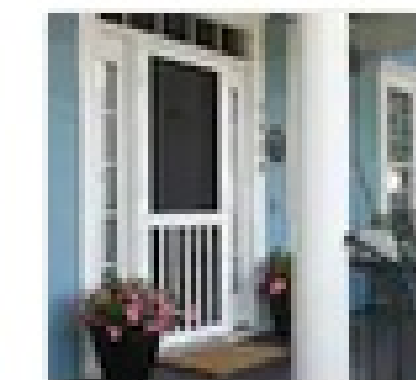
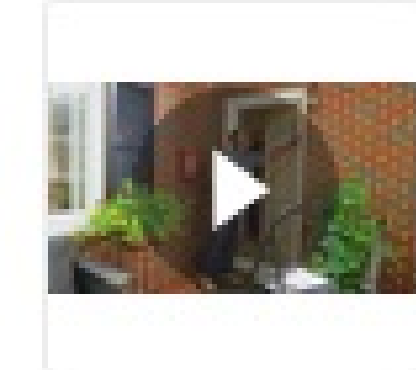
ASPHALT SHINGLES



DECKING



HANDRAIL BALUSTERS



SCREENED DOOR

REVISION TABLE	
NUMBER	DATE

DRAWINGS PROVIDED BY:

DATE:

5/19/2025

SCALE:

SHEET:

An aerial photograph of a residential neighborhood. The houses are arranged in a grid pattern, separated by streets. A central house is highlighted with a white callout box. The text inside the box reads: "PROPOSED DECK AND SCREENED PORCH WILL BE IN SAME LOCATION AS EXISTING DECK ON HOME". The callout box is connected to a specific area on the roof of the central house by a thin black line. The overall image is in grayscale.

PROPOSED DECK AND SCREENED PORCH WILL BE IN SAME LOCATION AS EXISTING DECK ON HOME



AGENDA ITEM #6B

STAFF REPORT
WINDOWS
971 NORTH KINGSHIGHWAY
CASE NO. EC-2025-028

BY TAYLOR MOORE

APPLICANT: Renewal by Anderson
13397 Lakefront Drive
Hazelwood, MO 63044

OWNER: Barbara Johannes
971 North Kingshighway Street
St. Louis, MO 63301

ADDRESS/LOCATION: 971 North Kingshighway Street

ZONING: R-1E—Single-Family Residential District
EHP—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: June 16, 2025

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is the 1½-story, Tudor Revival style house at 971 North Kingshighway Street. The building was constructed in 1935. The applicant is requesting approval to install new windows on the dwelling. Window specifications and photos of the structure accompany this application.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

(C) *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

- b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
- c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - (4) In any design in which the structure frame is exposed to view, the structural materials shall be compatible within themselves and harmonious with their surroundings.
 - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
 - b. Logic of design.
 - c. Exterior space utilization.
 - d. Architectural character
 - e. Attractiveness
 - f. Material selection
 - g. Harmony and compatibility
 - i. Maintenance aspects.

STAFF RECOMMENDATION

The proposed windows will be like for like in material, design, and size. The only noteworthy difference is the kitchen window (Window 111) will be changing to a casement double due to Renewal by Andersen does not make an inswing window like existing. The window will appear the same but function differently. Additionally, the stained glassed arched window (Window 114) will not be replaced, and a “spring line” clear storm window will be placed in front of it. This will retain the existing stained glass window while also protecting it from the elements. The window alterations are appropriate and in compliance with the guidelines of the Extended Historic Preservation District. Therefore, Staff recommends approval as submitted.

Recommended Motion:

Motion to approve the installation of new windows on the dwelling at 971 North Kingshighway Street, as submitted.



Figure 1: 971 North Kingshighway Street.



Image 1



Image 2

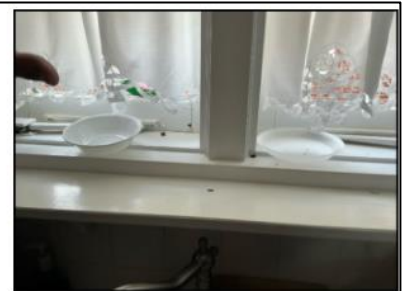


Image 3



Image 4

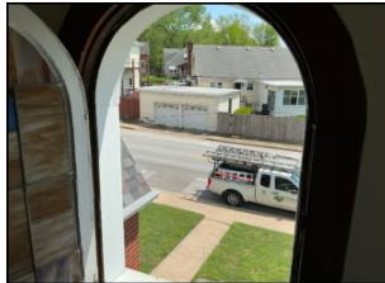


Image 5



Image 6



Image 7



Image 8



Image 9

Figure 2: Photos of proposed windows being replaced.



Figure 3: Subject property's location.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

CASE # (assigned by Staff): _____

ADDRESS OF SUBJECT PROPERTY: 971 N. Kings Highway St.

BUSINESS NAME (if applicable): _____

PROPERTY OWNER:

Barb Johanna
(Name)

971 N. Kings Highway St.
(Address)

636-541-8224
(Phone / Fax)

wincraftnausa@shcglobal.net
(E-Mail Address)

APPLICANT: (Receives meeting notifications and staff reports)

Renewal by Andersen
(Name)

13397 Lakefront Dr
(Address)

314-928-1002
(Phone / Fax)

Permits@raastl.com
(E-Mail Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1935

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Existing windows Wood Single hung weight windows
114
Kitchen window is existing wood Tuswing, New window to be Double
Replacing 2nd Floor Specialty window (springline) like for like Casement

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: REPLACING WINDOWS
- Construct a new structure: _____
- Demolish or move structure: _____
- Construct a new addition: _____
- New sign or awning: _____
- Site work (patio, fence, etc.): _____
- Other (briefly explain): Removing existing wood sashes
Installing Andersen
Grills are like for like
Finish exterior with Aluminum coil

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Covering existing brick metal with Aluminum coil
to match new windows

APPLICATION SUBMITTAL:

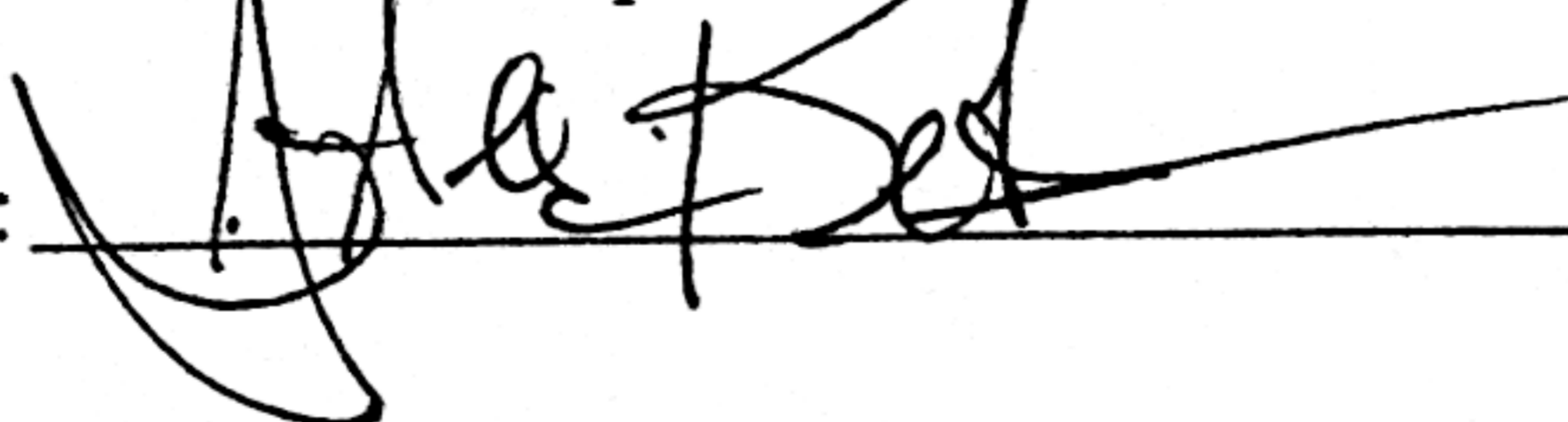
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

Fifteen copies of the following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 5/5/25

Signature of the property owner: _____ Date: _____

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building and Sign Permits are required prior to construction.*

- Site Plan Application Fee: \$50.00**
- Exterior Changes: \$25.00**



dba: RENEWAL BY ANDERSEN OF ST. LOUIS

Legal Name: Birner STL, LLC | License # (null)
13397 Lakefront Drive, Suite 101 | Earth City, MO 63045
Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com
Measure Tech: Steve Redus,

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

Installation Package

971 N Kingshighway
St Charles, MO 63301

PRODUCTS: 17 WINDOWS: 15 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 1 MISC: 1
Updated 5/5/25

BUYER

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

Year Built:

wincrofthavs@sbcglobal.net

Est. Duration:

REPRESENTATIVE

Samm Crocker

(314)698-6170
scrocker@rbastl.com

TECH MEASURE

Steve Redus

sredus@rbastl.com

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ID#	ROOM	SIZE	DETAILS
-----	------	------	---------

JOB

101	dining room	29" 30"	59" 57-3/4"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)</p> <p>Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (1), Interior Caulk: RbA White (2), 1/2" x 6" CDX Rips (1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)</p>
-----	-------------	------------	----------------	--

102	dining room	29" 30"	59" 57-3/4"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)</p> <p>Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)</p>
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Order Summary

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ID#	ROOM	SIZE	DETAILS
103	living room	33" 59" 34-1/8" 57-3/4"	Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)
104	living room	29" 59" 30" 57-3/4"	Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)
105	living room	29" 59" 30" 57-3/4"	Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit



Order Summary

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 H: (636)541-8224

ID#	ROOM	SIZE	DETAILS
			Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)
106	bathroom	26" x 28" x 44" x 45-3/4"	Window: Acclaim™ Double-Hung (DG), 1:1, Travel Calculation Unavailable, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, Fern, Tempered Glass Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)
107	bedroom	29" x 30" x 59" x 57-3/4"	Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)



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 St Charles, MO 63301
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ID#	ROOM	SIZE	DETAILS
108	bedroom	29" x 30" x 59" x 57-3/4"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)</p> <p>Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)</p>
109	dog room	29" x 30" x 59" x 57-3/4"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)</p> <p>Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)</p>
110	dog room	29" x 30" x 59" x 57-3/4"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit</p>



Order Summary

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 H: (636)541-8224

ID#	ROOM	SIZE	DETAILS
			Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)
111	kitchen	39" x 38" x 34" x 33"	Window: Acclaim™ Casement Double, Vented, Base Frame, Exterior White, Interior White Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: White Screen: TruScene, Full Screen Grille Style: Full Divided Light (FDL with spacer) Grille Pattern: All Sash: Colonial 2w x 3h Misc: None Construction: None Material: Interior Caulk: RbA White (2), 1/2" x 6" CDX Rips (2), Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05), 3/4 base shoe RBA White (2), 1 3/8 lattice RBA White (2)
112	dining room	29" x 30" x 59" x 57-3/4"	Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (2), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)



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ID#	ROOM	SIZE	DETAILS
201	upstairs bedroom 1	29" x 50" 28" x 53-1/4"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine</p> <p>Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40</p> <p>Glass: All Sash: High Performance SmartSun Glass, No Pattern</p> <p>Hardware: Stone, Standard Color Recessed Hand Lift</p> <p>Screen: TruScene, Full Screen</p> <p>Grille Style: Simulated Divided Light (FDL w/ o spacer)</p> <p>Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille</p> <p>Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)</p> <p>Construction: None</p> <p>Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)</p>
114	upstairs bedroom 1	24" x 37" 24" x 35-1/2"	<p>Specialty: Acclaim™ Springline, Base Frame, Exterior White, Interior White</p> <p>Performance Calculator: PG Rating: 50 DP Rating: + 50 / - 50</p> <p>Glass: All Sash: High Performance SmartSun Glass, No Pattern</p> <p>Grille Style: No Grille</p> <p>Misc: None</p> <p>Construction: None</p> <p>Material: Exterior Caulk: RbA White (0.5), Interior Caulk: RbA White (2), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)</p>
202	storage room	29" x 50" 28" x 53-1/4"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine</p> <p>Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40</p> <p>Glass: All Sash: High Performance SmartSun Glass, No Pattern</p> <p>Hardware: Stone, Standard Color Recessed Hand Lift</p> <p>Screen: TruScene, Full Screen</p> <p>Grille Style: Simulated Divided Light (FDL w/ o spacer)</p> <p>Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille</p> <p>Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)</p> <p>Construction: None</p> <p>Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16"</p>



Order Summary

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Barb Johannes
 971 N Kingshighway
 St Charles, MO 63301
 H: (636)541-8224

ID#	ROOM	SIZE	DETAILS
			(0.05)
203	bedroom 2	29" x 28" x 53-1/4"	Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun Glass, No Pattern Hardware: Stone, Standard Color Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/ o spacer) Grille Pattern: Sash 1: Colonial 3w x 2h, Sash 2: No Grille Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) Construction: None Material: Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)
		0" x 0"	Misc: Misc, Flashing Package, Flashing Package, Quantity 1 Construction: None Material: None

PRODUCTS: 17 WINDOWS: 15 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 1 MISC: 1

Updated 5/5/25

JOB NOTES

HOA - No
 Permits - Historical St. Charles
 LSWP - Yes home built in 1935
 Yard sign - Yes

All windows (excluding 111 and 114) remove existing wood single hungs. Install new insert DG's. Windows to be white exterior and pine interior. Remove existing sashes. Remove exterior stop and parting stop. Install insert window into existing frame
 111 - Remove existing wood in swing sashes also remove wood mullion. Please fill voids in sill and head. Trim with 1 3/8" lattice trim and 3/4" base shoe (RBA white)
 114 - Cut out Jamb and trim frame to accommodate 24" width. Please trim inside with flat trim and outside with wide I(RBA white)
 Grills like for like
 Please help homeowner move bed out for window 107
 When finished with install please inform to set up stainers
 Dog will be put away

Estimated Duration:

05/05/25



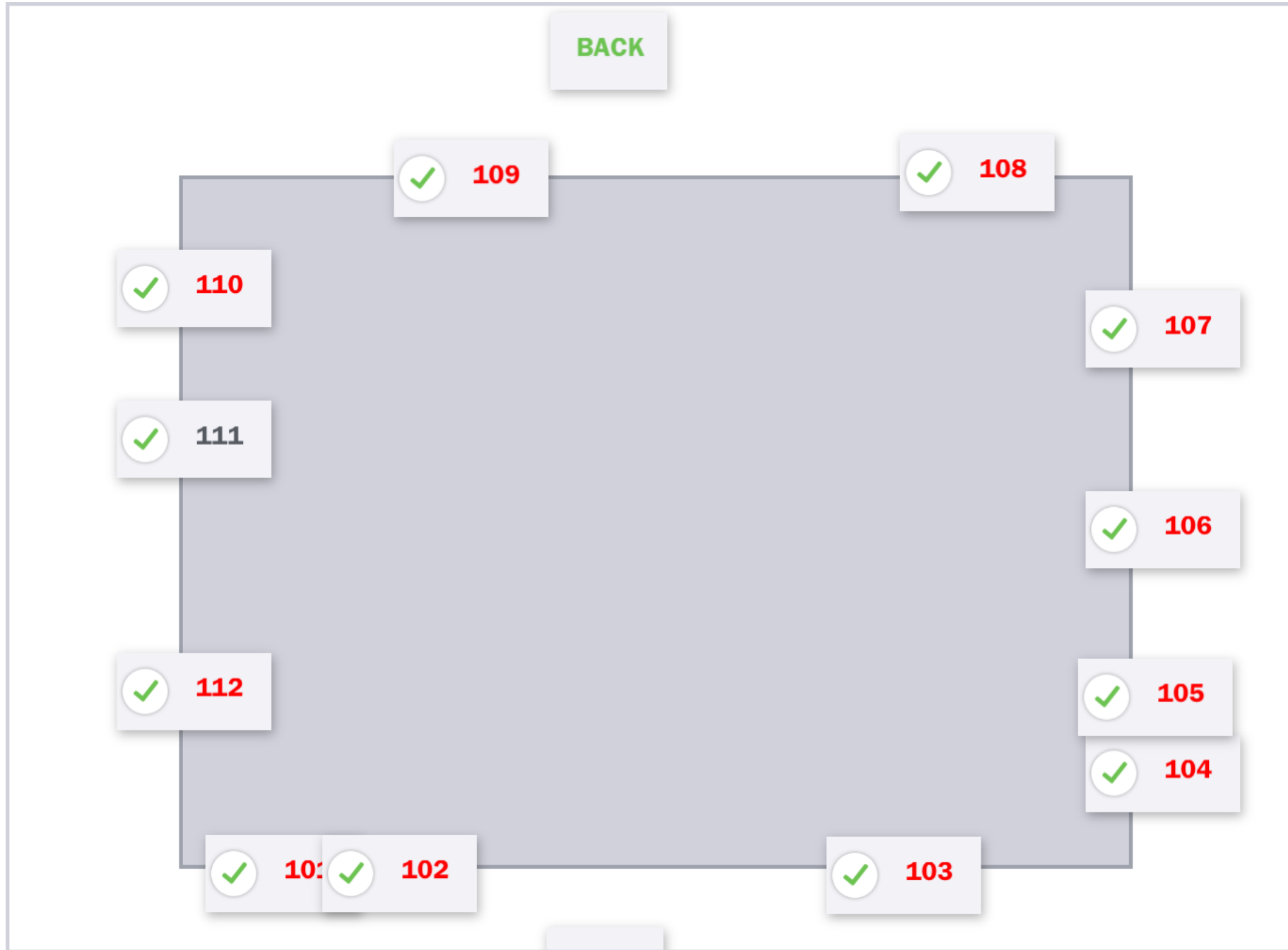
Order Summary

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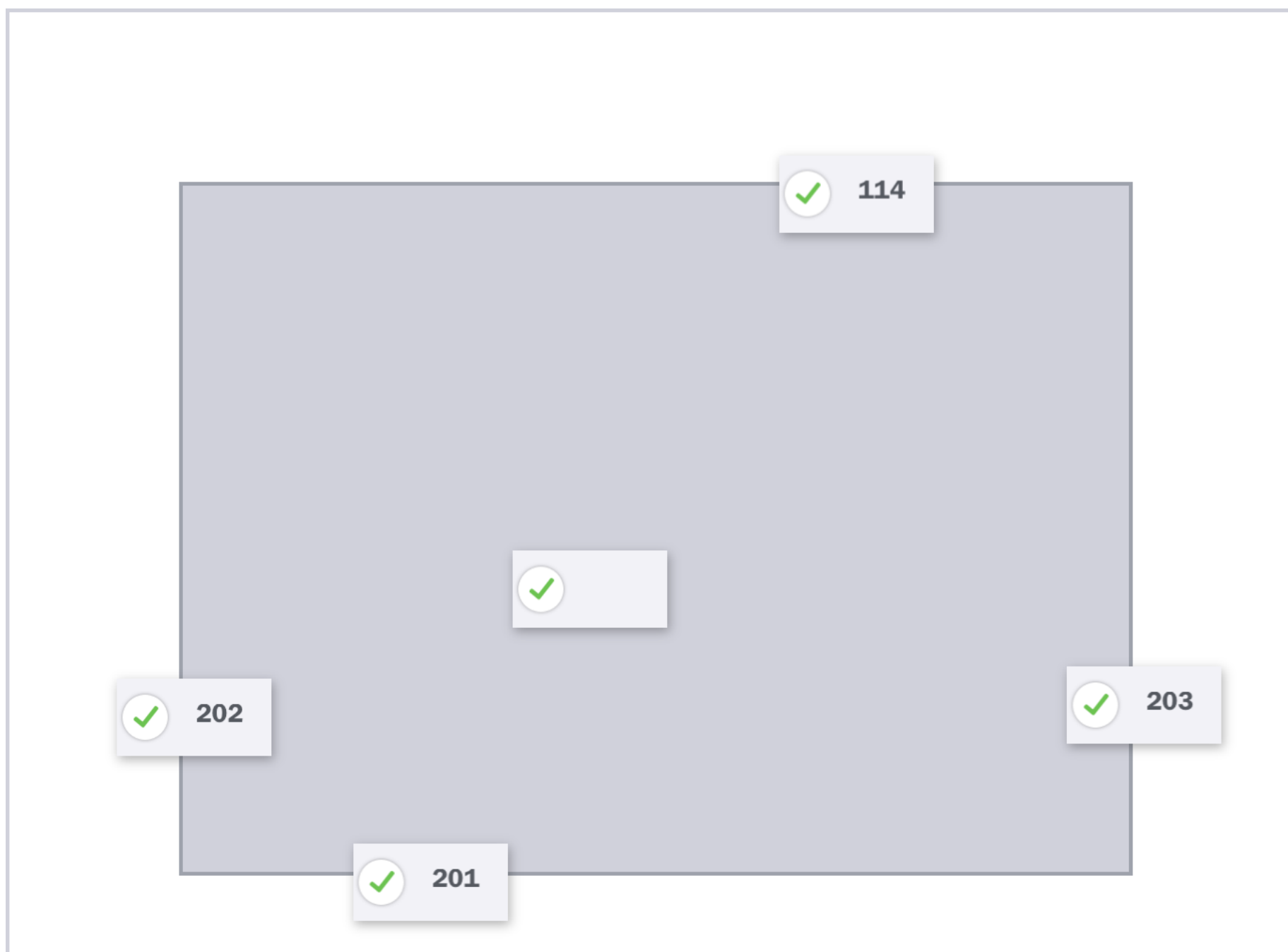
Barb Johannes
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FLOORPLAN - 1ST FLOOR



UNIT NOTES

FLOORPLAN - 2ND FLOOR



UNIT NOTES



Order Summary

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JOB PHOTOS



Image 1



Image 2



Image 3



Image 4

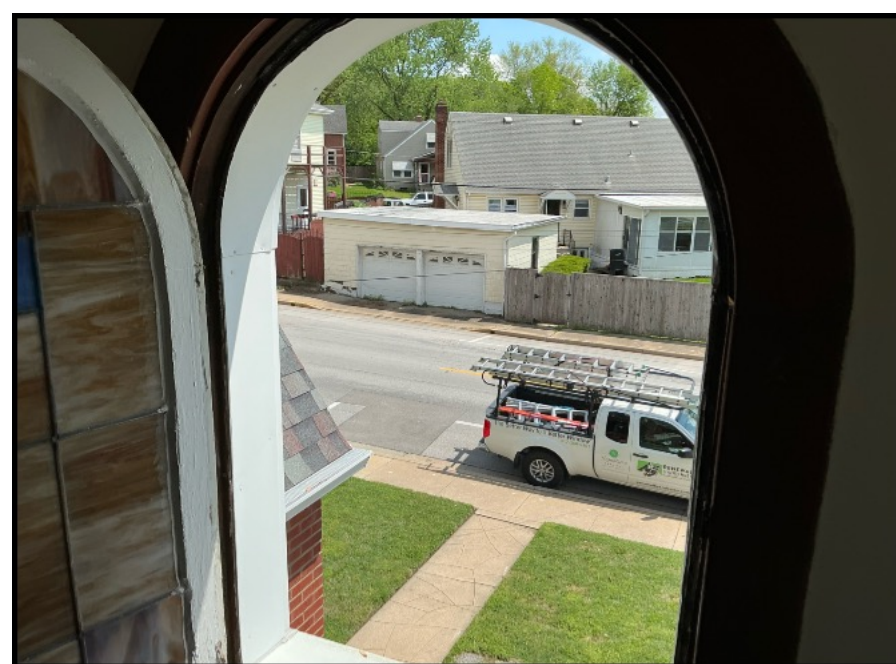


Image 5



Image 6



Image 7



Image 8



Image 9

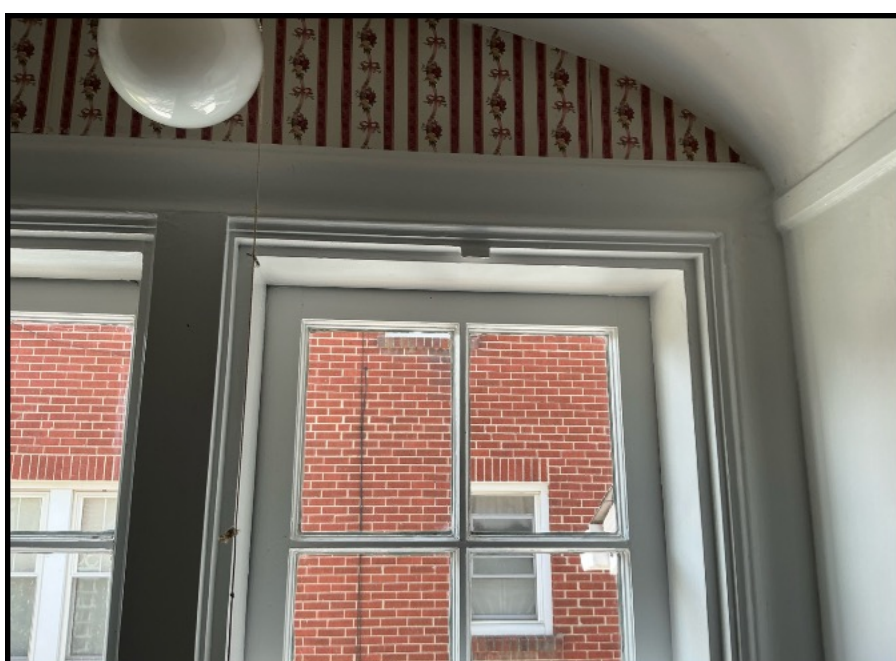


Image 10



101

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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101 dining room
30" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (1), Interior Caulk: RbA White (2), 1/2" x 6" CDX Rips (1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	1 roll
INTERIOR CAULK	Interior Caulk: RbA White	2 Tubes
LUMBER	1/2" x 6" CDX Rips	1 unit
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT



101

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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13397 Lakefront Drive, Suite 101 | Earth City, MO 63045
Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com
Measure Tech: Steve Redus,

Barb Johannes
971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

MISC. Shims - 1/16"
CONSTRUCT
ION
MATERIALS

0.05 boxes

UNIT PHOTOS



102

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Measure Tech: Steve Redus,

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

102 dining room

30" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	1 roll
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	0.05 boxes



102

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Barb Johannes
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St Charles, MO 63301
H: (636)541-8224

UNIT PHOTOS



103

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Measure Tech: Steve Redus,

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

103 living room
34-1/8" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK Exterior Caulk: RbA White **0.5 Tubes**

EXTERIOR COIL Exterior Coil: RbA White **0.1 rolls**

MISC. CONSTRUCTION MATERIALS 3" Screws Pan Heads **0.05 bags**

MISC. CONSTRUCTION MATERIALS Ad Foam **0.13 Cans**

MISC. CONSTRUCTION MATERIALS Ice and Water Shield **1 FT**

MISC. CONSTRUCTION MATERIALS Shims - 1/16" **0.05 boxes**



103

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UNIT PHOTOS



104

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Barb Johannes
971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

104 living room

30" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	0.1 rolls
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	0.05 boxes



104

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Barb Johannes
971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

UNIT PHOTOS



105

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Measure Tech: Steve Redus,

Barb Johannes
971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

105 living room

30" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK Exterior Caulk: RbA White 0.5 Tubes

EXTERIOR COIL Exterior Coil: RbA White 0.1 rolls

MISC. CONSTRUCTION MATERIALS 3" Screws Pan Heads 0.05 bags

MISC. CONSTRUCTION MATERIALS Ad Foam 0.13 Cans

MISC. CONSTRUCTION MATERIALS Ice and Water Shield 1 FT

MISC. CONSTRUCTION MATERIALS Shims - 1/16" 0.05 boxes



105

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UNIT PHOTOS



106

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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 Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com
 Measure Tech: Steve Redus,

Barb Johannes
 971 N Kingshighway
 St Charles, MO 63301
 H: (636)541-8224

106 bathroom
28" W 45-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Travel Calculation Unavailable, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, Fern, Tempered Glass **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	0.1 rolls
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	0.05 boxes



106

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UNIT PHOTOS



107

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Measure Tech: Steve Redus,

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

107 bedroom
30" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	0.1 rolls
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	0.05 boxes



107

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Barb Johannes
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St Charles, MO 63301
H: (636)541-8224

UNIT PHOTOS



108

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Measure Tech: Steve Redus,

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

108 bedroom 30" W 57-3/4" H Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	0.1 rolls
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	0.05 boxes



108

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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H: (636)541-8224

UNIT PHOTOS



109

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Measure Tech: Steve Redus,

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

109 dog room 30" W 57-3/4" H Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	0.1 rolls
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	0.05 boxes



109

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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UNIT PHOTOS



110

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Measure Tech: Steve Redus,

Barb Johannes

971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

110 dog room
30" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK Exterior Caulk: RbA White **0.5 Tubes**

EXTERIOR COIL Exterior Coil: RbA White **0.1 rolls**

MISC. CONSTRUCTION MATERIALS 3" Screws Pan Heads **0.05 bags**

MISC. CONSTRUCTION MATERIALS Ad Foam **0.13 Cans**

MISC. CONSTRUCTION MATERIALS Ice and Water Shield **1 FT**

MISC. CONSTRUCTION MATERIALS Shims - 1/16" **0.05 boxes**



110

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UNIT PHOTOS



111

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 St Charles, MO 63301
 H: (636)541-8224

111

kitchen
38" W 33" H
Window, Casement - Double



Window: Acclaim™ Casement Double, Vented, Base Frame, Exterior White, Interior White **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** White **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 3h **Misc:** None
Construction: None **Material:** Interior Caulk: RbA White (2), 1/2" x 6" CDX Rips (2), Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05), 3/4 base shoe RBA White (2), 1 3/8 lattice RBA White (2)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

INTERIOR CAULK	Interior Caulk: RbA White	2 Tubes
LUMBER	1/2" x 6" CDX Rips	2 units
EXTERIOR CAULK	Exterior Caulk: RbA White	0.5 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	0.1 rolls
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT



111

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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MISC.	Shims - 1/16"	0.05 boxes
CONSTRUCT		
ION		
MATERIALS		
CUSTOM	3/4 base shoe RBA White	2 PER UNIT
CUSTOM	1 3/8 lattice RBA White	2 PER UNIT

UNIT PHOTOS



112

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Barb Johannes
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 St Charles, MO 63301
 H: (636)541-8224

112 dining room
30" W 57-3/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (2), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK	Exterior Caulk: RbA White	2 Tubes
EXTERIOR COIL	Exterior Coil: RbA White	0.1 rolls
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	0.05 bags
MISC. CONSTRUCTION MATERIALS	Ad Foam	0.13 Cans
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	1 FT
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	0.05 boxes



112

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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St Charles, MO 63301
H: (636)541-8224

UNIT PHOTOS



201

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Barb Johannes
 971 N Kingshighway
 St Charles, MO 63301
 H: (636)541-8224

201 upstairs bedroom 1
28" W 53-1/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK Exterior Caulk: RbA White **0.5 Tubes**

EXTERIOR COIL Exterior Coil: RbA White **0.1 rolls**

MISC. CONSTRUCTION MATERIALS 3" Screws Pan Heads **0.05 bags**

MISC. CONSTRUCTION MATERIALS Ad Foam **0.13 Cans**

MISC. CONSTRUCTION MATERIALS Ice and Water Shield **1 FT**

MISC. CONSTRUCTION MATERIALS Shims - 1/16" **0.05 boxes**



201

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Measure Tech: Steve Redus,

Barb Johannes
971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

UNIT PHOTOS



114

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

Legal Name: Birner STL, LLC | License # (null)
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114 upstairs bedroom 1
24" W 35-1/2" H
Specialty, Springline



Specialty: Acclaim™ Springline, Base Frame, Exterior White, Interior White **Performance Calculator:** PG Rating: 50 | DP Rating: + 50 / - 50 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Grille Style:** No Grille **Misc:** None **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Interior Caulk: RbA White (2), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK Exterior Caulk: RbA White 0.5 Tubes

INTERIOR CAULK Interior Caulk: RbA White 2 Tubes

EXTERIOR COIL Exterior Coil: RbA White 0.1 rolls

MISC. CONSTRUCTION MATERIALS 3" Screws Pan Heads 0.05 bags

MISC. CONSTRUCTION MATERIALS Ad Foam 0.13 Cans

MISC. CONSTRUCTION MATERIALS Ice and Water Shield 1 FT

MISC. CONSTRUCTION MATERIALS Shims - 1/16" 0.05 boxes



114

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UNIT PHOTOS



202

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

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Barb Johannes
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St Charles, MO 63301
H: (636)541-8224

202 storage room
28" W 53-1/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK Exterior Caulk: RbA White 0.5 Tubes

EXTERIOR COIL Exterior Coil: RbA White 0.1 rolls

MISC. CONSTRUCTION MATERIALS 3" Screws Pan Heads 0.05 bags

MISC. CONSTRUCTION MATERIALS Ad Foam 0.13 Cans

MISC. CONSTRUCTION MATERIALS Ice and Water Shield 1 FT

MISC. CONSTRUCTION MATERIALS Shims - 1/16" 0.05 boxes



202

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UNIT PHOTOS



203

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203 **bedroom 2**
28" W 53-1/4" H
Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior Pine **Performance Calculator:** PG Rating: 40 | DP Rating: + 40 / - 40 **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Stone, Standard Color Recessed Hand Lift **Screen:** TruScene, Full Screen **Grille Style:** Simulated Divided Light (FDL w/o spacer) **Grille Pattern:** Sash 1: Colonial 3w x 2h, Sash 2: No Grille **Misc:** Single Window Unit Stain (Insert), Single Window Unit Stain (Insert) **Construction:** None **Material:** Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Ice and Water Shield (1), Shims - 1/16" (0.05)

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

EXTERIOR CAULK Exterior Caulk: RbA White **0.5 Tubes**

EXTERIOR COIL Exterior Coil: RbA White **0.1 rolls**

MISC. CONSTRUCTION MATERIALS 3" Screws Pan Heads **0.05 bags**

MISC. CONSTRUCTION MATERIALS Ad Foam **0.13 Cans**

MISC. CONSTRUCTION MATERIALS Ice and Water Shield **1 FT**

MISC. CONSTRUCTION MATERIALS Shims - 1/16" **0.05 boxes**



203

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UNIT PHOTOS



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Misc

Misc: Misc, Flashing Package, Flashing Package, Quantity 1 **Construction:** None **Material:** None

UNIT NOTES

UNIT CONSTRUCTION

UNIT MATERIALS

UNIT PHOTOS

Materials Checklist

Barb Johannes
 971 N Kingshighway
 St Charles, MO 63301
 H: (636)541-8224

CATEGORY	DESCRIPTION	QUANTITY	
This list includes the sum total all of the materials for the entire job.			
EXTERIOR CAULK	Exterior Caulk: RbA White	.. 10 Tubes	<input type="checkbox"/>
EXTERIOR COIL	Exterior Coil: RbA White	.. 4 roll	<input type="checkbox"/>
INTERIOR CAULK	Interior Caulk: RbA White	.. 6 Tubes	<input type="checkbox"/>
LUMBER	1/2" x 6" CDX Rips	.. 3 unit	<input type="checkbox"/>
MISC. CONSTRUCTION MATERIALS	3" Screws Pan Heads	.. 1 bags	<input type="checkbox"/>
MISC. CONSTRUCTION MATERIALS	Ad Foam	.. 3 Cans	<input type="checkbox"/>
MISC. CONSTRUCTION MATERIALS	Ice and Water Shield	.. 16 FT	<input type="checkbox"/>
MISC. CONSTRUCTION MATERIALS	Shims - 1/16"	.. 1 boxes	<input type="checkbox"/>
CUSTOM	3/4 base shoe RBA White	.. 2 PER UNIT	<input type="checkbox"/>
CUSTOM	1 3/8 lattice RBA White	.. 2 PER UNIT	<input type="checkbox"/>

Installation Invoice

Barb Johannes
971 N Kingshighway
St Charles, MO 63301
H: (636)541-8224

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
-------------	----------	------------	-------

Base Unit Installation Charges, Full Frame & EJ Frame

Base Unit Installation Charges, Insert Frame & Base Frame

Install Double-Hung Window-DG (Base Frame), 80-89.99 UI	12	\$225.00	\$2,700.00
Install Double-Hung Window-DG (Base Frame), 90-99.99 UI	1	\$225.00	\$225.00
Install Double-Hung Window-DG (Base Frame), 70-79.99 UI	1	\$225.00	\$225.00
Install Casement-Double Window (Base Frame), 70-79.99 UI	1	\$225.00	\$225.00
Install Springline (Universal, Base Frame), 50-59.99 UI	1	\$147.66	\$147.66

Base Unit Installation Charges, Patio Doors

Base Unit Installation Charges, Entry Doors

Construction Charges

SUBTOTAL

\$ 3,522.66

Additional Items

ADDITIONAL

\$

TOTAL

\$



Product Order Form

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Sales	Samm Crocker
Tech	Steve Redus

Windows	15
Specialty	1
Patio Doors	0
Entry Doors	0
Misc.	1

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
101	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING						Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:									

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
102	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING						Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:									

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
103	DG,I	NO	NO		Modern	NO	34 1/8"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING						Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:									



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Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
104	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING								Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)								Order Notes:									

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
105	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING								Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)								Order Notes:									

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
106	DG,I	NO	NO		Modern	NO	28"	45 3/4"	FS	DG 1:1	WH	PN	X3TFERN	X3TFERN		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING								Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)								Order Notes:									

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
107	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING								Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)								Order Notes:									



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108	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING							Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:								

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
109	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING							Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:								

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
110	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING							Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:								

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
111	CD		NO			NO	38"	33"			WH	WH	X3	X3			1	LR	Standard	White	COLONIAL	FDL	2/3	2/3	S
Additional Options: NORMAL OPENING							Misc: None										Order Notes:								



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112	DG,I	NO	NO		Modern	NO	30"	57 3/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING							Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:								

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
201	DG,I	NO	NO		Modern	NO	28"	53 1/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING							Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:								

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
114	SLU		NO			NO	24"	35 1/2"			WH	WH	X3				1								
Additional Options: None, None, NORMAL OPENING							Misc: None										Order Notes:								

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
202	DG,I	NO	NO		Modern	NO	28"	53 1/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING							Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)										Order Notes:								



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203	DG,I	NO	NO		Modern	NO	28"	53 1/4"	FS	DG 1:1	WH	PN	X3	X3		1R	1		Standard	Stone	COLONIAL	SDL	3/2		S
Additional Options: NORMAL OPENING									Misc: Single Window Unit Stain (Insert), Single Window Unit Stain (Insert)									Order Notes:							

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type



**STAFF REPORT
DEMOLISH OUTBUILDING
519 SOUTH MAIN STREET
CASE NO. D-2025-04**

BY TAYLOR MOORE

APPLICANT: Donna Hafer
500 South Main Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 519 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial—Sugar & Slice Bakery

MEETING DATE: June 16, 2025

BACKGROUND

The subject property is 519 South Main Street, which contains two buildings: a 1½-story, brick, side-gabled Federal style cottage currently being utilized as a bakery and a frame outbuilding directly behind the primary structure. The primary structure was constructed in 1835, and is considered a contributing resource to the South Main Preservation District. The applicant is requesting approval to demolish the outbuilding due to its deteriorated condition. In addition, the outbuilding has received citations via the Code Enforcement Division and has been posted as dangerous by the Building Division and in need of removal. The subject outbuilding is less than 144 sq. ft., and therefore does not require a demolition permit through the City. However, due to its location, Staff believes the review process by the Landmarks Board is necessary. Accompanying the application is a Historical/Architectural Report and existing photos of the property.

The City’s Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria’s have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant’s response is in **bold** and staff’s analysis is in **bold italics**. *All Photos referenced by applicant are in attached architectural/historic report*):

Standards for Review:

Criterion 1: *The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.*

- **Applicant:** **The building is located in the City of St. Charles National Register Historic District, Boundary Increase I. and the South Main Preservation District. The building's age (approximately 135 years), form, materials, scale and association with the primary building at the address (which is assumed to be a contributing resource for the purposes of the report) indicates that the building also likely considered to be a "contributing resource", but that cannot be stated with certainty. The 1988 architectural survey of St. Charles recorded the presence of the building on the survey map, but outbuildings were not assessed for contributing status by the survey report. The first city directory that was available for St. Charles in this area is 1891. The directory indicates that the home at what is now 519 S. Main was occupied by carpenter Adolph Stoltz (variably spelled "Stoltze") at that time. Given the estimated date of construction for the building (c.1890) and the fact that Stoltz was a carpenter by trade, there is a high likelihood that Adolph Stoltz actually constructed the building**

- **Staff:** ***Staff concurs with the submitted information. However, no outbuildings in the South Main Preservation District are listed as contributing properties. Additionally, due to the extent of deterioration of the siding and roof of the outbuilding, Staff feels that it has lost too much integrity to meet Criterion 1.***

Criterion 2: *The property's location as a site of a significant local, county, state or national event.*

- **Applicant:** **The outbuilding at 519 S. Main was not identified as a site of historical significance at the local, county, state or national levels.**
- **Staff:** ***Staff concurs with the submitted information.***

Criterion 3: *The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country. This criterion is not applicable.*

- **Applicant:** **Census records and city directories were consulted to determine the names of people who resided at 519 S. Main when the building was present. These records were inspected using available resources for the period of significance and beyond beginning with the first available city directory in 1891 (estimated date of construction of the building is c.1890) and continuing through 1950. While every resident of the home has a history, no person associated with the building was determined to have significantly contributed to the development of the community, county, state, or country.**
- **Staff:** ***Staff concurs with the submitted information***

Criterion 4: *The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.*

- **Applicant:** **The building is a typical late 19th century utilitarian domestic**

dependency that was probably used for a variety of functions that might have included serving as a detached kitchen/washhouse, residence, or general storage space. It does not exhibit significant distinguishing characteristics of specific architectural style, or period. The building may exhibit distinguishing characteristics of a “type”, but such a typology has not been defined by existing architectural surveys/districts in St. Charles.

- **Staff: Staff concurs with the submitted information.**

Criterion 5: The property’s identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant: The builder is unknown. Not Applicable.**
- **Staff: Staff concurs.**

Criterion 6: The property’s embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant: Not Applicable.**
- **Staff: Staff concurs. As mentioned earlier, the design of the structure does not have any significant features and was constructed for use rather than aesthetic.**

Criterion 7: The property’s embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant: Not Applicable.**
- **Staff: Staff concurs. The building does not display design elements that make it structurally or architecturally innovative.**

Criterion 8: The property’s unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city. This criterion is not applicable.

- **Applicant: The building is essentially invisible from the public right of way so it cannot be considered a “familiar visual feature”. The only way to see the building from South Main Street is by looking southwest across a commercial patio. This affords a limited view of the east-facing gable end and a portion of the roof slope. The building cannot be seen facing directly south from Tompkins Street, or directly west from Main Street. Facing north from Pike Street, the building is screened by vegetation. Facing east from South 2nd Street the building cannot be seen. The building is clearly visible from the alley.**
- **Staff: Staff concurs with this analysis. While the structure has been present on the property for many years, it is not noteworthy of being considered a familiar visual feature and is minimally visible from the Street.**

Criterion 9: The property’s character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** The literature review that was conducted for this report provided no guidance for determining if a building is a “particularly fine example of a utilitarian structure...” The surveys and district nominations that were reviewed acknowledge the presence of utilitarian or ancillary structures in St. Charles but provide no specific guidance or criteria for evaluation of such resources. The following comments are based on the author’s decades of experience researching and evaluating historic buildings in the St. Louis Region.

The Resource

The building is an unremarkable late 19th century dependency; it was and is a utilitarian structure. The building has been in its current location for approximately 135 years. It was not constructed at the same time as the primary residence at 519 S. Main, but it was constructed during the period of significance for the historic district (1790-1920). The building was intentionally sited to interact with and support the primary residence. If it were to be repaired, it could still serve a support function for the primary residence today. In my opinion, the building is not a “particularly fine or unique example of a utilitarian structure”, but it is a reasonably intact example of a late 19th century utilitarian structure.

Condition

Based on limited visual inspection, the stone foundation and brick floor of the building appear to be in reparable condition. The chimney appears to be sound though it may have been shortened from its historical height above the roof ridge. The portion of the chimney that is visible on the exterior is very minimal (Photos 2-3). Much of the lap siding is deteriorated and approaching the end of its natural lifespan (Photos 1-2, 7). Elements of the frame structure have been replaced and reinforced in an ad-hoc manner as the condition of the original elements deteriorated (Photo 6). The sill plate is rotten (photo 6), which means that the frame structure would have to be reconstructed to prevent eventual collapse if demolition is not permitted. The three surviving wooden sash windows might be salvageable if the owner is willing to go to extraordinary lengths. If the entirety of the frame fabric must be replaced in order retain the presence of the building on site, the resulting reconstruction would no longer be considered a contributing resource in the historic district.

- **Staff:** *Staff concurs that the structure is not a particularly fine or unique example of a utilitarian structure, as the outbuilding was constructed for use rather than aesthetics. Additionally, buildings such as this were common throughout the district and City as a whole. Therefore, the structure does not meet this Criterion.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** Not applicable.
- **Staff:** *Staff concurs, this building does not appear to have the ability to yield important information.*

APPLICABLE DESIGN GUIDELINES

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL.

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 - 4. Its embodiment of distinguishing characteristics of an architectural style valuable

- for the study of a period, type, method of construction or use of indigenous material;
 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
 10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
 2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
 3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
 4. Assessed value of the property according to the two (2) most recent assessments;
 5. Real estate taxes of the previous two (2) years;
 6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
 7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION

While the outbuilding was constructed during the district's period of significance, it was not individually identified as a contributing structure. Utilitarian buildings of this nature were common throughout the district and were typically built for function rather than architectural distinction. Staff concurs with the analysis provided by the applicant, concluding that the structure lacks historic and architectural significance to the district.

Furthermore, the structure was discovered to be in this state in a Code Enforcement sweep of the South Main District in the fall of 2024. In December 2024, the Building Commissioner, Dale Nicolas, officially posted the structure as dangerous due to severe structural deficiencies. The foundation and key structural members are failing, and both the masonry and wood framing components exhibit advanced deterioration. In its current condition, the structure is at imminent risk of collapse, posing a serious safety hazard. Moving the building to the adjacent property was considered, but due to the deteriorated condition of the studs and sills, moving it is not feasible.

After evaluating the structure in accordance with the ten review criteria and incorporating findings from the Building Division, Staff concludes that the outbuilding does not contribute to the historic significance of the district and recommends approval of the request for demolition.

Recommended Motion:

Motion to find the outbuilding at 519 South Main Street to be architecturally or historically significant. (Note: Staff recommends that it not be considered significant.)



Figure 1: Subject structure in rear of property.



Figure 2: Subject structure seen from rear alley way.

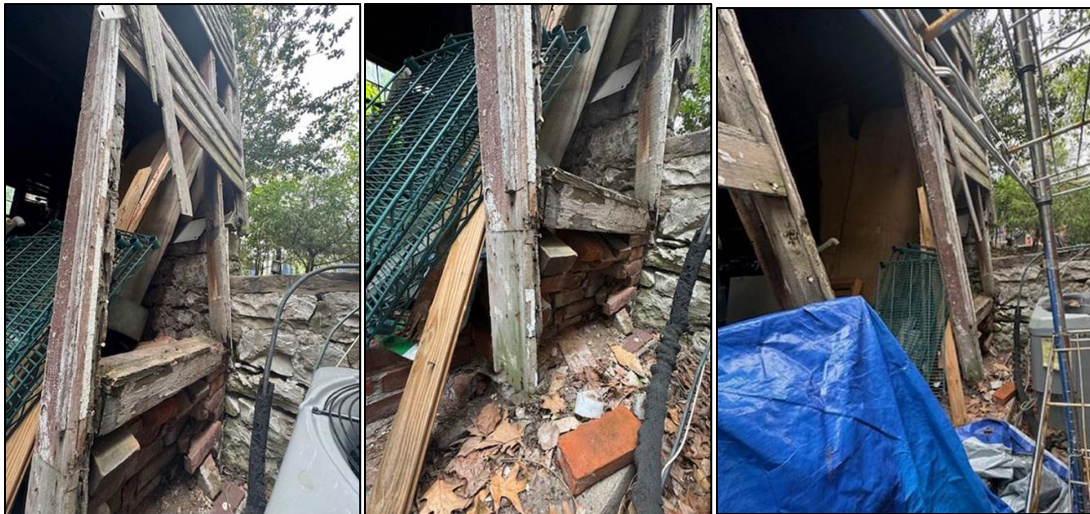


Figure 3: Photo examples of outbuilding entryway (east elevation) in deteriorated state.



Figure 4: Photos of interior of the subject structure.

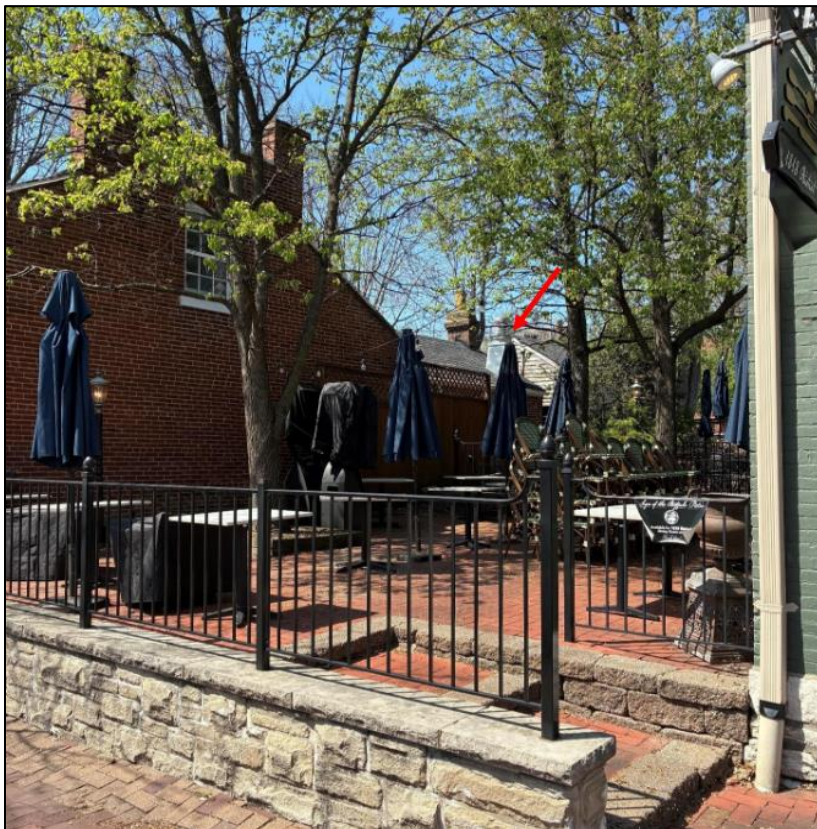


Figure 5: Structure minimally visible from South Main Street.

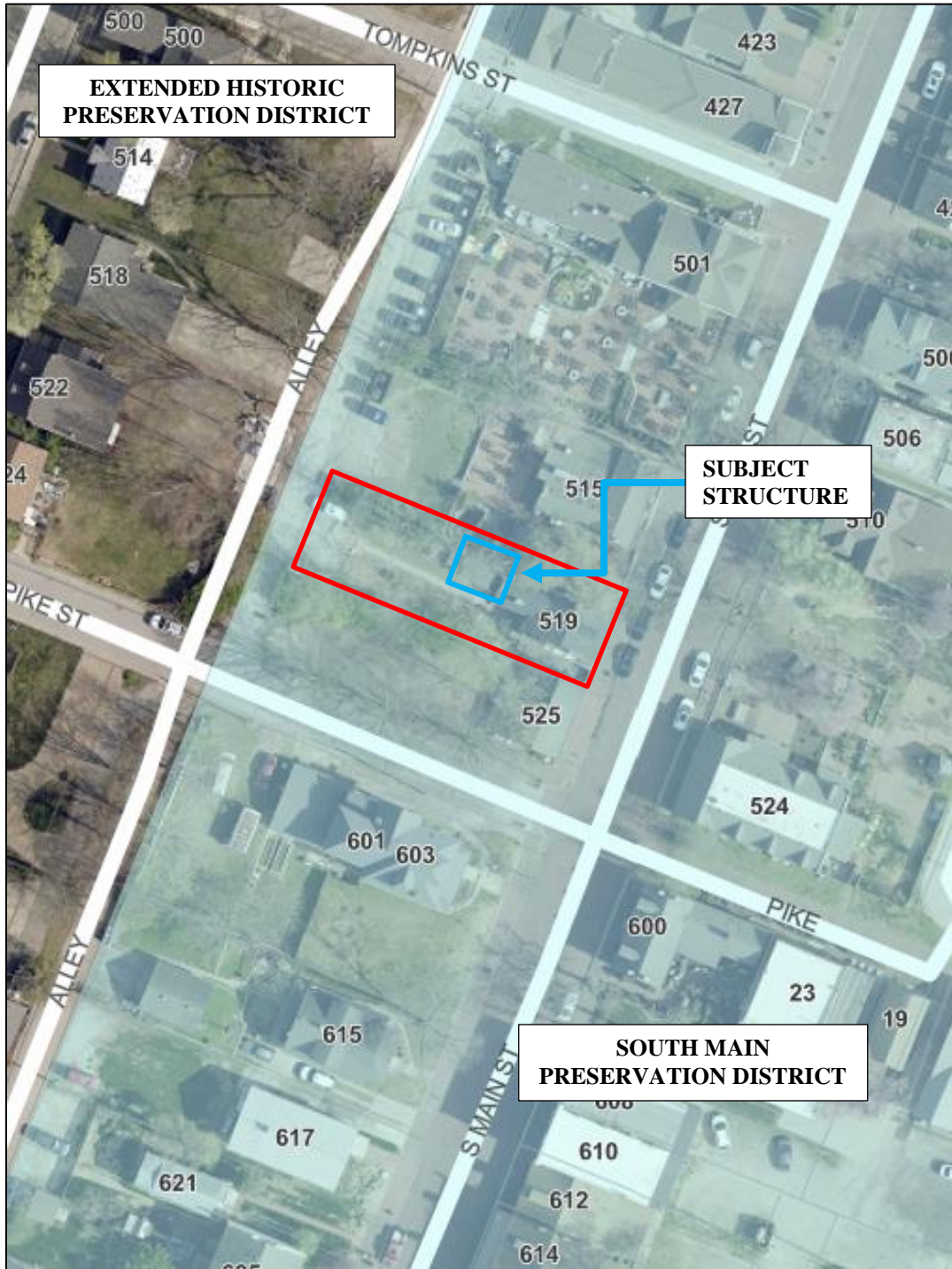


Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 519 South Main Street

BUSINESS NAME (if applicable): _____

APPLICANT:

Donna Hafer
(Name)

1 Belle Plaine Drive, St. Charles, MO 63301
(Address)

636-541-0820
(Phone & Email Address)

PROPERTY OWNER:

Donna Hafer Revocable Living Trust
(Name)

1 Belle Plaine Drive, St. Charles, MO 63301
(Address)

636-541-0820
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: Unknown; est. late 19th Century

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

The main building on the property contains a bakery. The subject of this Application is a small, frame outbuilding in the rear of the property.

The outbuilding is a utilitarian frame structure with wooden lap siding. Its frame superstructure is leaning and deteriorated. Wooden lap siding is deteriorated and missing in places. The stone foundation, brick floor, and chimney are deteriorated and in need of repair. Elements of the frame structure have been replaced and reinforced in an ad-hoc manner. The sill plate is rotten.

For more information, enclosed with this application is an Evaluation of Historical/ Architectural Significance of 519 S. Main Street Frame Outbuilding, prepared by Andrew B. Weil, MA, Executive Director, Landmarks Association of St. Louis.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: Demolish the frame outbuilding

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES: Not applicable. Proposal is to demolish the frame outbuilding.

APPLICATION SUBMITTAL:

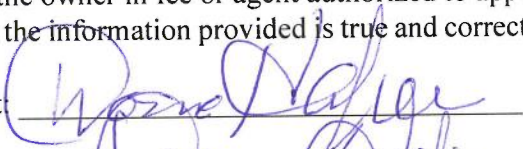
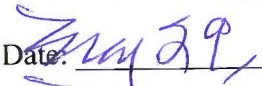
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

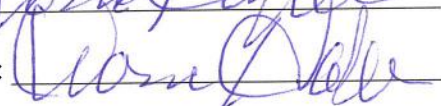
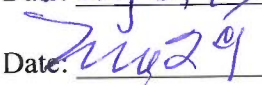
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 

Signature of the property owner:  Date: 

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan: \$200.00
Exterior Changes & Demolitions: \$50.00



HISTORICAL/ARCHITECTURAL ASSESSMENT
519 S. Main Street Rear Frame Outbuilding; South
Main Street Preservation District

An Evaluation of Historical/architectural Significance
of 519 S. Main Street Frame Outbuilding Prepared for
the City of St. Charles Landmarks Preservation Board
on Behalf of Drew Weber, Hamilton Weber LLC.

Author: Andrew B. Weil, MA. Executive
Director, Landmarks Association of St. Louis.

519 S. Main Street is located within the South Main Preservation District and Boundary Increase I of the City of St. Charles National Register Historic District (NR 6/4/87).

This report is submitted in accordance with the requirements of Article XIV, Historic Landmarks Preservation and Architectural Review Board (Section 400.1280) of the City of St. Charles Land Use/Zoning Code, Section F: Standards for Review.

*National Register (NR) listings are archived by the State Historic Preservation Office (SHPO) and hosted by the website of MO State Parks. In an effort to obtain guidance from the NR nomination with regard to the history of the primary address of 519 S. Main and its ancillary structure, the author discovered that the link to the nomination on the State Parks Website is linked to the wrong document. Taylor Moore with the City of St. Charles contacted SHPO and learned that the office has misplaced the nomination. The nomination is not on file with the City of St. Charles, nor was it located at the St. Charles Historical Society. For this reason, the status of the ancillary structure (“the building”) as a contributing or non-contributing resource in the St. Charles Historic District Boundary Increase I, is not known. *Based on the present evaluation, this report was prepared working from the assumption that the building in question is considered to be a contributing resource in the City of St. Charles National Register Historic District, Boundary Increase I.*

Literature Review; The following surveys and nominations were reviewed to obtain context for the following evaluation:

Architectural Survey of St. Charles County (1988)
 Architectural Survey St. Charles, Mid-Town and Commons Neighborhoods, Phase I (2011)
 Architectural Survey St. Charles, Mid-Town and Commons Neighborhoods, Phase II (2012)
 Architectural Survey St. Charles, Mid-Town and Commons Neighborhoods, Phase III (2013)
 Architectural Survey St. Charles, Mid-Town and Commons Neighborhoods, Phase IV (2014)
 Architectural Survey St. Charles, Lindenwood Neighborhood (2015)
 NR Nomination St. Charles Historic District (1970)
 NR Nomination St. Charles Historic District Boundary Increase II (1991)
 NR Nomination St. Charles Historic District Boundary Increase III (1996)
 NR Nomination St. Charles Frenchtown Historic District (1991)
 NR Nomination St. Charles Commons Neighborhood Historic District (2017)
 NR Nomination St. Charles Midtown Historic District (2014)
 Architectural Design Guidelines for the South Main Street Historic District (1997)

This literature review indicates that, while outbuildings are acknowledged as components of districts and surveys in St. Charles, and usually assessed for contributing status, they are rarely considered worthy of individual description in survey/NR documents. Purpose-built structures like summer kitchens, smokehouses and barns are certainly part of the history and historical landscape of St. Charles, but existing documentation does not provide an explicit historical context for evaluation of significance.

The following report provides an analysis of the history of the building in question (519 S. Main St. rear “the building”), its viewshed, as well as impressions of general condition, construction techniques and materials as documented by the author on a site visit conducted on 4/7/25.

The following report is submitted by Andrew Weil, MA. Executive Director, Landmarks Association of St. Louis. Mr. Weil has worked in the field of cultural resource management for more than 25 years. He is 36CFR61 qualified as a professional historian, architectural historian, and archaeologist. He taught historic preservation in the graduate architecture program at the Sam Fox School of Design and Visual Arts at Washington University from 2012-2019 and has served as Executive Director of Landmarks Association of St. Louis, the Region's primary advocate for historic preservation, since 2011.

Mr. Weil's Selected National Register and Architectural Survey Work.

- NR Listing, Baden School, St. Louis, MO
 - NR Listing, Mason Building, Kansas City, MO
 - NR Listing, Spring Avenue Substation/Trouble Station, St. Louis, MO
 - NR Listing, International Brotherhood of Electrical Workers Hall, St. Louis, MO
 - NR Listing Bevo Mill Commercial Historic District, St. Louis, MO
 - NR Listing Tower Grove East Historic District, St. Louis, MO
 - NR Listing Grand-Bates Historic District, St. Louis, MO
 - NR Listing Central Carondelet Historic District, Boundary Increase I, St. Louis, MO
 - NR Listing Central Carondelet Historic District, Boundary Increase III, St. Louis, MO
 - NR Listing Central Carondelet Historic District, Boundary Increase IV, St. Louis, MO
 - NR Listing Arlington School, St. Louis, MO
 - NR Listing Mark Twain School, St. Louis, MO
 - NR Listing Gratiot School, St. Louis, MO
 - NR Listing Central/Yeatman School St. Louis, MO
 - NR Listing Oehler Brick Buildings, St. Louis, MO
 - NR Listing Philip and Louisa Green Home, St. Louis, MO
 - NR Listing National Cash Register Building, St. Louis, MO
 - NR Listing Endicott Johnson Shoe Factory, St. Louis, MO
 - NR Listing John B. Busch Brewery District Boundary Increase, Washington, MO
 - NR Listing Downtown Washington, MO. Re-certification
 - NR Listing North Taylor Historic District, Kirkwood, MO
 - NR Listing International Shoe Factory, West Plains, MO
 - NR Listing The Publicity Building, St. Louis, MO
 - NR Listing Burgherr's Service Station, St. Louis, MO
 - NR Listing Wilkinson School, St. Louis, MO
 - NR Listing, Charles Stockstrom House, St. Louis MO
 - NR Listing, Mason Building, Kansas City, MO
 - Architectural Survey of 5th Street, Washington, MO
 - Architectural Survey, Midtown St. Charles, MO
 - Architectural Survey International Shoe Factory Neighborhood Phase I, Washington, MO
 - Architectural Survey International Shoe Factory Neighborhood Phase II, Washington, MO
 - Architectural Survey International Shoe Factory Neighborhood Phase III, Washington, MO
 - Architectural Survey/Nomination Sarah Lou Historic District in The Ville, St. Louis, MO (Pending 2025)
-

Evaluation:

Standard 1: [A building's] character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country:

The building is located in the City of St. Charles National Register Historic District, Boundary Increase I and the South Main Preservation District. The building's age (approximately 135 years), form, materials, scale and association with the primary building at the address (which is assumed to be a contributing resource for the purposes of the report) indicates that the building also likely considered to be a "contributing resource", but that cannot be stated with certainty.

The 1988 architectural survey of St. Charles recorded the presence of the building on the survey map, but outbuildings were not assessed for contributing status by the survey report.¹

Summary

***The author is not a professional engineer; comments regarding structural soundness are based on field observations and experience.**

Devoid of ornament, the building is a utilitarian frame structure constructed c. 1890. It suffers from deferred maintenance and its frame superstructure is leaning and deteriorated. Wooden lap siding is deteriorated and missing in places. The stone foundation, brick floor and chimney appear sound (no major bulging or cracking visible) but they are deteriorated and in need of repair. The building lacks individual character-defining features, but its overall form, setting, scale, construction materials/method and windows together "read" as a late 19th or early 20th century building.

While the building is not individually remarkable, it is representative of a pattern of historical land use and building types that St. Charles residents employed to expand the functionality of their properties. Toward this end, residents constructed "dependencies" like kitchens, laundries, storehouses, smokehouses, springhouses, barns, and even living quarters during the period of significance (defined as 1790-1920 with a "period of focus" of 1805-1850)² the historic district. Such resources are representative of a pattern of historical development that is relevant to the character, interest, and value of St. Charles and its cultural heritage. However, as individual resources, such buildings usually lack distinction and rarely rise to the level of historical or architectural significance.

Architectural Description

The building is a modest, vernacular, utilitarian frame building with a low-pitched front-gable roof (ridgeline runs E-W) with a parged limestone foundation and brick chimney (ridge, rear, west). Sanborn fire insurance maps indicate that the building was constructed after 1886 and before 1893 (Figures 1-2). For this reason, a "circa" ("c.") date of 1890 has been assigned. This date is consistent with observations made in the field. The limestone foundation is constructed of coarsely-dressed blocks and rubble stone capped with a wooden sill of milled, dimensional lumber. The raised foundation rises to the level of the window sills because the building is incised into the slope of the

¹ St. Charles Architectural Survey, 1988

<https://mostateparks.com/sites/mostateparks/files/St.%20Charles%20Map.PDF>

² South Main Street Historic District Design Guidelines, 1997: p. 4

<https://www.stcharlescitemo.gov/DocumentCenter/View/8060/Design-Guidelines-for-South-Main-Preservation-District?bidId=>

yard on the north, west and south sides. The foundation has been parged with concrete and the parging has delaminated from the stone in multiple areas.

The entryway is on the east side of the building and addresses the west wall of primary residence's (brick) rear addition (Photo1). There are two window bays (south and west sides) and one doorway (east) (Photos 2-3). The window bays have flat wooden surrounds and contain the remains of historic 6/6 light, double hung wooden sash windows with wooden muntins. The south window bay retains an intact historic window with two sashes and the west bay contains a single, 6/6 sash (Photos 2-3). The low-pitched, front-gable roof has modern asphalt shingles. There are no gutters.

The walls are constructed of dimensional lumber milled by a circular saw (Photos 4-5). Visible nails are round wire nails typical of the turn of the 19th and early 20th centuries. Studs run vertically between a sill plate at the raised foundation level and attic level sill. Rafters and joists are tied to the sill at the attic level (Photos 4-6). The structural system is enveloped by wooden lap siding. There is no insulation. The whitewashed siding is milled with a circular saw (not hand-split) and the lap joints are hand-planed (Photo 4). The siding is rotted and failing (Photos 1-2, 7). Signage warns that the structure is unstable so the interior was only inspected through the door and windows. Visual inspection indicates that the structure is no longer plumb. Evidence of ad-hoc stabilization efforts is visible in non-historic members that have been added to the internal roof structure (Photo 6).

There is a floor of bricks that are laid flat at least three courses deep (Photo 8). A rectangular brick stove chimney is centered on the west wall within the exterior of the wall framing (Photos 3 and 6). There appear to be two apertures for stove pipes (one covered, one open). These probably indicate the presence of at least two stoves throughout the building's life (Photo 6).

History

Without access to the St. Charles National Register Historic District, Boundary Increase I document, the history of the *primary residence* at 519 S. Main Street is unknown to the author. The building's style and materials indicate that it is associated with Missouri German Classical Vernacular tradition and that it likely dates to the middle of the 19th century. This means that the primary residence likely predates the frame outbuilding by decades.

Sanborn Fire Insurance Maps indicate that the building was not a component of the larger primary residence complex in 1886 (Figure 1). The building was present by 1893 when the next map was created (Figure 2). It should be noted that the address of the parcel/primary residence changes through time, but the city block (block 27) in addition to the location of adjacent buildings and streets remain consistent, enabling accurate identification of the parcel regardless of address.

In 1886, the address of the property is listed on the Sanborn map as 106 Main Street (Figure 1). In 1893, the Sanborn map records the address of the parcel as 106/515 Main Street (Figure 2).

The first city directory that was available for St. Charles in this area is 1891. The directory indicates that the home at what is now 519 S. Main was occupied by carpenter Adolph Stoltz (variably spelled "Stoltze") at that time. Given the estimated date of construction for the building (c.1890) and the fact that Stoltz was a carpenter by trade, there is a high likelihood that Adolph Stoltz actually constructed the building.

While the Stoltz's were living in St. Charles in 1891, the 1900 census recorded Adolph (68), his wife Frederica (64) and adult sons John (36) and Auguste (34) living on Monroe Street in north St. Louis.

Adolph had retired from carpentry, but both sons were listed as cabinetmakers. Both Adolph and Frederica were born in Germany having immigrated to Missouri in 1854 and 1853 respectively. Their sons were born in Missouri.

The family must have retained ownership of the home in St. Charles while living in St. Louis because Adolph and Frederica were once again recorded at 519 S. Main in the 1910 St. Charles city directory. Interestingly, that year they were recorded at “519 S. Main *Rear*”. This seems to indicate that Adolph and Frederica were either living in the building at the rear of the property (the building) or the adjacent brick ell that is attached to the primary residence.

The 1920-21 St. Charles city directory indicates that the Stoltz’s son John Stoltz was now the owner of the property. John Stoltz was recorded at the primary residence through at least 1930.

In 1941, the city directory recorded Paul and Margaret (aka “Nelma”) Cooper living at the address. Paul’s occupation was listed as truck driver.

In 1951, Edgar W. and Mary Kennedy were listed at the address. Edgar worked as a machine operator for International Shoe.

Criterion 2. “Its location as a site of a significant local, county, state or national event;”

The outbuilding at 519 S. Main was not identified as a site of historical significance at the local, county, state or national levels.

Criterion 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;

Census records and city directories were consulted to determine the names of people who resided at 519 S. Main when the building was present. These records were inspected using available resources for the period of significance and beyond beginning with the first available city directory in 1891 (estimated date of construction of the building is c.1890) and continuing through 1950. While every resident of the home has a history, no person associated with the building was determined to have significantly contributed to the development of the community, county, state, or country.

Criterion 4. “Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;”

The building is a typical late 19th century utilitarian domestic dependency that was probably used for a variety of functions that might have included serving as a detached kitchen/washhouse, residence, or general storage space. It does not exhibit significant distinguishing characteristics of a specific architectural style, or period. The building may exhibit distinguishing characteristics of a “type”, but such a typology has not been defined by existing architectural surveys/districts in St. Charles.

With regard to Criterion 4’s concern for “...method of construction or indigenous materials...” it is worth noting that the building has a substantial stone foundation and adjacent retaining wall that is constructed of local limestone. These structures were incised into the slope of the yard. Buildings that are constructed into a slope by means of excavation are not unusual in St. Charles. They reflect the ways residents adapted building needs to the sloping topography of a Missouri River bluff town.

Criterion 5. “Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;” Not Applicable

Criterion 6. “Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;” Not Applicable

Criterion 7. “Its embodiment of design elements that make it structurally or architecturally innovative;” Not Applicable

Criterion 8. “Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City...”

The building is essentially invisible from the public right of way so it cannot be considered a “familiar visual feature”. The only way to see the building from South Main Street is by looking southwest across a commercial patio (Photo 9). This affords a limited view of the east-facing gable end and a portion of the roof slope. The building cannot be seen facing directly south from Tompkins Street, or directly west from Main Street. Facing north from Pike Street (Photo 10), the building is screened by vegetation. Facing east from South 2nd Street the building cannot be seen. The building is clearly visible from the alley (Photo 11).

Criterion 9. “Its character as a particularly fine or unique example of a utilitarian structure including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional; offices; or other commercial structures with a high level of integrity or architectural significance;”

The literature review that was conducted for this report provided no guidance for determining if a building is a “particularly fine example of a utilitarian structure...” The surveys and district nominations that were reviewed acknowledge the presence of utilitarian or ancillary structures in St. Charles but provide no specific guidance or criteria for evaluation of such resources. The following comments are based on the author’s decades of experience researching and evaluating historic buildings in the St. Louis Region.

The Resource

The building is an unremarkable late 19th century dependency; it was and is a utilitarian structure. The building has been in its current location for approximately 135 years. It was not constructed at the same time as the primary residence at 519 S. Main, but it was constructed during the period of significance for the historic district (1790-1920). The building was intentionally sited to interact with- and support the primary residence. If it were to be repaired, it could still serve a support function for the primary residence today. In my opinion, the building is not a “particularly fine or unique example of a utilitarian structure”, but it is a reasonably intact example of a late 19th century utilitarian structure.

Condition

Based on limited visual inspection, the stone foundation and brick floor of the building appear to be in repairable condition. The chimney appears to be sound though it may have been shortened from its historical height above the roof ridge. The portion of the chimney that is visible on the exterior is very minimal (Photos 2-3). Much of the lap siding is deteriorated and approaching the end of its natural lifespan (Photos 1-2, 7). Elements of the frame structure have been replaced and reinforced in an ad-hoc manner as the condition of the original elements deteriorated (Photo 6). The sill plate is

rotten (photo 6), which means that the frame structure would have to be reconstructed to prevent eventual collapse if demolition is not permitted. The three surviving wooden sash windows might be salvageable if the owner is willing to go to extraordinary lengths. If the entirety of the frame fabric must be replaced in order to retain the presence of the building on site, the resulting reconstruction would no longer be considered a contributing resource in the historic district.

10. "The fact that it has yielded, or may be likely to yield, information important in history".
Not Applicable

Figure 1: 1886 Sanborn Map, City of St. Charles, Plate 6. Outbuilding is Not Present.

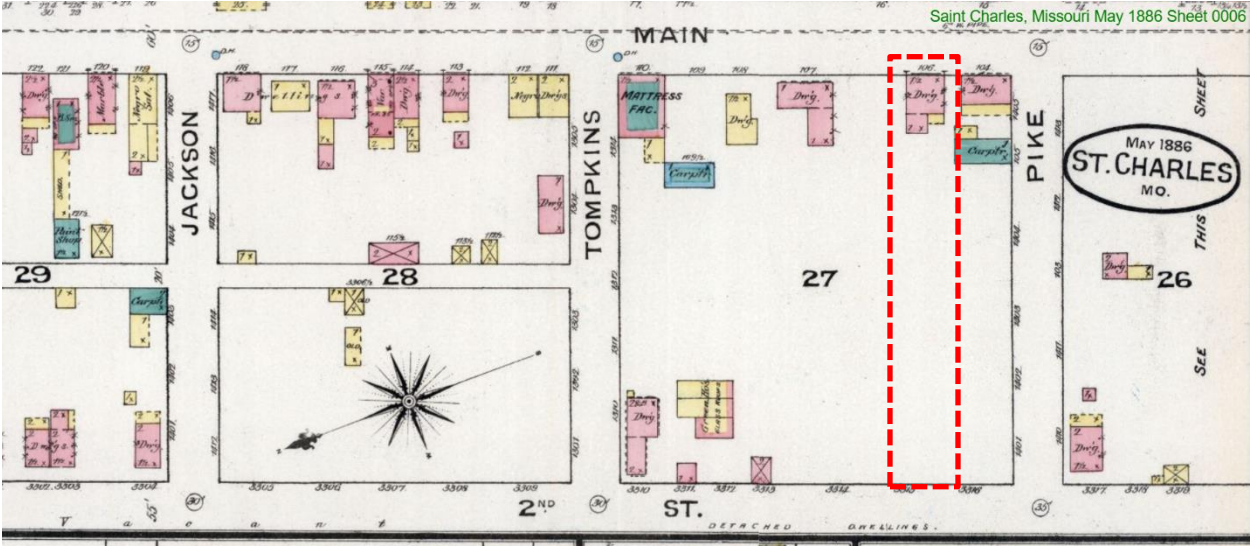


Figure 2: 1893 Sanborn Map, City of St. Charles, Plate 6. Arrow points to the building

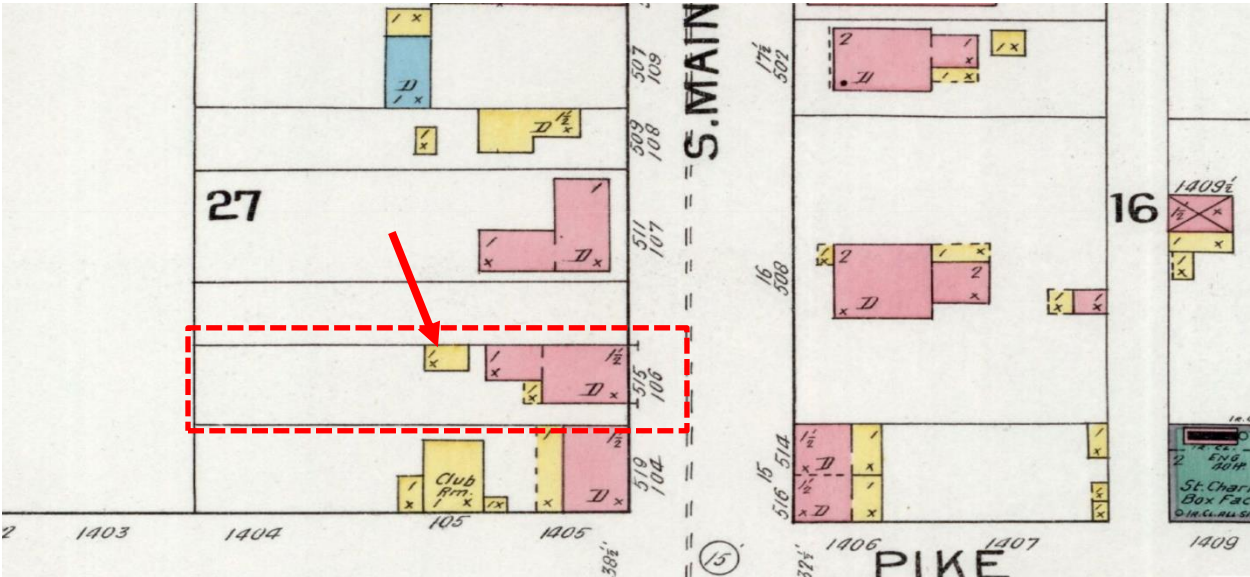


Photo 1: View facing north/northwest. Entrance and retaining wall visible right



Photo 2: View facing north. Historic 6/6 double-hung wooden sash intact, but missing lights



Photo 3: View facing east/northeast



Photo 4: North wall structure & siding with circular kerfs. Siding exhibits evidence of hand planed laps



Photo 5: Structural elements and siding with circular saw kerf marks and wire nail

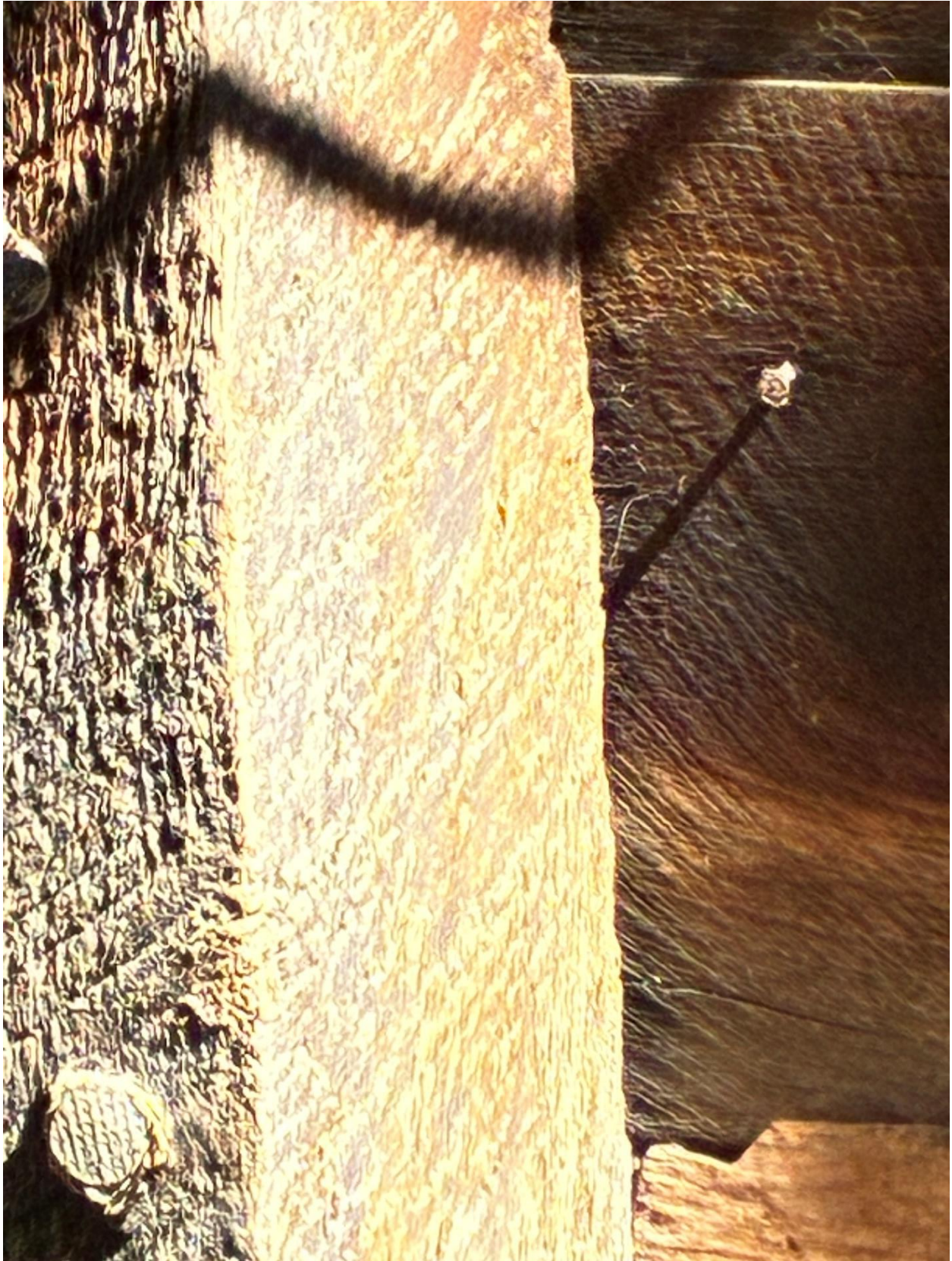


Photo 6: Interior facing west. Ad hoc reinforced structure. Chimney with stove pipe aperatures



Photo 7: Condition lap siding



Photo 8: Brick flooring



Photo 9: View facing west/southwest from S. Main. Arrow indicates roof of the building



Photo 10: View facing north from Pike Street. Arrow indicates location of the building



Photo 11: View facing east from alley





Memorandum

To: Landmarks Board
From: Taylor Moore, Preservation Planner
Date: June 16, 2025
Subject: Case No. SP-2024-037 727 Jackson Street

On January 27, 2025, the Landmarks Board reviewed an application for a rear addition and exterior alterations to the dwelling at the above address. At that time, the application was tabled by the applicant in order to obtain additional information necessary for a thorough review by the Board. The applicant has since worked with an architect and has submitted the required information. The review process has been broken down below and the original report is attached to this memo.

Rear Addition:

The applicant previously proposed a 20' x 15' rear addition but has revised the plans to a 32' x 14'8" addition. This change was made to avoid covering existing rear windows on the structure. The revised addition complies with all required setbacks and will not extend further into the side yard than the existing dwelling. Proposed materials, including siding, windows, and roofing will match those found on the existing house to ensure visual consistency.

The proposal also involves the addition of a shed dormer in the rear upper-story of the existing dwelling. The dormer would be slightly visible from Jackson Street at an angle looking west and east back towards the property. The proposal has the dormer setback 2' off of the ends of the side of the house with it below the peak of the roof. The sides of the shed dormer will be clad in the same approved siding. Due to being on the rear of the property, Staff believes the proposed rear dormer will have no adverse impact on the home or the streetscape.

Front Gabled Dormers:

Adding two gabled dormers to the north side of the roof will change the historic character of the house. Within [Section 400.1270\(D\)](#), Standard C of the Standards for Review states that "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken." It is the opinion of Staff that the front facing dormers will impact the historic character of the building. The applicant has stated the additional space that the front dormers will accommodate is necessary. The proposal calls for a large shed dormer off of the rear slope as well as a first story addition off the back of the house. Staff believes the additional space achieved by the proposed rear dormer and rear addition would be sufficient. Staff does not recommend approval for the two proposed front facing dormers.

Exterior Alterations:

In 2019, the applicant proposed to replace all siding and trim-work with a dimensionally appropriate Hardie Board. This was approved by the Board, and the applicant plans to clad the proposed addition and new dormers in the same siding. A brick veneer is proposed for the lower half of the dwelling, giving the structure a more harmonious appearance. The project also includes all windows to be replaced on the dwelling. The windows for first floor will be two over two to match the existing, and the upper-story windows will be six over six. A single one over one window will be placed on the rear of the addition, which will not be visible from the street. The applicant has stated the windows will either be wood or vinyl, both which are approved materials for the Extended Historic District. Additionally, the applicant plans to use a historic door for the front door replacement. Staff concurs that the door style is appropriate for the house and is similar in character to what would be seen traditionally on this style.

Pergola/Deck:

The original proposal called for a new 15' x 19' wood pergola to be located in the rear yard next to the rear addition. The applicant has abandoned this plan, and now proposes to install a small wooden deck in a similar location. The deck will be utilized to access the storm cellar entrance in the rear of the dwelling. The deck will feature no railing system as it will only be a foot off the ground. The proposed deck will be completely screened by the home and not visible from Jackson Street. Therefore, Staff recommends approval of the deck, as submitted.

STAFF RECCOMONDATION

Due to being an extensive project with several exterior alterations and new construction, Staff has broken the recommended motions into three (3) separate motions. Staff believes the new windows, front door, and siding for the addition matching the previously approved siding to be appropriate. Staff also finds the rear addition, rear shed dormer, and rear pergola to be appropriate as well. Staff does **not** find the addition of two front dormers to be appropriate, as the design is **not** harmonious with the style of home and would adversely impact the historic character of the home.

Recommended Motions:

Motion to approve the addition of two dormers to the front of 727 Jackson Street, as submitted. (Staff does not recommend in-favor of this motion.)

Motion to approve the new exterior alterations, including windows, doors, siding, and brick veneer at 727 Jackson Street, as submitted.

Motion to approve the rear addition, rear shed dormer, and the construction of a deck in the rear yard at 727 Jackson Street, as submitted.



Figure 1: East elevation showcasing addition and rear deck.



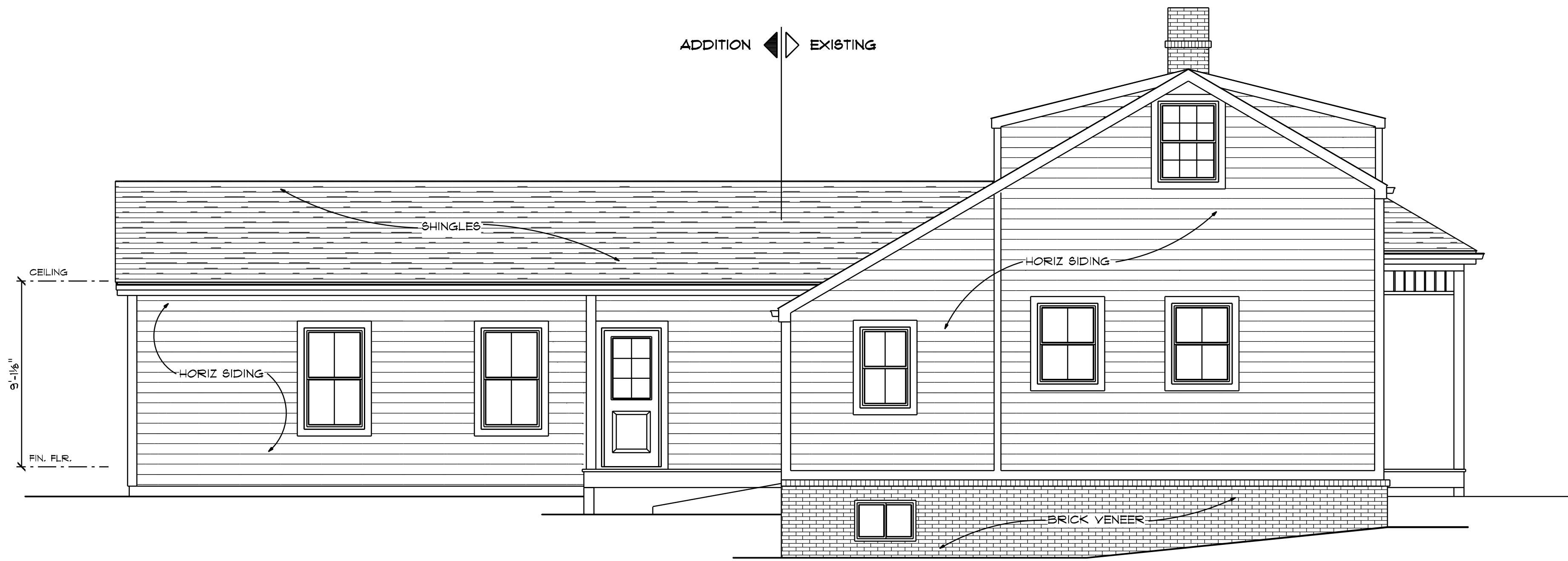
Figure 2: West elevation showcasing addition.



Figure 3: North elevation showcasing proposed dormers.

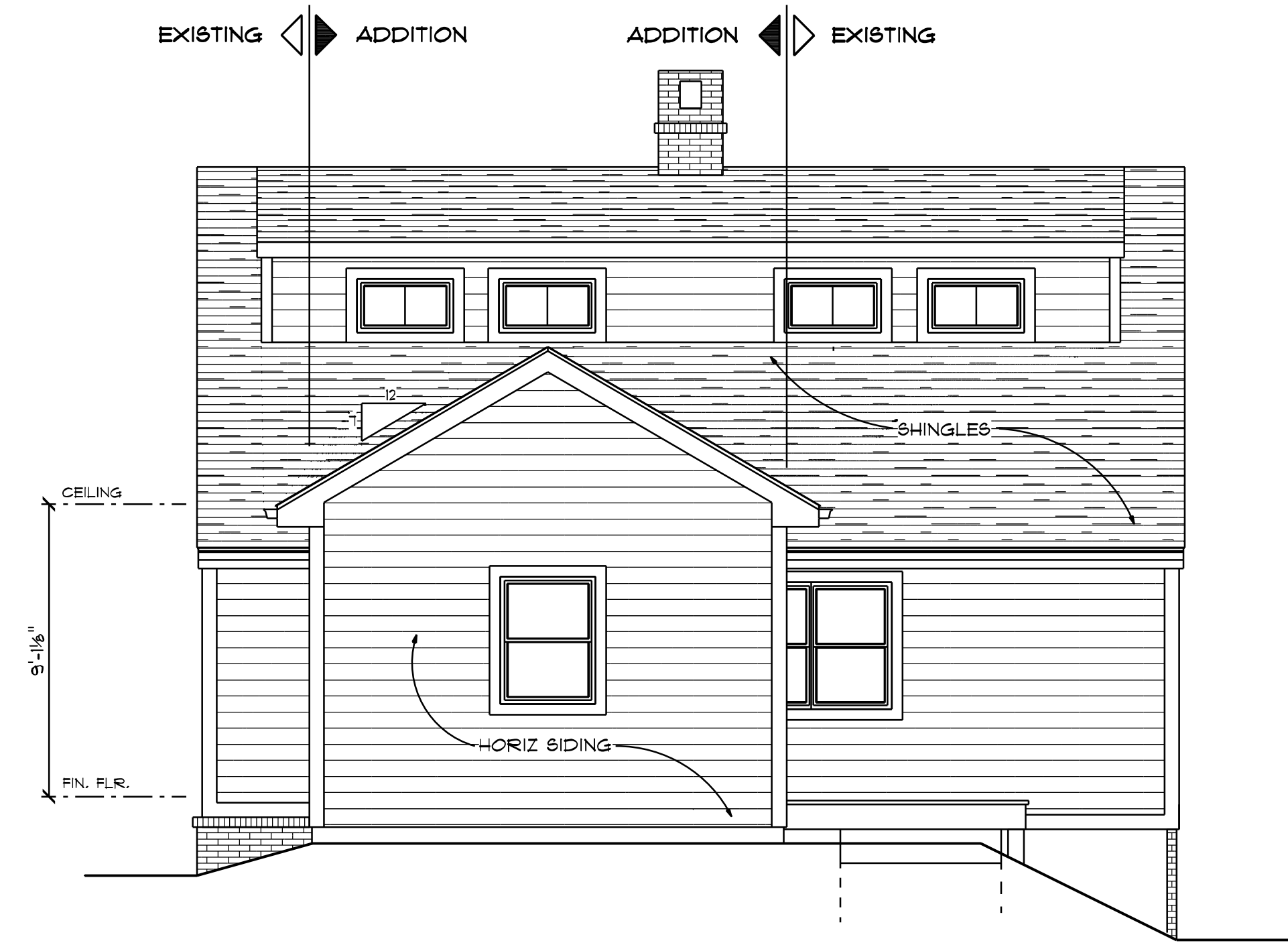


Figure 4: South elevation showcasing rear addition, deck, and shed dormers.



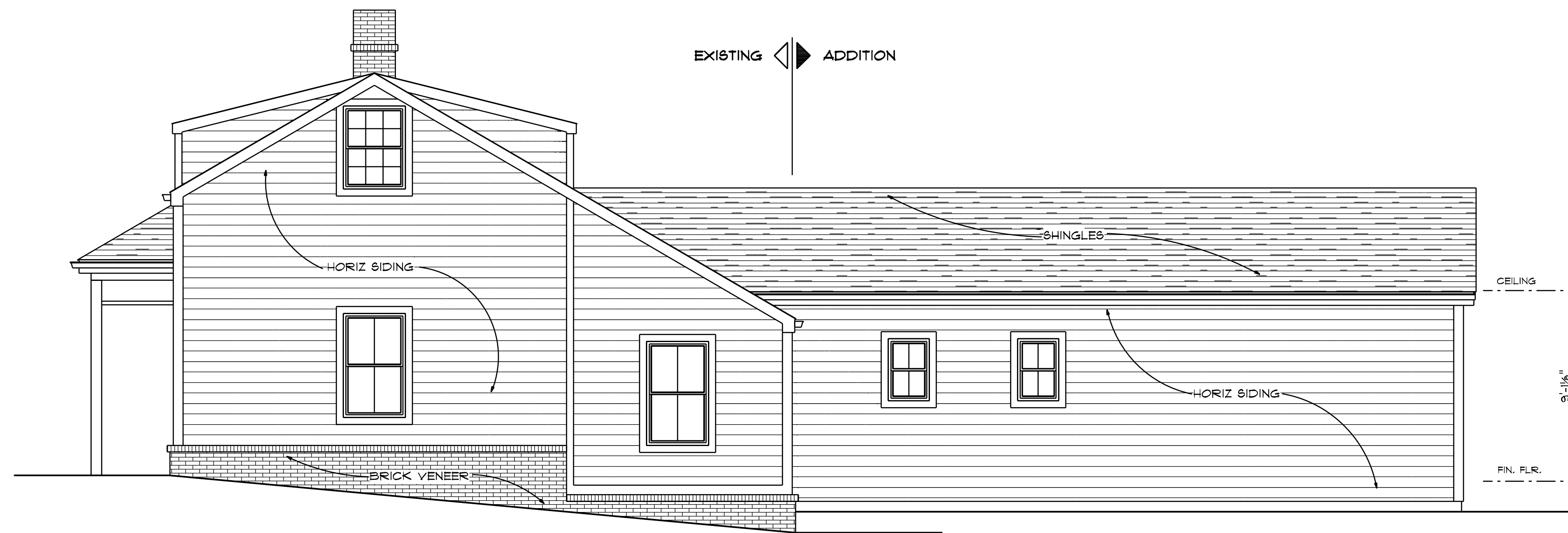
LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

REVISED

DRWN. BY: L.S.

CHK. BY:

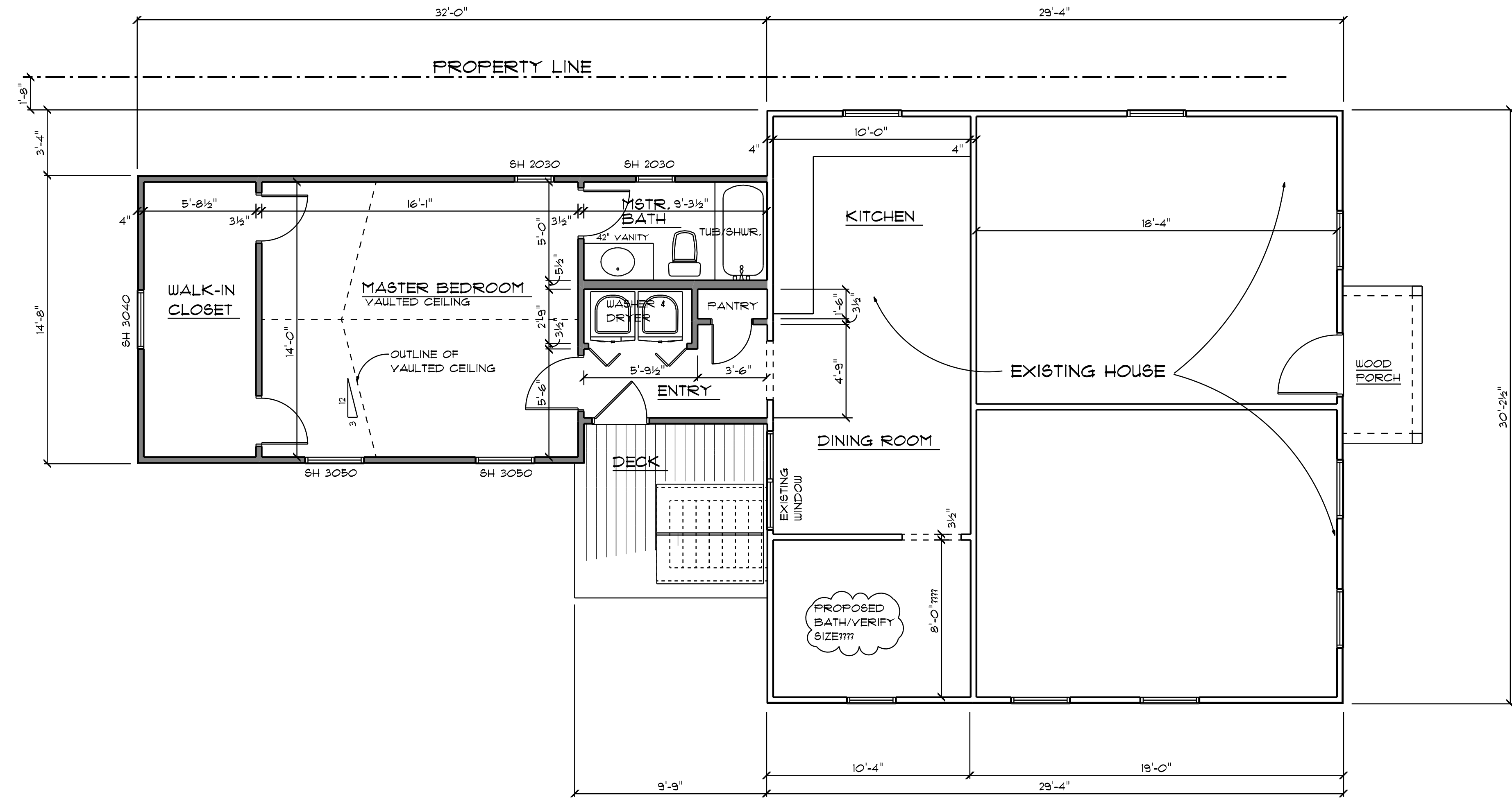
DATE

PLAN NO.

25-1403

SHEET

OF



FLOOR PLAN

SCALE 1/4"=1'-0"



AGENDA ITEM #6D

**STAFF REPORT
EXTERIOR CHANGES &
NEW ADDITION
727 JACKSON STREET
CASE NO. SP-2024-034**

BY TAYLOR MOORE

APPLICANT: David Nafar
7 Sherwyn Lane
Creve Coeur, MO 63141

OWNER: Same

ADDRESS/LOCATION: 727 Jackson Street

ZONING: R-2—Two-Family Residential District
EHP—Extended Historic Preservation District

USE: Residential

MEETING DATE: January 27, 2025

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is the 1½ story vernacular house at 727 Jackson Street. The single-family house was built circa 1850 in the German Fachwerk method of construction and is partially clad in its original siding. An addition that dates circa 1900 gives the building a “Salt Box” form. The owner of the property has fixed the structural issues with the foundation and is requesting approval for several exterior alterations and to construct a rear addition. Exterior work includes:

- The addition of two (2) gabled dormers on the front facing roof slope;
- One (1) large shed dormer that would be off of the back slope of the house;
- new windows;
- A new front door;
- A 15’ x 20’ rear addition to the structure ; and
- To attach a 15’ x 19’ wooden pergola to the addition.

In 2019 the applicant received approval to construct a framed two-car garage at the rear of the property as well as 12’ x 10’ storage shed. The proposed 28’ x 20’ rear addition, however, was denied by the Board due to being larger than the existing structure. The pergola at this time was also denied due to the applicant proposing to locate it in the side/front yard.

APPLICABLE DESIGN GUIDELINES

SECTION 400.350: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT

(A) *Purposes.* The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the city or the state, and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses of land.

(C) *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

- a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
- b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
- c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
- e. Colors shall be harmonious and shall use only compatible accents.

6. Miscellaneous Structures

- a. Miscellaneous structures and street hardware shall be designed to be part of the architectural concept of design and landscape. Materials shall be compatible with the buildings, scale shall be good, colors shall be in harmony with buildings and surroundings, and proportions shall be attractive.

7. Maintenance-Planning and Design Factors

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- b. Logic of design.
- c. Exterior space utilization
- d. Architectural character
- e. Attractiveness

- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF ANALYSIS

Front Gabled Dormers

Adding two gabled dormers to the north side of the roof will change the historic character of the house. Within [Section 400.1270\(D\)](#), Standard C of the Standards for Review states that “Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.” It is the opinion of Staff that the front facing dormers will impact the historic character of the building. The applicant has stated he needs the additional space and the front dormers will accommodate a second floor living space. The proposal calls for a large shed dormer off of the rear slope as well as a first story addition off the back of the house. Staff believes the additional space achieved by the proposed rear dormer and rear addition would be sufficient. Staff does not recommend approval for the two proposed front facing dormers.

Rear Addition

The proposed rear addition will be situated behind the house and will be clad in similarly sized siding as the original house’s approved existing Hardie Board. The addition is set back several feet from the sides of the building and projects off of the older addition which is a preferred location. The addition would not be visible from the Jackson Street due to being a smaller footprint than the existing structure. The proposed rear shed dormer would be slightly visible from Jackson Street at an angle looking west and east back towards the property. The dormer would be set back 2’ off of the ends of the side of the house and would be below the peak of the roof. The sides of the four-bay shed dormer would be clad in the same approved siding. Due to being on the rear of the property, Staff believes the proposed rear dormer will have no adverse impact on the home or the streetscape.

Windows and Siding of the Overall Addition

In 2019, the applicant proposed to replace all siding and trim-work with a dimensionally appropriate Hardie Board. This was approved by the Board, and the applicant plans to clad the proposed addition and new dormers in the same siding. The proposed windows are one over one, while the existing are two over two. However, this style of home is known to feature many different configurations of windows, from one over one to six over six. The proposed one over one windows will not impact the historic integrity of the home, and the applicant has stated the windows will either be wood or vinyl, both which are approved materials for the Extended Historic District. The applicant has stated they plan to use a historic door for the front door replacement. Staff concurs that the door style is appropriate for the house and is similar in character to what would be seen traditionally on this style home.

Pergola

The new 15’ x 19’ wood pergola is being proposed for placement in the east rear yard directly next to the proposed rear addition. In 2019, the pergola was proposed to be placed in the east side yard, aligning with the house. Staff stated that a pergola at that location was

inappropriate and should be situated in the rear yard rather than the side yard adjacent to the existing house. The proposed location of the new pergola will be minimally visible from the street, which Staff believes is far more appropriate than what was previously proposed, as the original staff report stated the pergola needed to be moved to the rear yard.

STAFF RECCOMONDATION

Due to being an extensive project with several exterior alterations and new construction, Staff has broken the recommended motions into three (3) separate motions. Staff believes the new windows, front door, and siding for the addition matching the previously approved siding to be appropriate. Staff also finds the rear addition, rear shed dormer, and rear pergola to be appropriate as well. Staff does **not** find the addition of two front dormers to be appropriate, as the design is not harmonious with the style of home and would adversely impact the historic character of the home.

Recommended Motions:

Motion to approve the addition of two dormers to the front of 727 Jackson Street, as submitted. (Staff does not recommend in-favor of this motion. Beyond the design issues, Staff does not believe the submitted dormer elevations provide enough detail to make a final determination.)

Motion to approve the rear addition, rear shed dormer, and the construction of a pergola in the rear yard at 727 Jackson Street, as submitted.

Motion to approve the new windows, front door, and additional Hardie Board siding at 727 Jackson Street, as submitted.



Figure 1: 727 Jackson Street seen currently.

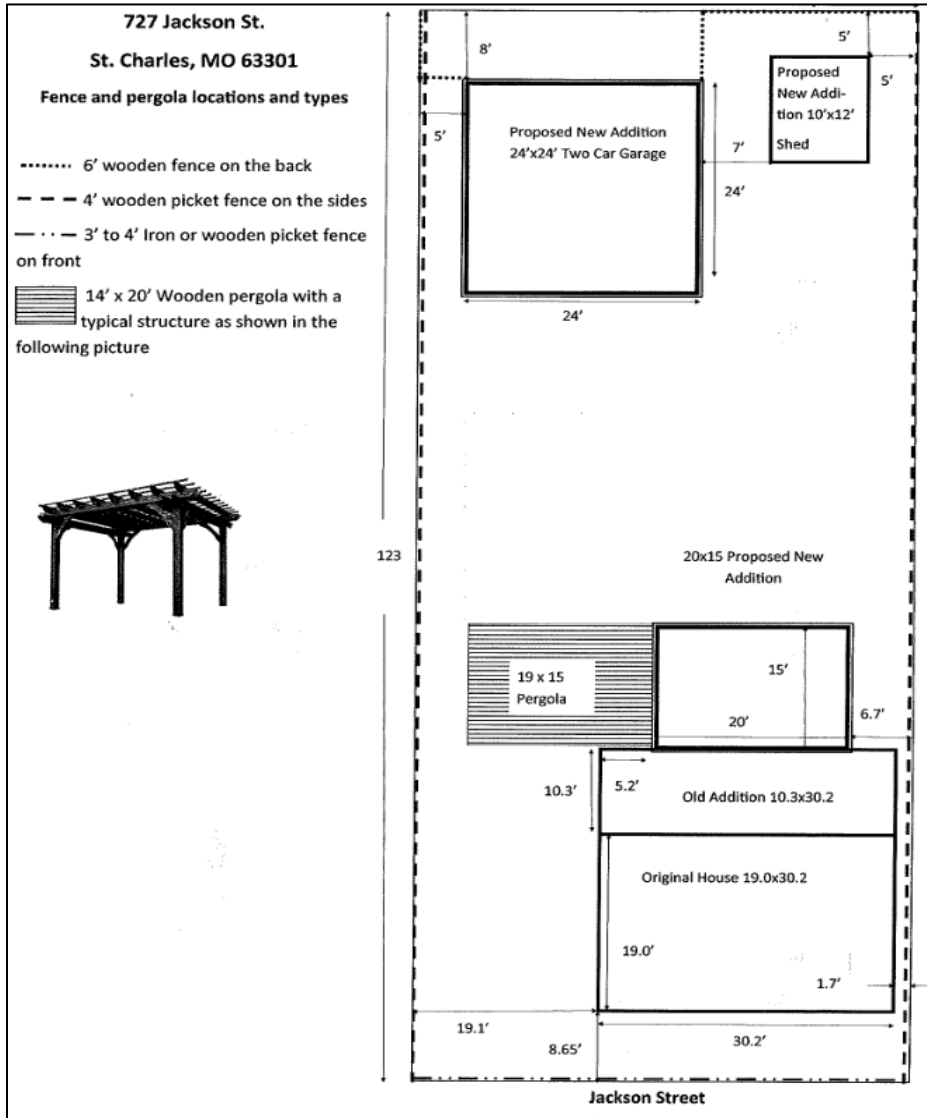


Figure 2: Proposed site plan showcasing rear addition and pergola.

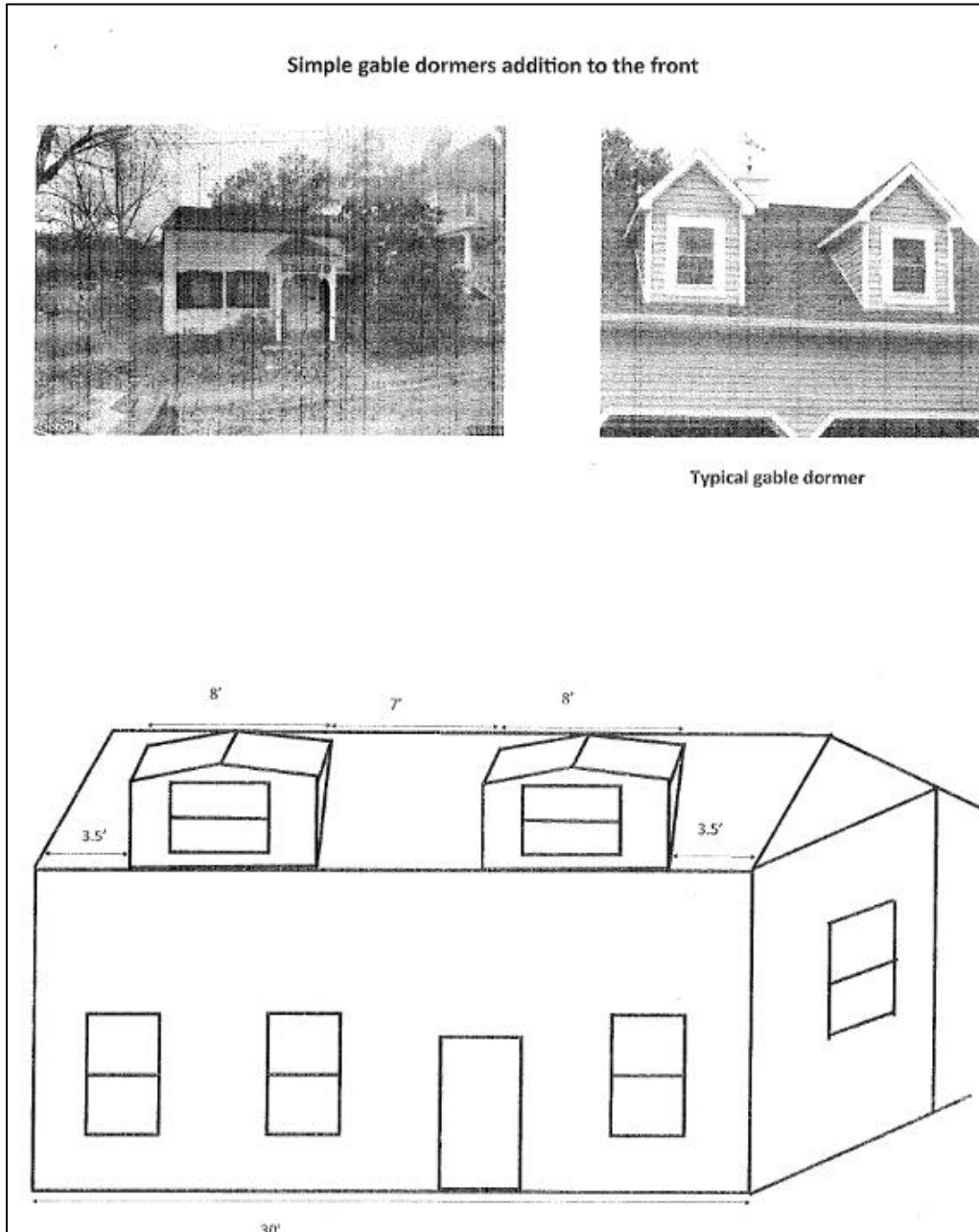


Figure 3: Proposed front dormers for 727 Jackson Street.

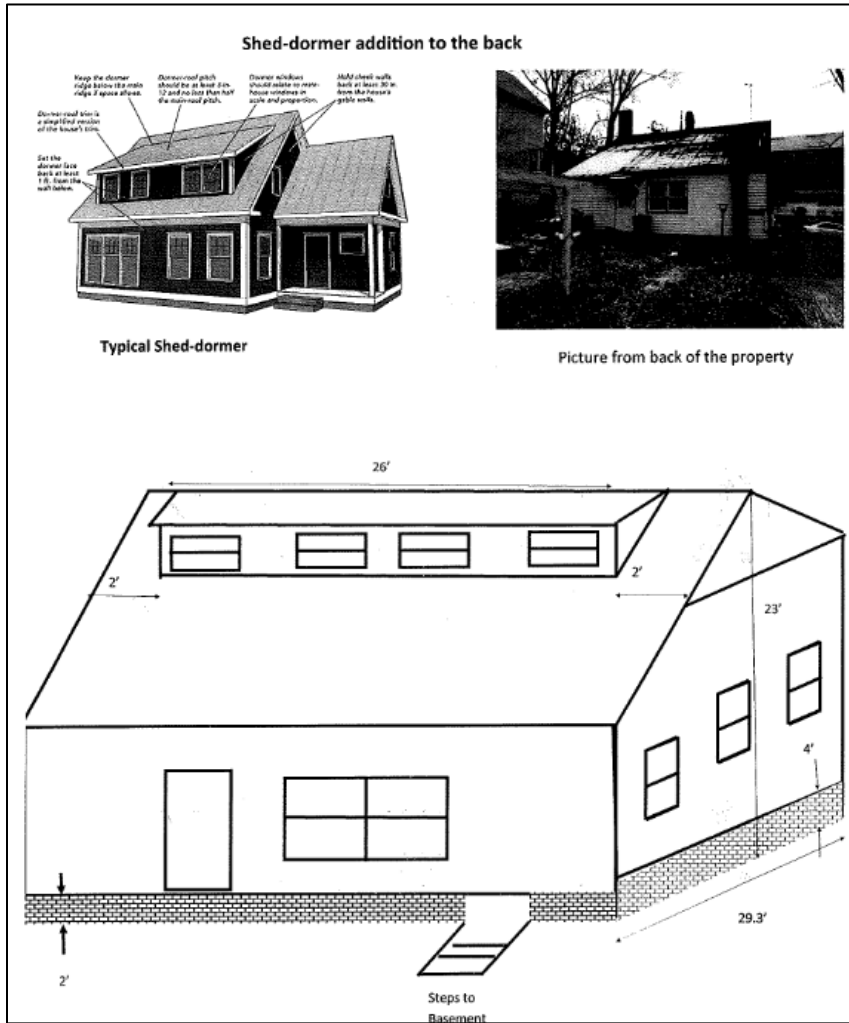


Figure 4: Proposed rear shed dormer for 727 Jackson Street.

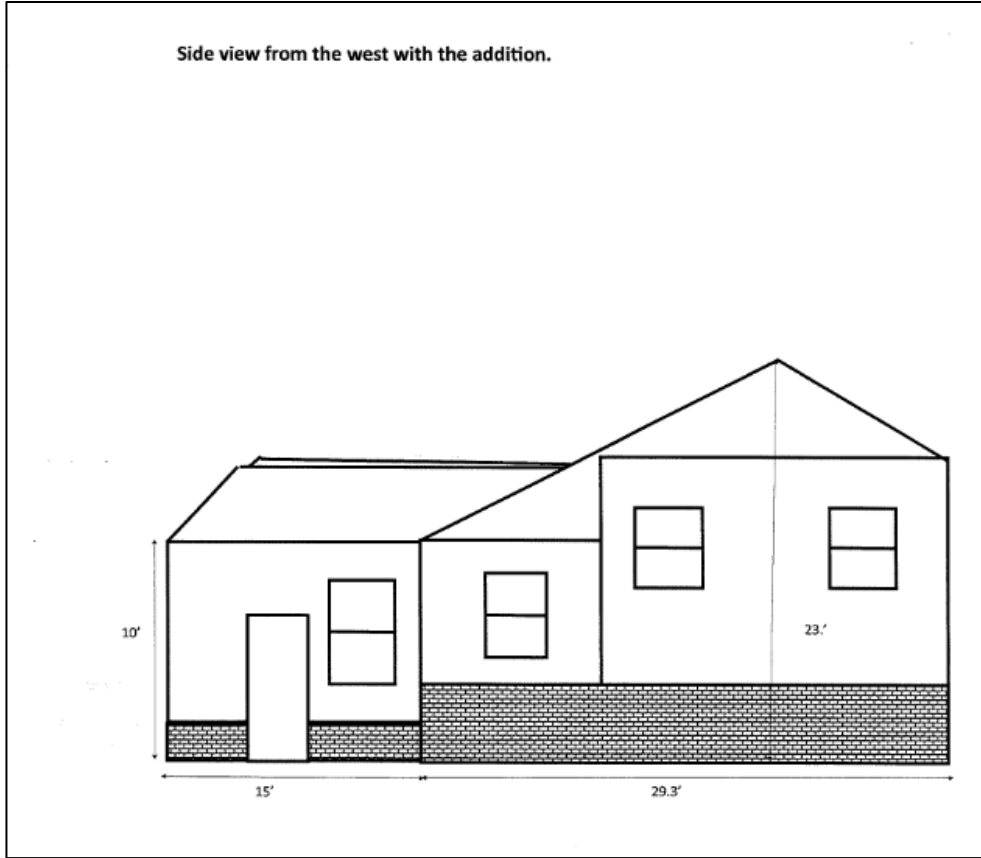


Figure 5: Proposed rear addition seen looking west at 727 Jackson Street.



Figure 6: Proposed new windows for the home at 727 Jackson Street.



Figure 7: Proposed new front door.



Figure 8: Previously approved siding seen on the property



Figure 9: View of siding lap size.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 727 Jackson st.

BUSINESS NAME (if applicable): _____

APPLICANT: David Nafar
(Name)

7 Sherwyn Lane, Creve coeur, MO 63141
(Address)

636-299-2422, david.nafar@gmail.com
(Phone & Email Address)

PROPERTY OWNER: David Nafar & Sara Mir
(Name)

Same
(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

The building structurally is fixed.
The building needs gut rehab.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: Gut rehab

Construct a new structure:

Demolish or move structure:

Construct a new addition:

New sign or awning:

Site work (patio, fence, etc.):

Other (briefly explain):

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

- windows
- Front Door
- Dormers
- 15x20 addition on the back
- 15x19 wooden deck / pergola

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

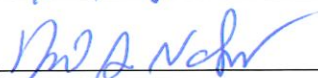
1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 12-10-2024

Signature of the property owner: 

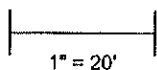
Date: 12-10-2024

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

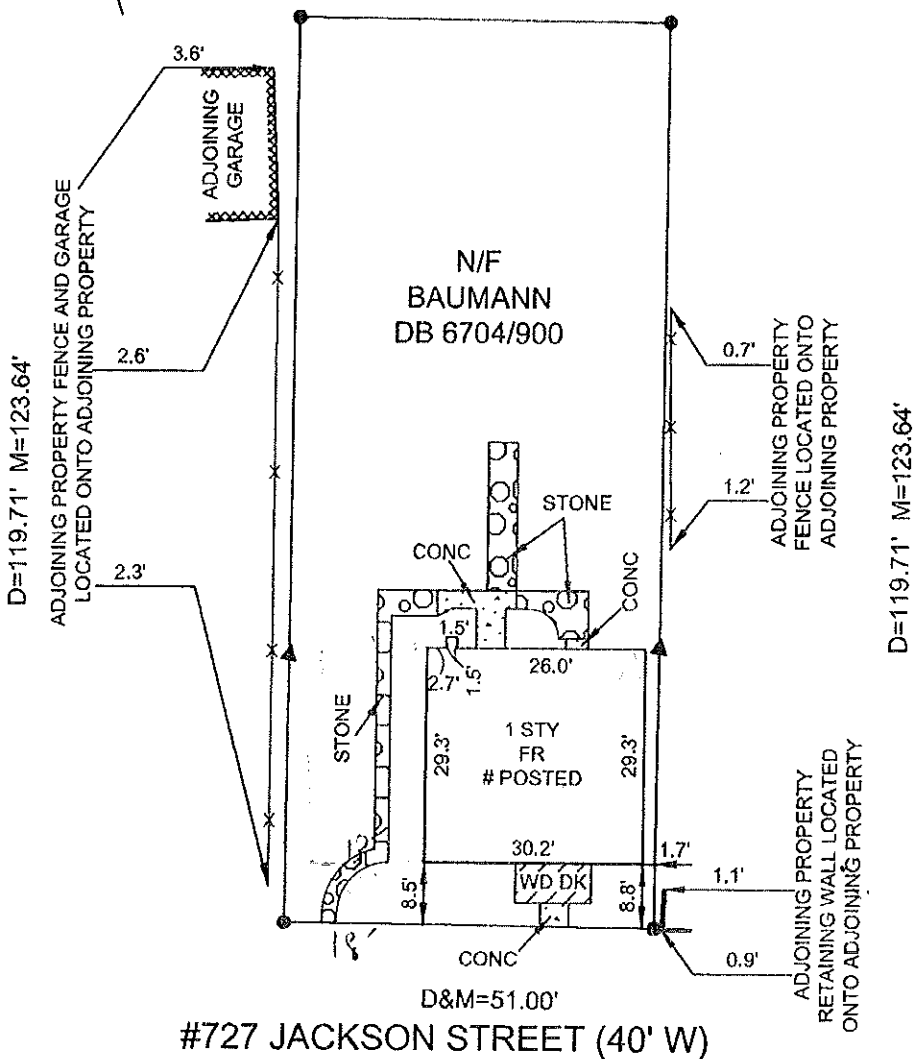
Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00

BOUNDARY SURVEY
LOT 4 AND THE EASTERN 1 FOOT OF LOT 1 IN
BLOCK 2, PB 2 PG 28
CITY OF ST CHARLES, MO



- X— FENCE
- D DEEDED DISTANCE
- M MEASURED DISTANCE
- SET REBAR
- ▲ SET POINT ON LINE

ALLEY (20' W)
D&M=51.00'



#727 JACKSON STREET (40' W)

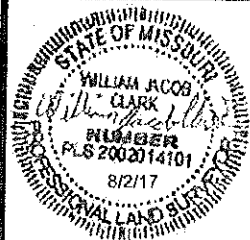
SHEET 1 OF 2



PO BOX 278
 COTTLEVILLE, MO 63338
 PHONE: 636.922.1001
 Corp # 2005000229
 www.CardinalSurveying.com

JOB #1708034
 FB 441:3
 FIELD WORK BY: TAO/CMM
 DRAWN BY: JLK/WJB
 REVIEWED BY:
 WILLIAM JACOB CLARK
 LS# 2002014101

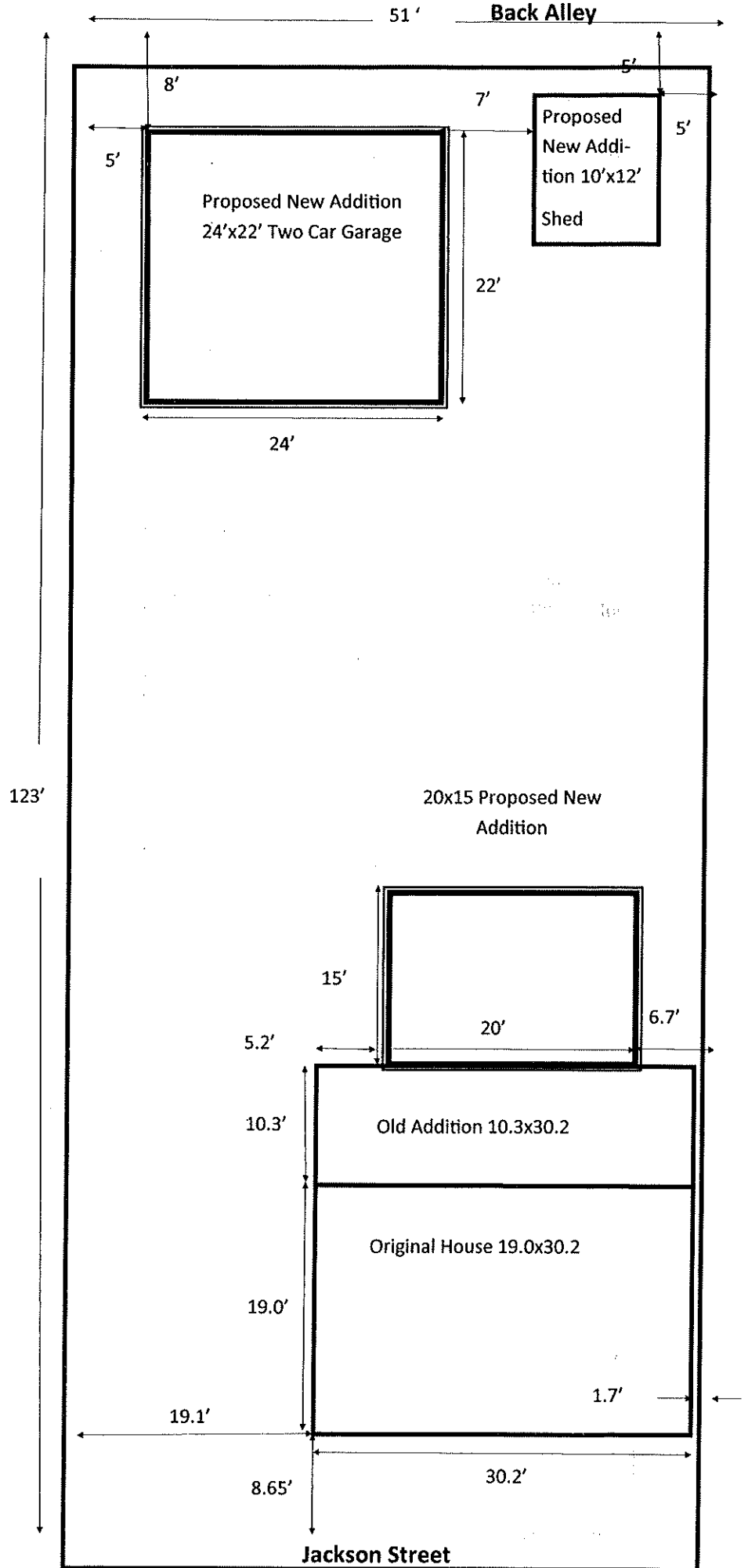
THIS IS TO CERTIFY THAT ON
 JULY 28TH, 2017
 A REQUEST BY
 TITLE PARTNERS AGENCY
 WAS MADE FOR A BOUNDARY
 SURVEY AND TO LOCATE THE
 IMPROVEMENTS ON THE ABOVE
 NAMED TRACT AND THAT THE
 RESULTS ARE, TO THE BEST OF
 MY KNOWLEDGE, CORRECTLY
 REPRESENTED HEREON.



727 Jackson St.

St. Charles, MO 63301

Site plan of original house, old addition and proposed new additions.




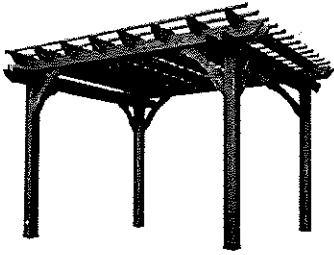
727 Jackson St.

St. Charles, MO 63301

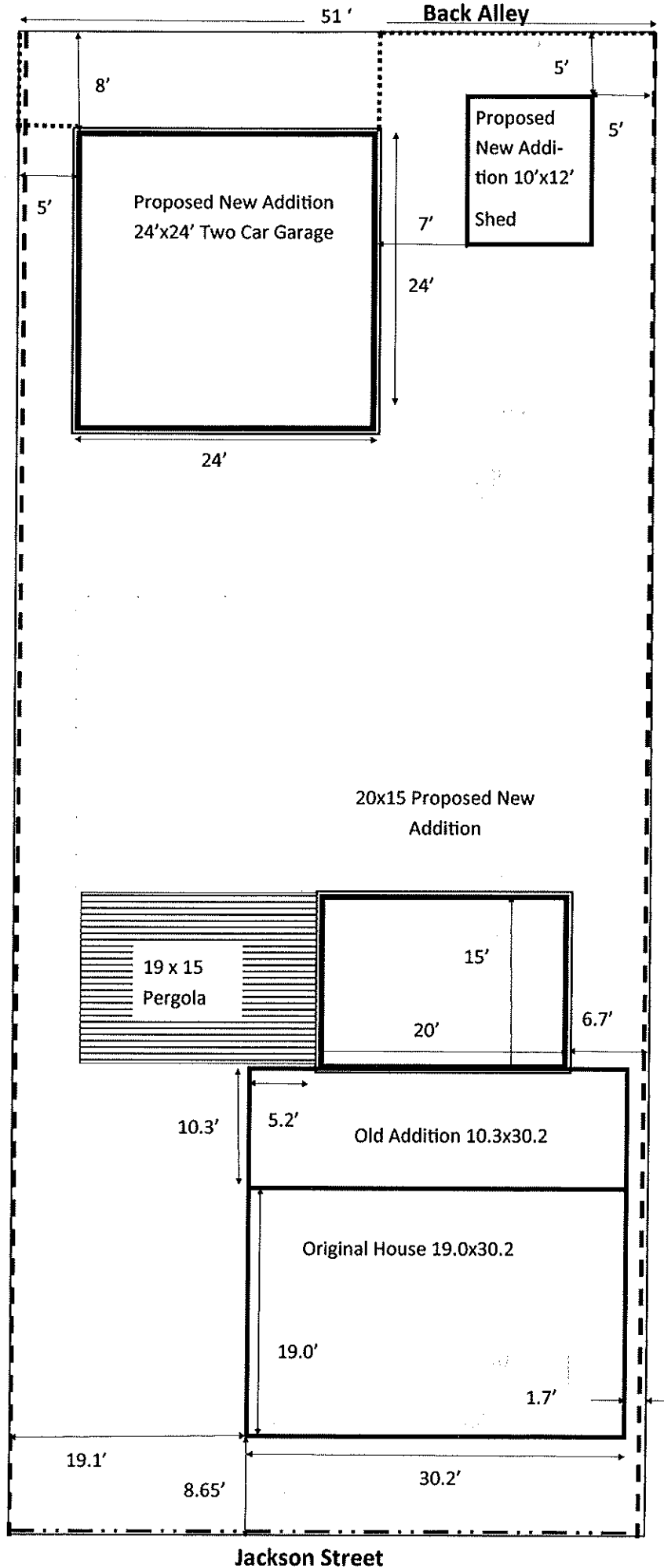
Fence and pergola locations and types

- 6' wooden fence on the back
- - - 4' wooden picket fence on the sides
- · - 3' to 4' Iron or wooden picket fence on front

 14' x 20' Wooden pergola with a typical structure as shown in the following picture

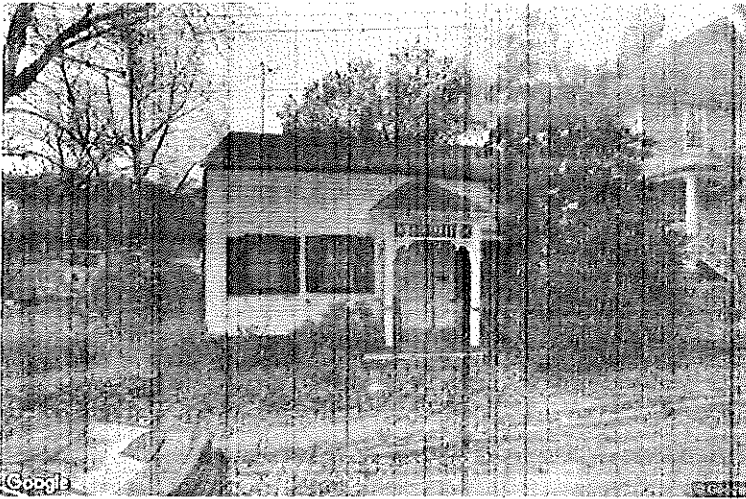


123

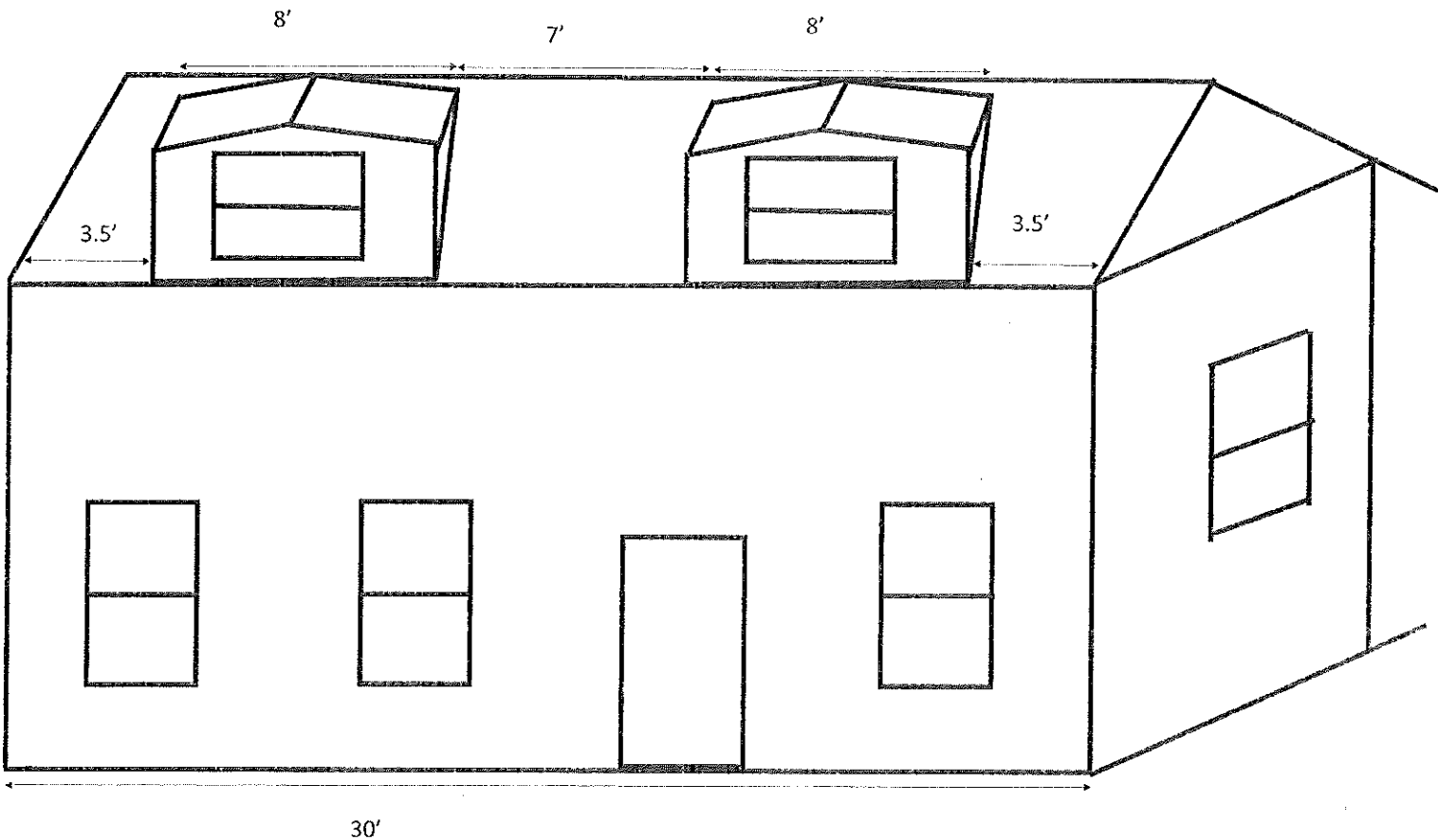


Jackson Street

Simple gable dormers addition to the front



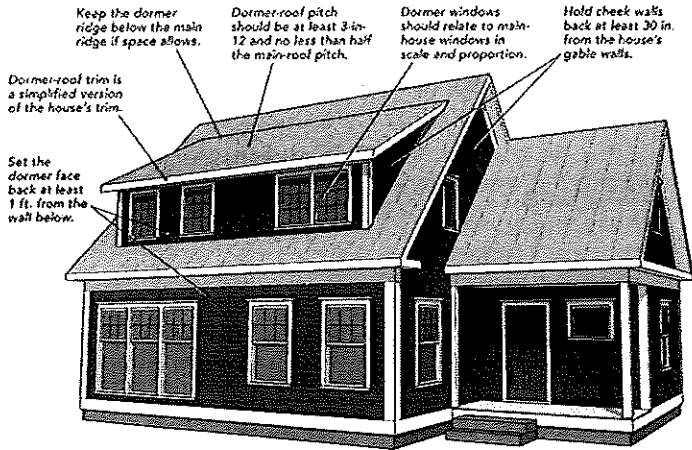
Typical gable dormer



30'

1

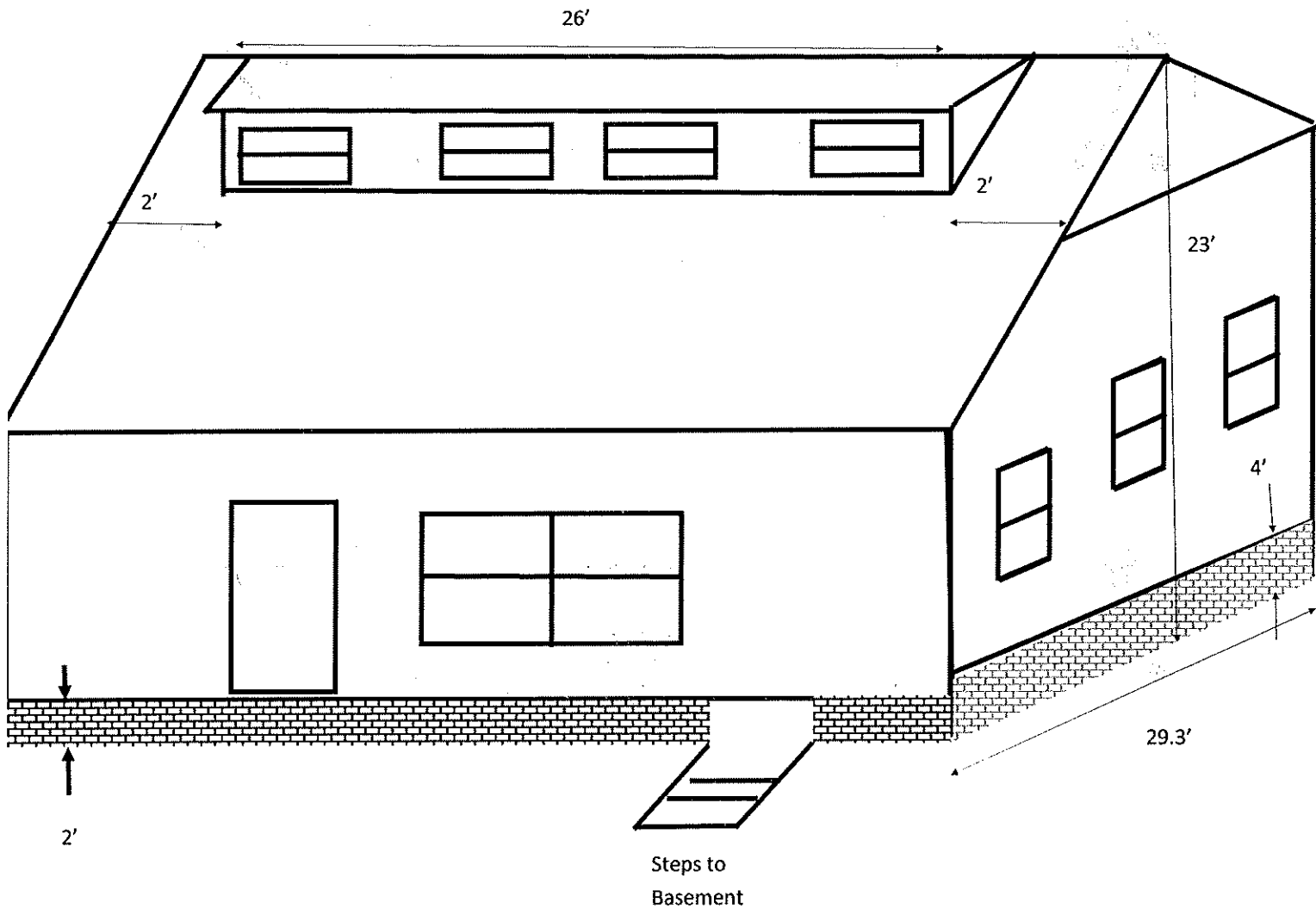
Shed-dormer addition to the back



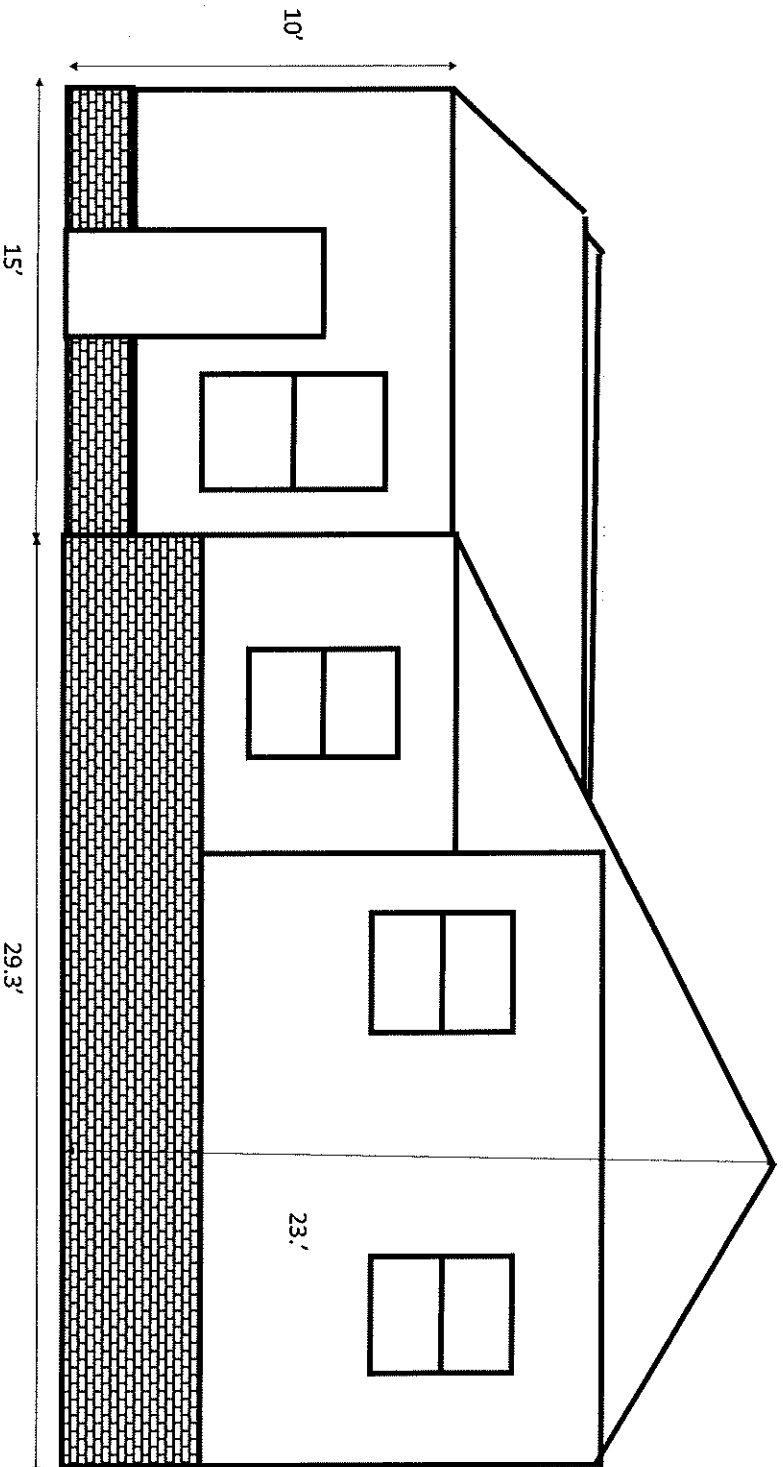
Typical Shed-dormer



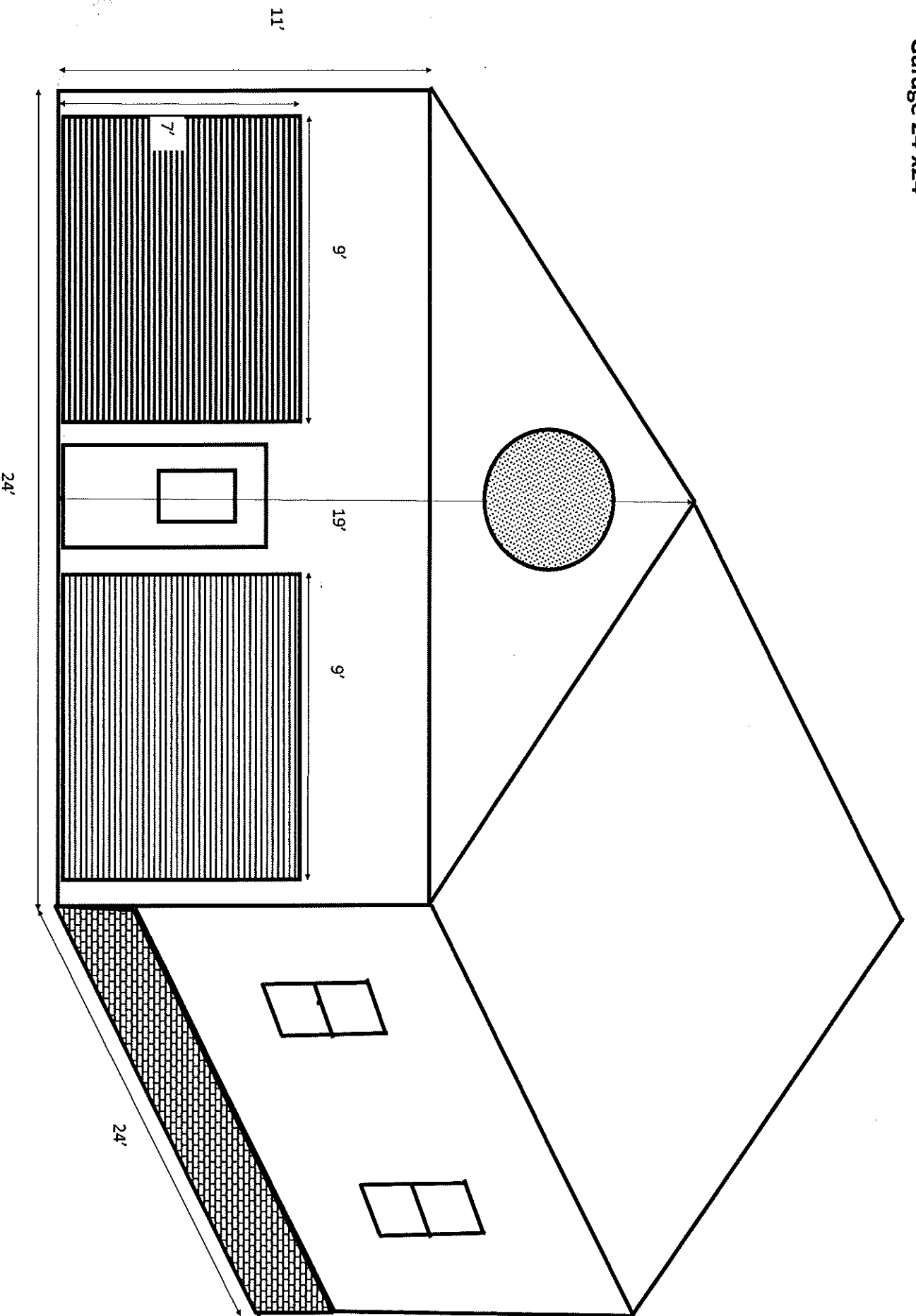
Picture from back of the property



Side view from the west with the addition.



Garage 24'x24'





STAFF REPORT
**NEW BALCONIES, REAR PORCH,
DOORS & WINDOWS**
924-926 NORTH SECOND STREET
CASE NO. EC-2025-027

BY TAYLOR MOORE

APPLICANT/ OWNER: Jeffrey Besselman
903 North Third Street
St. Charles, MO 63301

ADDRESS/LOCATION: 924-926 North Second Street

ZONING: FD—Frenchtown District
FPD—Frenchtown Preservation District

PROPOSED USE: Commercial & Residential

MEETING DATE: June 16, 2025

BACKGROUND

Located in the Frenchtown Preservation District, the subject property is a two-story masonry commercial building at 924-926 North Second Street which was constructed in 1870. In 1991 the majority of this block was determined to be “non-contributing” during the Frenchtown National Register Historic District nomination due to extensive exterior modifications, including this subject property (Figure 1, Page 2). 924-926 North Second Street in particular has had its entire first floor storefront rebuilt, its parapet reconfigured and the entire brick exterior of the building was paved over in stucco. In short, the property has been modified enough that it no longer retains its original historic architectural character, which is why it was excluded from being considered an asset to the National District.

Recently, the applicant has received approvals from the Landmarks Board for this property. At the May 13, 2024 Landmarks Board meeting, the applicant received approval for the following items:

- Remove stucco
- Repoint masonry
- Replace the storefront windows and door.
- Replace the rear gallery porch.

The applicant is now requesting approval to construct a parade balcony for the upper-story units at 924 and 926 North 2nd Street in addition to the previous approval. The proposed balcony is designed to match the balcony previously approved and built at 918 North 2nd Street (next door). In addition, the applicant is seeking approval for the installation of new windows and doors on the property. For the 924 unit, two-over-two windows are being proposed, while for the 926 unit, six-over-six and nine-over-nine windows are being proposed. While the storefront rehabilitation for 926 North Main was previously approved,

the applicant now proposes the changed grid patterns.

The project also includes reopening a bricked-over doorway on the second story of the 924 North 2nd Street frontage to install a new window. Additionally, the existing center window (adjacent to the bricked-over doorway) on the upper story will be removed and replaced with a doorway to provide access to the proposed balcony. Finally, the applicant proposes to construct a rear porch within the same footprint of the previously existing porch. Although the rear porch was approved as part of an earlier proposal, the revised design extends the porch further along the rear elevation, consistent with its historic footprint. In summary, the applicant is requesting approval for the following:

- New parade balcony
- New windows and doors
- Reconfiguring a doorway and window
- New rear porch footprint

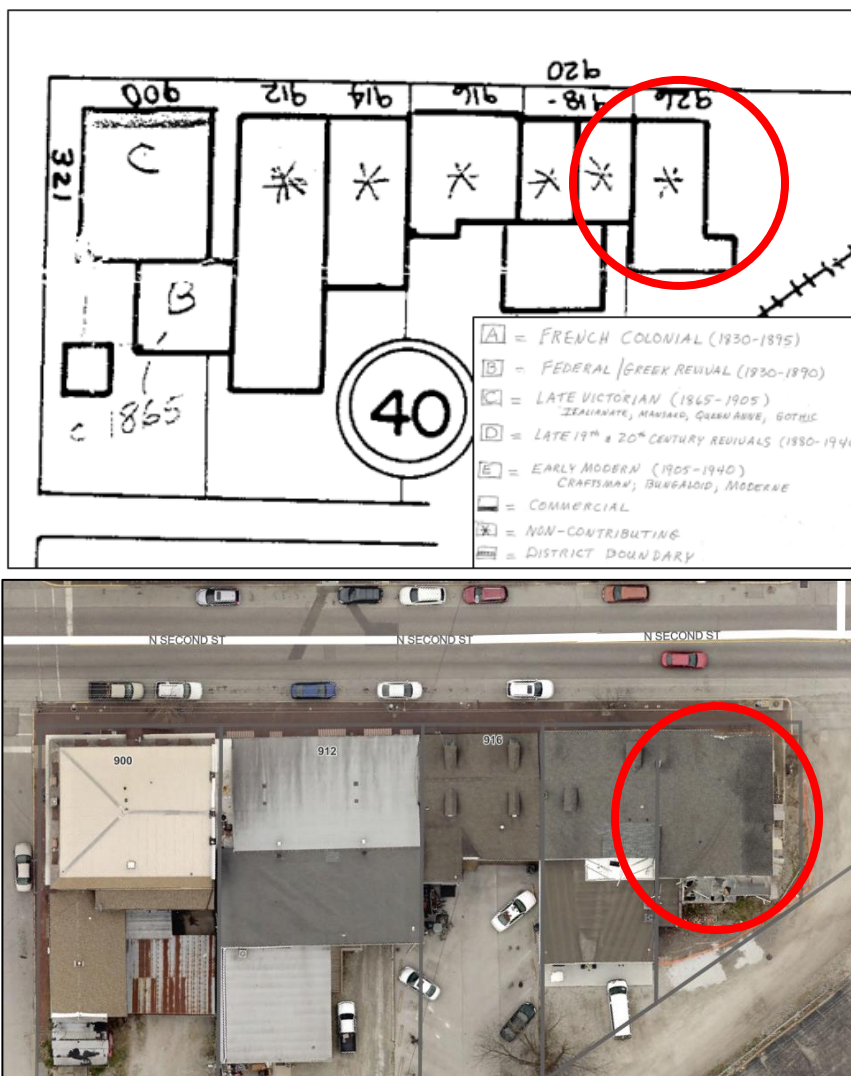


Figure 1: 1991 National Register survey showcasing subject property as non-contributing with aerial view photo for orientation.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.

2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter III: Guidelines for All Historic Properties

Materials

3.19 Replace missing historically significant features in kind.

- c. If later covering materials exist that have not achieved historic significance, Removing them is strongly encouraged. Asphalt siding that covers original Wood siding, for example, may be removed, as may vinyl siding.

3.20 Base the replacement of missing historically important elements on accurate information about original features.

- a. The design should be substantiated by physical or pictorial evidence. This will avoid creating a misrepresentation of the building’s genuine heritage.
- b. Overall, a high percentage of the materials and features of the property should be historic ones in order to retain the integrity of the resource as an historic property.
- c. Use only materials and details similar in character to those employed historically on compatible buildings.

3.23 Consider removing later covering materials that have not achieved historic significance; examples, include vinyl, aluminum, or asphalt siding, or permastone.

- a. Once a siding is removed, repair original materials.
- b. Removal of other materials such as permastone should be tested to assure that the original material will not be damaged.
- c. Removal of stucco is encouraged if it is inconsistent with the time period and removal will not be destructive to the building.

Chapter IV: Guidelines for Additions

Architectural Details

4.15 Preserve, do not obscure, original architectural details of the historic structure.

- a. An additions shall not obscure historically significant features

Doors and Entries

4.23 A door on an addition shall use a design similar to those found historically on comparable structures.

Windows

4.25 A window on an addition shall be similar in character to those of the primary historic Building.

4.26 Maintain the historic number of panes as seen on the primary structure.

- a. If a window historically had multiple panes windows on an addition must reflect this

STAFF ANALYSIS

Front Balcony:

The original submission included a full-width balcony spanning the entire front façade of the building. However, following coordination with both Planning and Engineering Staff, it was determined this design would conflict with forthcoming approved public infrastructure improvements for North 2nd Street and the Main Street extension project scheduled to begin next year. The subject property is located at the corner of where Main Street is projected to adjoin with North 2nd and Montgomery Street as approved by the City. The planned street enhancement project includes ADA-compliant ramps and crosswalks in the location where the proposed balconies footings would be. Additionally, the Public Works Department noted that the original balcony footprint would interfere with an existing street light. The Engineering Department also stated this street light is in a crucial location for the ADA-ramp, and will need to remain in close proximity of the intersection.

In response to these concerns, the applicant worked collaboratively with Staff and submitted revised balcony footprint options. One of the options provided showcased the balcony measuring 11.1 feet by 26 feet (Figure 2, Page 4 below), which avoids all conflicts with the ADA ramp and street light. Staff supports this option as it minimizes impact on the public right-of-way and maintains consistency with the streetscape. The proposed materials include treated wood for the support posts and flooring, and a composite black railing to match the design and materials used for the balcony at 918 North 2nd Street. With this footprint being utilized, City Staff (Community Development and Engineering) recommends approval of the front balcony.

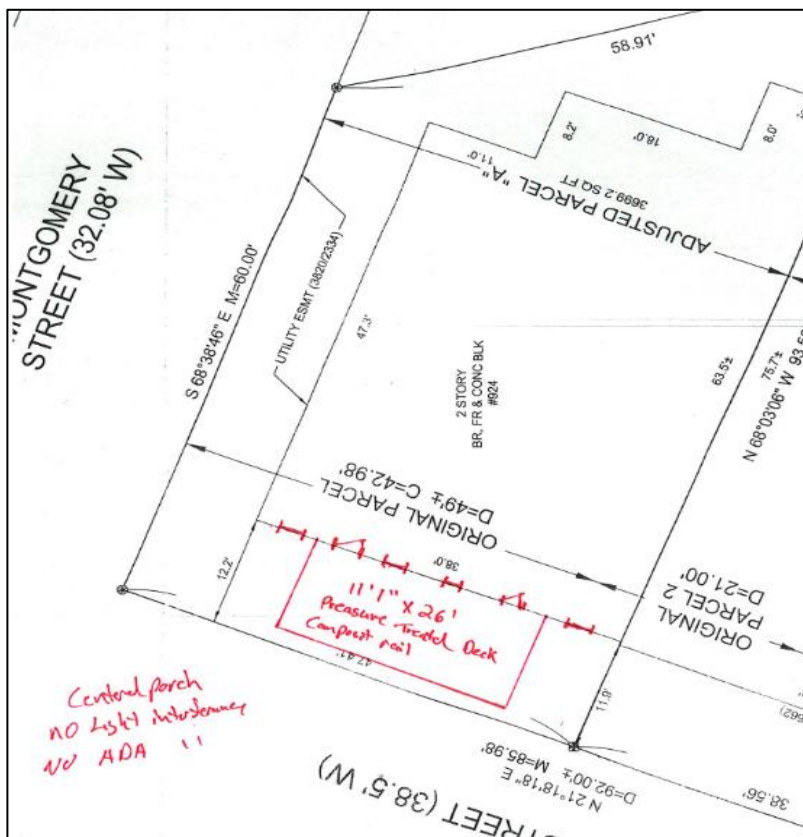


Figure 2: Centered balcony footprint with no impact on light or ADA-ramp location.

Windows:

The applicant is proposing the installation of historically appropriate windows on both 924 and 926 North 2nd Street facades. For 924, two-over-two windows are proposed along the front elevation, matching those approved for the adjacent property at 918 North 2nd Street. At 926, six-over-six windows will be installed on the upper-floor (previously approved), while nine-over-nine windows are proposed for the first-floor storefront. Although the previous approval for the 926 storefront called for two-over-two windows, the revised grid pattern is also architecturally appropriate for the building.

To go along with the balcony construction, the applicant is also proposing modifications to the second-story fenestration of 924. A previously bricked-over doorway will be reopened to accommodate a new window, and the existing center window will be removed and replaced with a new doorway to provide access to the balcony. The applicant is proposing this alteration to have the same design symmetry as the 926 unit and the adjacent 918 North 2nd Street. Staff usually would not support a change in fenestration such as this, but due to the structure being considered non-contributing, and the alteration maintaining consistency with the other storefronts, Staff supports the alteration.

Rear Porch:

The applicant is proposing to construct a rear porch off the approved addition utilizing treated lumber, consistent with the materials previously approved. While the general design remains similar to the prior approval, the applicant is requesting to extend the porch across a larger portion of the rear elevation. This expanded footprint closely matches the configuration of the original porch that existed prior to removal in 2022 (Figure 3, Page 5). City Staff (Community Development and Engineering) supports the proposal, with the condition the rear porch shall not extend further than what was there previous towards both the rear and side of the property.



Figure 3: Subject property rear addition before demolition (April 28, 2020).

ONGOING ENFORCEMENT

City Code Enforcement Staff have worked continuously with the applicant to address ongoing property maintenance concerns. Frequent citations have been issued to the property between September 24, 2024 to present. The proposed exterior alterations are expected to improve the property's appearance and support continued progress toward code compliance. Most notably, the previously approved rear addition will replace the existing non-conforming blue siding at the rear façade. In addition, the construction of the proposed rear porch will further enhance the rear elevation, which is anticipated to be a secondary frontage upon completion of the approved Main Street extension project.

STAFF RECOMMENDATION

Due to being an extensive redesign project with several exterior alterations and new construction, Staff has broken the recommended motions into three (3) separate motions. Staff believes the proposed 11.1' by 26' balcony is appropriate and will enhance the overall appearance of the structure while not interfering with approved City projects. However, Staff recommends the approval of this balcony with the conditions that the footprint will not extend further than the proposed dimension and that the footings for each post should be a minimum of thirty inches deep and belled at the bottom to ensure they are not disturbed during the construction of the Second Street project. Staff also finds all window and door replacements to be appropriate and having no adverse impact to the structure. Finally, Staff finds the rear porch appropriate and compliant, with the condition it will not extend further than the previous did on both the rear and side of the structure.

Recommended Motions:

Motion to approve the construction of a new parade balcony at 924-926 North 2nd Street, subject to the conditions recommended by Staff.

Motion to approve new windows, doors, and a new window and doorway replacement on the front of 924-926 North 2nd Street, as submitted.

Motion to approve the construction of a rear porch on 924-926 North 2nd Street, subject to the conditions recommended by Staff.



Figure 4: Subject property seen currently from 2nd Street.



Figure 5: North elevation seen currently. Proposed rear porch to be off previously approved addition.



Figure 6: Applicant drawing showcasing proposed balcony.



Figure 7: Applicant drawing showcasing windows and doors.



Figure 8: Example balcony at 918 North 2nd Street.



Figure 9: Two-over-two windows proposed for 924 North 2nd Street frontage.



Figure 10: Nine-over-nine and six-over-six windows proposed for 926 North 2nd Street frontage.



**Figure 11: Proposed doors for 924 North 2nd Street unit (Left door – First floor entry
Right Door – upper-story balcony entry).**

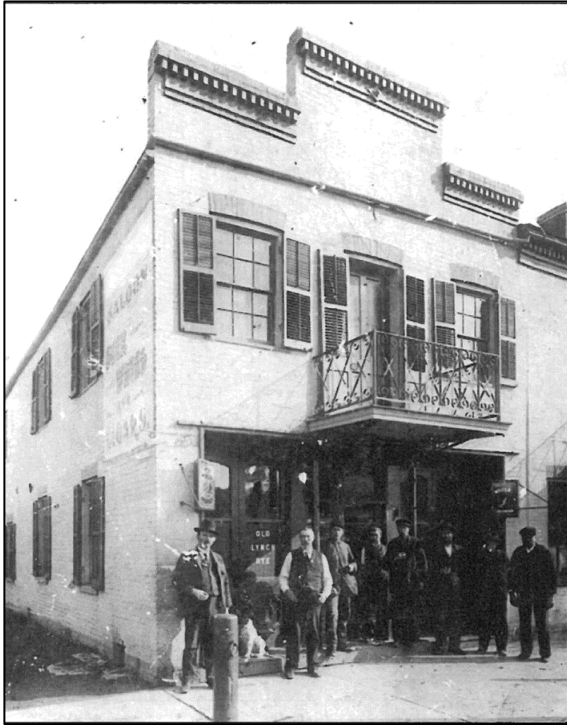


Figure 12: 1906 Image of property.

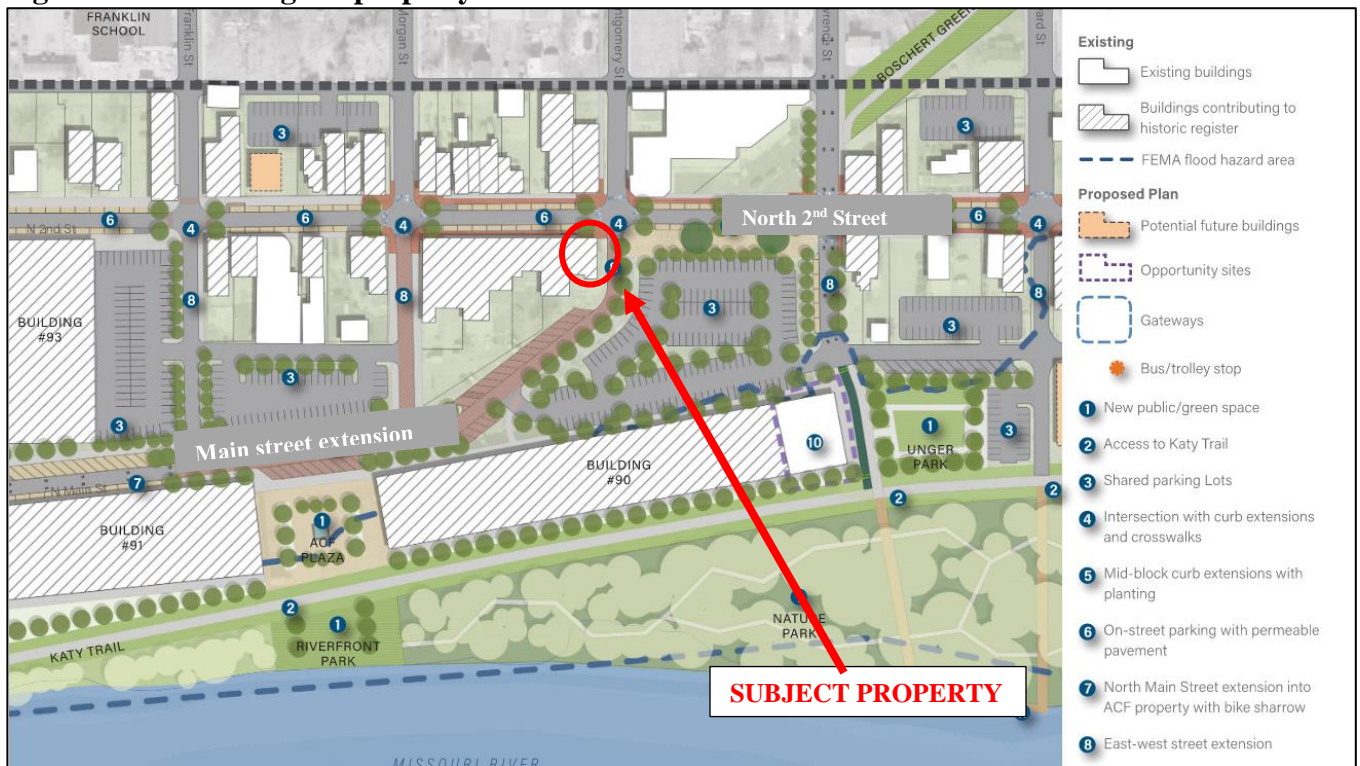


Figure 13: Great Streets Plan identifying Main Street's extension in reference to the subject property.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 924/926 N 2nd st

BUSINESS NAME (if applicable): _____

APPLICANT: Jeff Besselman
(Name)

903 N 3rd st 63301
(Address)

314-267-7889 JNB Homes @ Yahoo.com
(Phone & Email Address)

PROPERTY OWNER: Same as above
(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1860 ish

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

under Construction

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____
 Construct a new structure: _____
 Demolish or move structure: _____
 Construct a new addition: Front Porches⁹²⁶ Rear Porch
 New sign or awning: _____
 Site work (patio, fence, etc.): _____
 Other (briefly explain): store front windows Amendment
Brick replacement
move Door on 924 to center

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

1. * ADD Full porches to 924 and 926
2. * Re-build and rebrick 924 moving the Door Back to the Center and makes the existy Door a window
3. * Amend 926 store front applicata to make the windows Awng or Casement windows Possibly
4. Re-approve Rear porch on 926

APPLICATION SUBMITTAL:

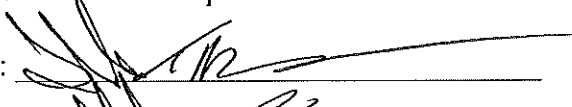
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

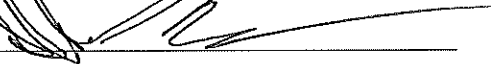
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 5/19/2025

Signature of the property owner:  Date: 5/14/2025

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00

- 1) ADD Front Porches across the front of 924-926 N 2nd (per the Sanborn Fire Maps) Porch to match porch approved for 918A Save profile and material
Case # , EC-2024-018 918 N 2nd st (I believe)
- 2) Rebuild & rebrick 924 N 2nd st Facade moving the Door Back to the middle of the Building and replacing the existing Door with a window New windows to be 2 over 2 Vinyl Black or Bronze on the outside replacement Brick called Bell Tower
- 3) Amend 926 N 2nd st storefront application to possibly make the Windows Arched or Casement also use the Bell Tower Brick to repair the Brick Facade Also substitute the previously approved 1 over 1 window with a 6 over 6 or 9 over 9 Vinyl Black or Bronze window
- 4) Re-approve the rear porch using the same details as the front porch and porch on 918A remove the Dormer with the Door
Case # C/A 2017-03 (EC) 924-926 N 2nd
January 23 2017

1st floor Door to be $\frac{3}{4}$ Glass
2nd floor Door to be $\frac{3}{4}$ Glass with Grills



(# 1)

Porch for 921/926

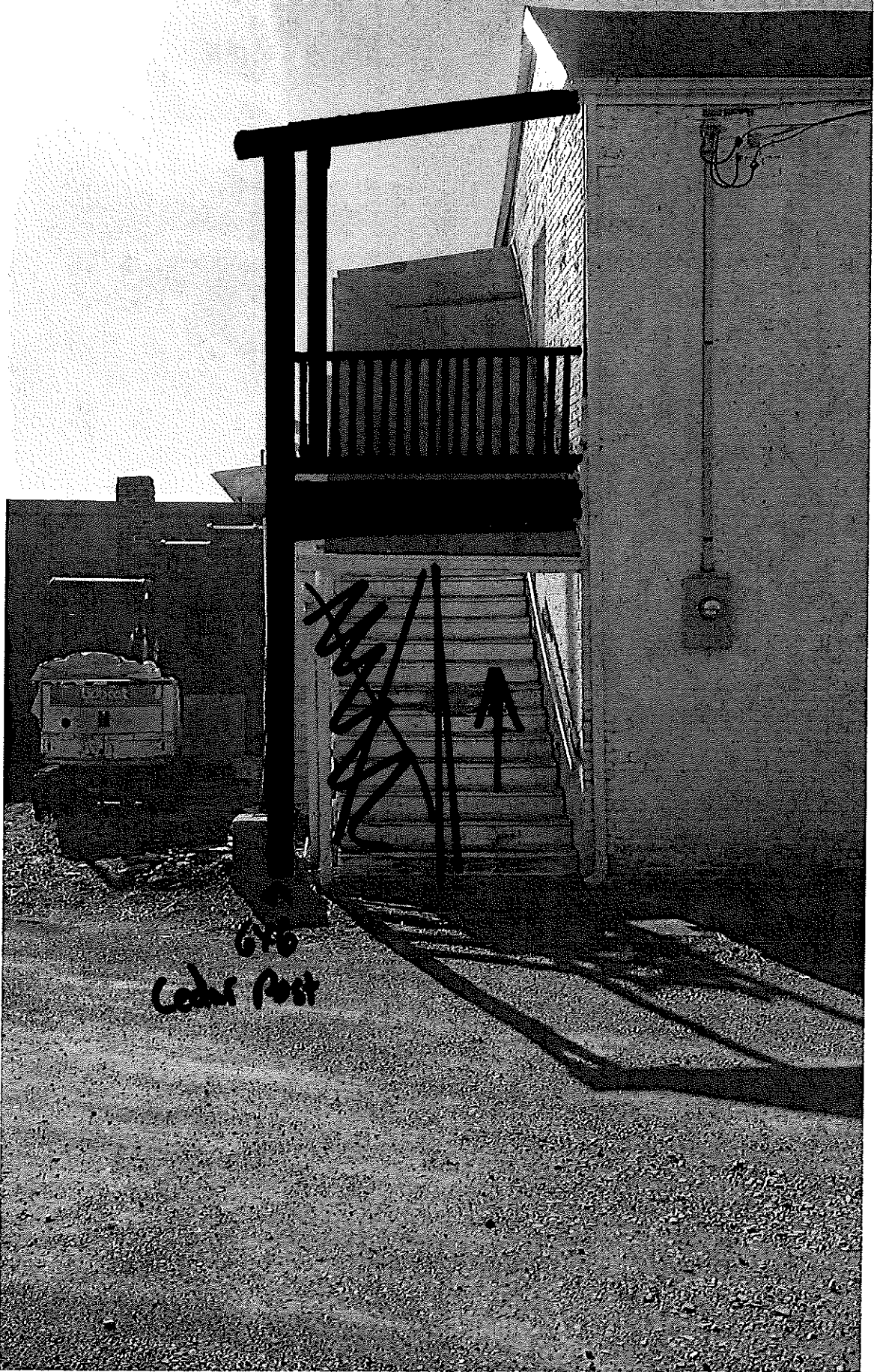


(#2)

windows for 924/926

From Case

Proposed Porch



6x6 Cedar Post

5

From Case #

C/A 2017-03 (EC) 9211-926 N2d

January 23 2017

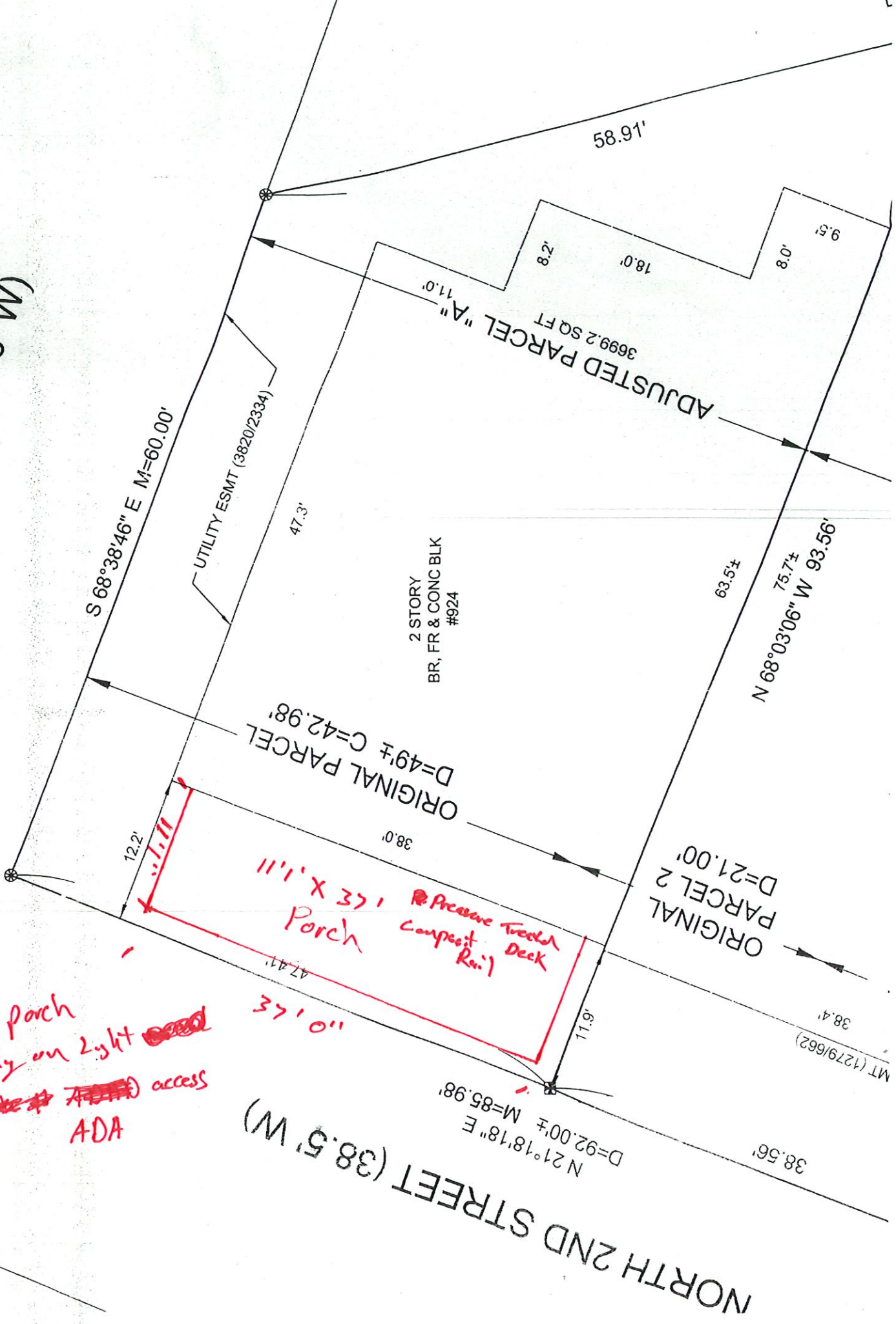
Proposal porch / ~~deck~~ on rear

(2)



From case # C/A 2017-03 (EC) 924-926 v2nd
Summer 23 2017

MONTGOMERY STREET (32.08' W)



Full porch
 Depends on light ~~and~~
 and ~~ADA~~ access
 ADA

NORTH 2ND STREET (38.5' W)

1

MONTGOMERY STREET (32.08' W)

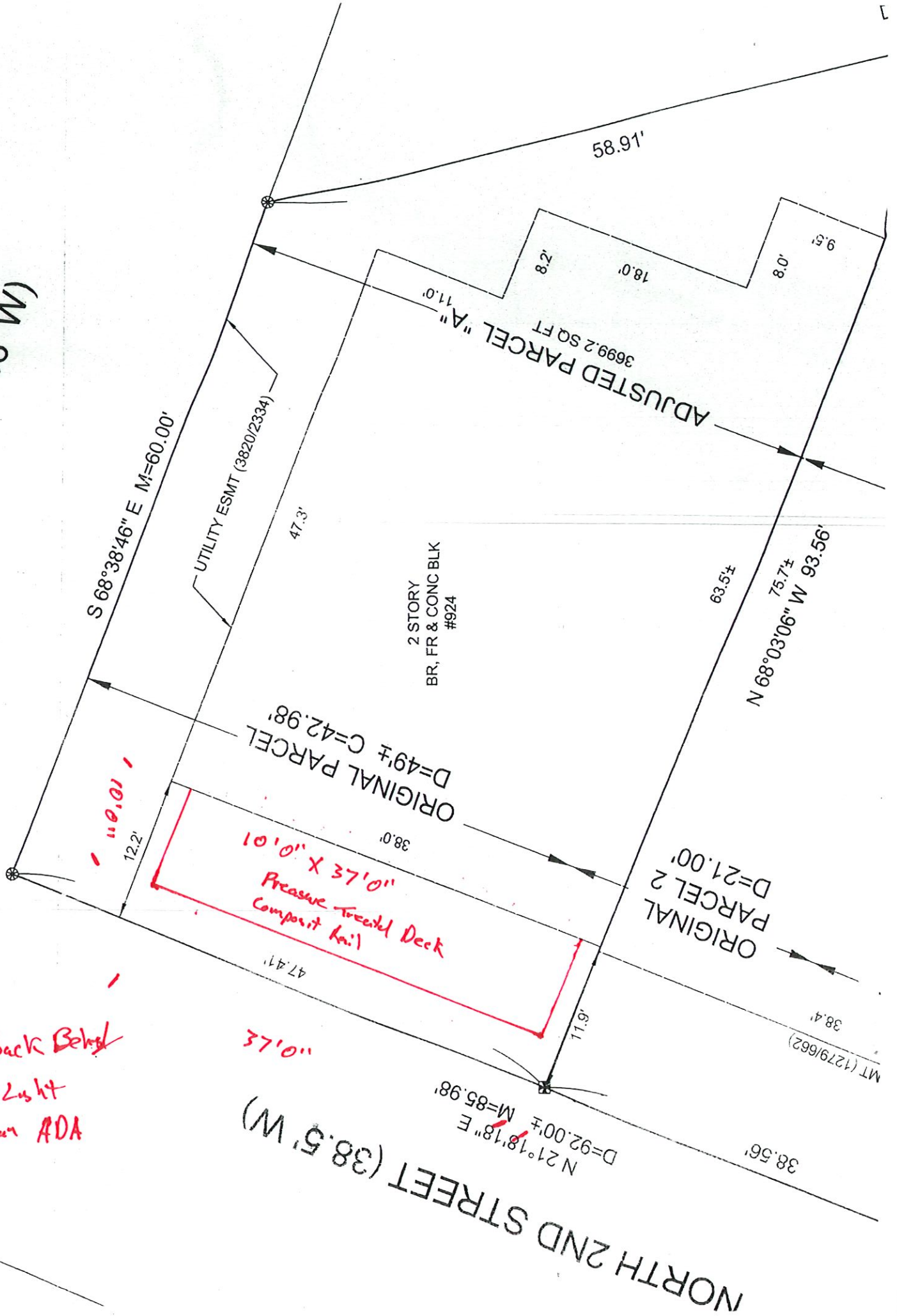


Centered porch
NO light interference
NO ADA !!

NORTH 2ND STREET (38.5' W)

3

MONTGOMERY STREET (32.08' W)



Sits Back Behind
existing Light
Depends on ADA

10' L3

NORTH 2ND STREET (38.5' W)

LANDMARKS BOARD - MINUTES
May 19, 2025
City Council Chambers, Fourth Floor City Hall
200 North Second Street
St. Charles, MO 63301

MEMBERS PRESENT

Steve Martin, Chair
Jill Ryan, Vice Chair
Michelle Beucke
Dave Settle
John Donnelly
Christi Tennyson
Denise Mitchell, Council Liaison

STAFF PRESENT

Taylor Moore, Preservation Planner
John Boyer, Assistant Director of CD
Zach Tusinger, Director of CD

Absent: Tom Smith

On Monday, May 19, 2025, at 6:00 p.m., the City of St. Charles Landmarks Board held its regular monthly meeting in the Council Chambers on the fourth floor of City Hall.

1. Call to order and the roll.

The meeting was called to order by Steve Martin at 6p.m. Taylor Moore called the roll.

2. Pledge of Allegiance.

3. Consent Agenda

(A) Case No. EC-2025-020 130 Water Street. Joseph & Linda Brewer. The applicant is requesting approval to replace the front porch on the dwelling [Extended Historic Preservation District, Ward 2].

(B) Case No. EC-2025-022 340 North Main Street. Paul Bishop. The applicant is requesting approval to install new siding on the dwelling [Historic Downtown District, Ward 1].

This item was removed.

Michelle Beucke made a motion to approve the remaining balance of the consent agenda, Jill Ryan seconded the motion. All were in favor (7-0).

4. Removed Consent Items

(A) Case No. EC-2025-022 340 North Main Street. Paul Bishop. The applicant is requesting approval to install new siding on the dwelling [Historic Downtown District, Ward 1].

Paul Bishop was present to answer questions for the Board. Michelle Beucke made a motion to approve the remaining balance of the consent agenda, Denise Mitchell seconded the motion. All were in favor (7-0).

5. Sign Permit Applications

(A) Sign Permit No. 2025-1961 910 Jefferson Street. Tina Meier. The applicant is requesting approval to install a freestanding sign for the business “The Megan Meier Foundation” [Extended Historic Preservation District, Ward 2].

Tina Meier was present to answer questions for the Board. Denise Mitchell made motion to approve the sign application, Dave Settle seconded the motion. All were in favor (7-0).

6. Structure Review

- (A) Case No. EC-2025-021 301-305 South Main Street. Darren Stross. The applicant is requesting approval to make several exterior alterations to the property and construct a rear addition [South Main Preservation District, Ward 2].

Darren Stross was present to answer questions for the Board. Denise Mitchell made motion to approve the application, John Donnelly seconded the motion. All were in favor (7-0).

- (B) Case No. EC-2025-023 735 Washington Street. Adriana Perrone. The applicant is requesting approval to install a new fence and construct a new deck on the property [Extended Historic Preservation District, Ward 2].

Adriana Perrone was present to answer questions for the Board. Michelle Beucke made a motion to approve the application. Jill Ryan seconded the motion. All were in favor (7-0).

- (C) Case No. SP-2025-004 1001-1005 North 2nd Street. Bill Barnes & Cory King. The applicants are requesting approval for a site plan for Side Project Brewing [Frenchtown Preservation District, Ward 1].

Cory King & Architect, Gabe McKee were present to answer questions for the Board. Christi Tennyson made a motion to approve the site plan. Denise Mitchell seconded the motion. All were in favor (7-0).

Michelle Beucke made a motion to find the north addition of the property historically significant, Denise Mitchell seconded the motion. None were in favor, all were opposed (7-0). The addition was found not historically significant and able to be removed.

7. Announcements/Reports from Officers –

- *Taylor Moore & Denise Mitchell informed the Board the Landmarks Awards will be received at the May 20, 2025 City Council Meeting.*

8. Staff Report – Ed Akers, Communications Manager, presented the Board the design and locations of proposed electronic entry signs.

9. Approval of April 21, 2025 Meeting Minutes - Michelle Beucke made a motion to approve the minutes, Jill Ryan seconded the motion. Five were in favor, 0 opposed, 2 abstained (5-0-2).

10. Adjournment

Denise Mitchell made a motion to adjourn, Michelle Beucke seconded. All were in favor (7-0). The meeting was adjourned at 6:22p.m.

SECRETARY

DATE