



# LANDMARKS BOARD

## AGENDA FOR REGULAR MEETING

### September 22, 2025

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#### LANDMARKS BOARD:

Steve Martin, Chair  
Jill Ryan, Vice Chair  
Michelle Beucke  
Dave Settle  
John Donnelly  
Tom Smith  
Christi Tennyson  
Steve Hollander, Council Liaison

Mesdames and Gentlemen:

On Monday, September 22, 2025, at 6:00 p.m., the City of St. Charles Landmarks Board will hold its regular monthly meeting in the Council Chambers on the fourth floor of City Hall, 200 North Second Street, St. Charles, Missouri. The agenda for this meeting is as follows:

**1. Call to order and call the roll**

**2. Pledge of Allegiance**

**3. Consent Agenda**

- (A) Case No. EC-2025-047 807 North 6<sup>th</sup> Street. Midtown Home Improvements. The applicant is requesting permission to construct a new deck in the rear of the dwelling [Commons Preservation District, Ward 1].
- (B) Case No. EC-2025-051 302 Jefferson Street. Dave Wieland. The applicant is requesting permission to make general maintenance repairs to the structure [Extended Historic Preservation District, Ward 1].
- (C) Case No. EC-2025-052 524 South 6<sup>th</sup> Street. Renewal by Anderson. The applicant is requesting permission to replace seven windows on the dwelling [Extended Historic Preservation District, Ward 2].
- (D) Case No. EC-2025-053 728 North Benton Avenue. Brandon Rew. The applicant is requesting permission to tuckpoint the dwelling and repaint the front porch [Commons Preservation District, Ward 1].

**4. Removed Consent Items**

**5. Sign Permit Applications**

- (A) Sign Permit No. 2025-4348 700 South Main Street. Nikki Hickman. The applicant is requesting permission to install a projecting sign for the business “Serendipity Gifts” [South Main Preservation District, Ward 2].
- (B) Sign Permit No. 2025-4566 1100 North 2<sup>nd</sup> Street. Michael & Cynthia Padella. The applicants are requesting permission to install new signage for the business “Frenchtown Event Space” [Frenchtown Preservation District, Ward 1].

**6. Structure Review**

- (A) Case No. EC-2025-035 1114 Lindenwood Avenue. David Capp. The applicant is requesting permission to construct a dormer on the second floor [Extended Historic Preservation District, Ward 1].
- (B) Case No. EC-2025-048 700 North 3<sup>rd</sup> Street. Midtown Home Improvements. The applicant is requesting permission to replace the front door on the dwelling [Frenchtown Preservation District, Ward 1].
- (C) Case No. EC-2025-049 221 North Benton Avenue. Midtown Home Improvements. The applicant is requesting permission to replace nineteen windows on the dwelling [Extended Historic Preservation District, Ward 2].
- (D) Case No. EC-2025-050 301 Tecumseh Street. Joe Redding. The applicant is requesting permission to enclose several windows on the structure [Extended Historic Preservation District, Ward 1].
- (E) Case No. EC-2025-054 729 Clark Street. Ryan Wetzel. The applicant is requesting permission to make alterations to the front porch of the dwelling [Extended Historic Preservation District, Ward 1].
- (F) Case No. EC-2025-055 1069 Madison Street. Window World STL. The applicant is requesting permission to replace nineteen windows on the dwelling [Extended Historic Preservation District, Ward 2].
- (G) Case No. EC-2025-056 809 North 3<sup>rd</sup> Street. Greener Designs. The applicant is requesting permission to replace an existing retaining wall on the property [Frenchtown Preservation District, Ward 1].
- (H) Case No. EC-2025-057 1112 North 4<sup>th</sup> Street. Jean Giacchi. The applicant is requesting after-the-fact approval to install a pergola in the rear of the property [Frenchtown Preservation District, Ward 1].

**7. Announcements/Report of Officers**

**8. Staff Reports**

**9. Approval of August 18, 2025 regular meeting minutes**

**10. Adjournment**

*The next regular meeting of the Landmarks Board is scheduled for*

*Monday, October 27, 2025 at 6:00pm*

*The submittal deadline for the October 27, 2025 meeting is September 22, 2025..*

*(September 29, 2025 for signs)*

**INCLEMENT WEATHER:** In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

*The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY – for the hearing impaired).*

*The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk's Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.*

***Agenda posted on 9/18/2025 @ 11am by TRM***



**AGENDA ITEM #3A**

**STAFF REPORT**  
**REAR DECK**  
**807 NORTH 6<sup>TH</sup> STREET**  
**CASE NO. EC-2025-047**

**BY TAYLOR MOORE**

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**APPLICANT:** Michelle Uetrecht  
Midtown Home Improvement  
120 Resource Drive  
Wentzville, MO 63385

**OWNER:** Dean & Ann Gall  
807 North 6th Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 807 North 6th Street

**ZONING:** R-1E—Single-Family Residential District  
CPD--Commons Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Located in the Commons Preservation District, the subject property is the one-story, framed, Minimal Traditional style house at 807 North 6th Street. The house was built in 1943 and is considered a contributing resource to the Commons Neighborhood National Register District. The applicant is requesting to replace an existing deteriorated deck with a new L-shaped deck that will be placed in the same location but in a larger footprint. Accompanying the application are elevations, a site plan, and photographs of the existing rear deck.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.370: “CPD” COMMONS PRESERVATION DISTRICT**

C. *Architectural review for contributing properties.*

2. Every application for a building permit for construction of, additions to and exterior alterations of, any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a Certificate of Appropriateness.

D. *Architectural Review for Non-Contributing Properties.* For non-contributing properties as provided by Section 400.340(C), Construction Permits within the “EHP” Extended Historic Preservation District, every application for a building permit for construction of, additions to and exterior alterations of any building in the district shall be submitted to the Historic Landmarks Preservation and architectural review Board (HLPARB) for review and approval.

E. *Design guidelines.* “Design Guidelines for the Saint Charles Commons Neighborhood” prepared by the St. Charles Commons Neighborhood Association and dated October 30, 1996,

hereby adopted by reference and incorporated as if fully set out herein, are adopted as the design guidelines for the Commons Preservation (CP) District.

### **Design Guidelines for the Saint Charles Commons Neighborhood**

#### **Chapter 3: Changes to Existing Structures**

##### **Porches and Rear Decks**

The Commons strongly encourages property owners to preserve original porches, or in case of non-original porches, to restore them to the original architectural style of the building. Old photographs are very helpful in determining how the original porch looked. A Certificate of Appropriateness is required for construction which changes the appearance of the porch or any of its architectural detail. Normal maintenance does not require a COA and is encouraged.

3.22 When feasible, original woodwork should be retained and repaired.

3.27 According to City codes, existing decks must be maintained in good repair.

3.31 Plywood may not be used for exterior finish on decks

##### **Chapter 4: Additions**

4.1 Additions are most appropriate if constructed to the rear or side of an existing building.

4.2 Additions to existing structures that will alter the façade of the building are prohibited.

4.3 Additions should not be taller or wider than the building to which it is added.

4.5 Gutters are required for all new roofs, even additions and accessory buildings.

#### **STAFF RECOMMENDATION**

The proposed new L-shaped deck will feature “wolf decking boards” which is a composite material, and vinyl handrails. The railing system will also have decorative post caps to add character to the deck’s design. The deck was originally proposed to be a 12’ by 12’ square, however, this did not meet the required setbacks from an existing carport accessory structure. The L-shaped configuration allows for the deck to be compliant with setbacks while expanding the size from the current deck. The applicant has stated the existing awning over the current deck will remain. The new deck will not be visible from the street, and will have no adverse impact on the dwelling’s contributing status or the district as a whole. Therefore, Staff recommends approval as submitted.

#### **Recommended Motion:**

**Motion to approve construction of a new rear deck porch at 807 North 6th Street, as submitted.**



**Figure 1: Subject property seen from the street.**



**Figure 2: Existing rear yard showcasing existing deck and carport structure.**



Figure 3: Proposed location for new deck.

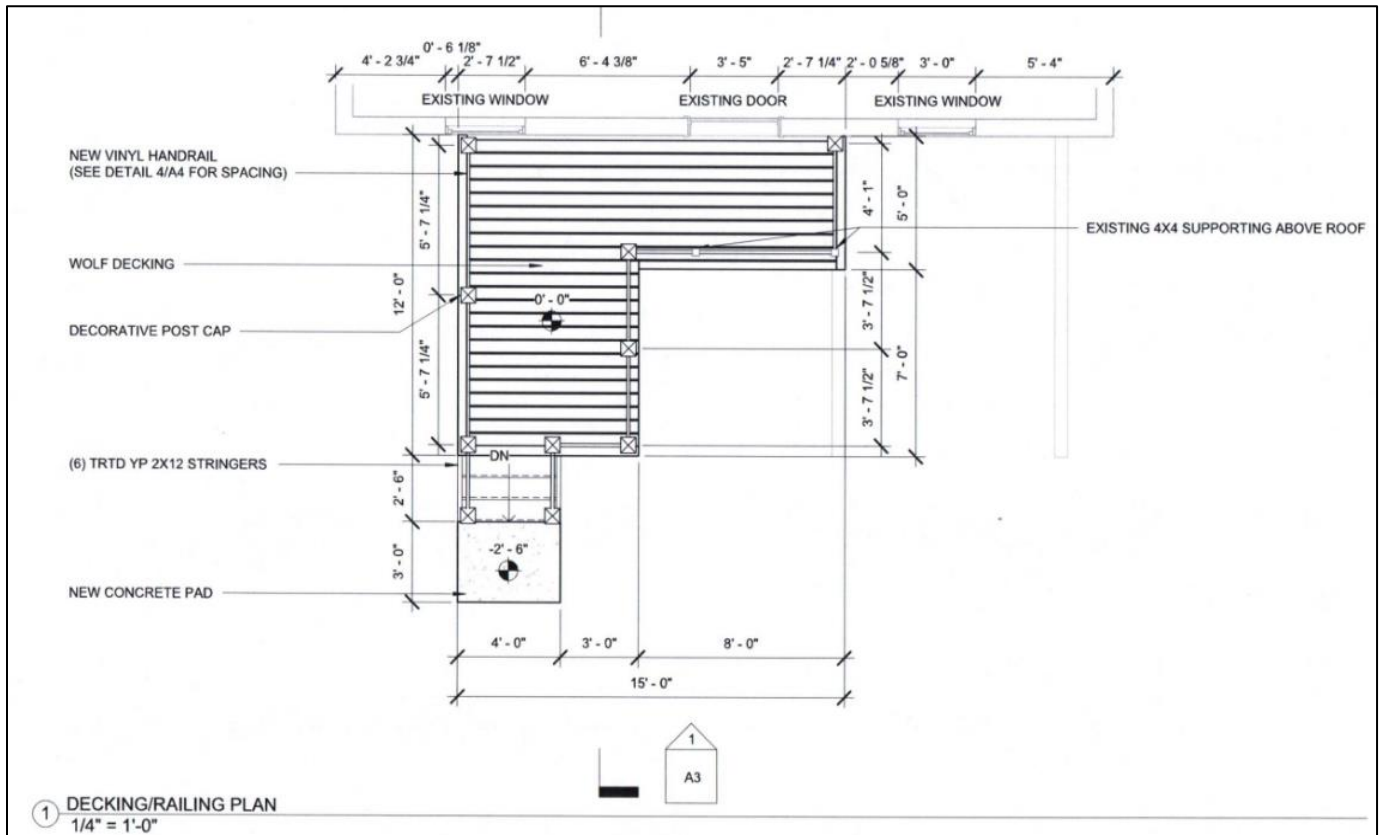


Figure 4: Site plan for proposed new rear deck.

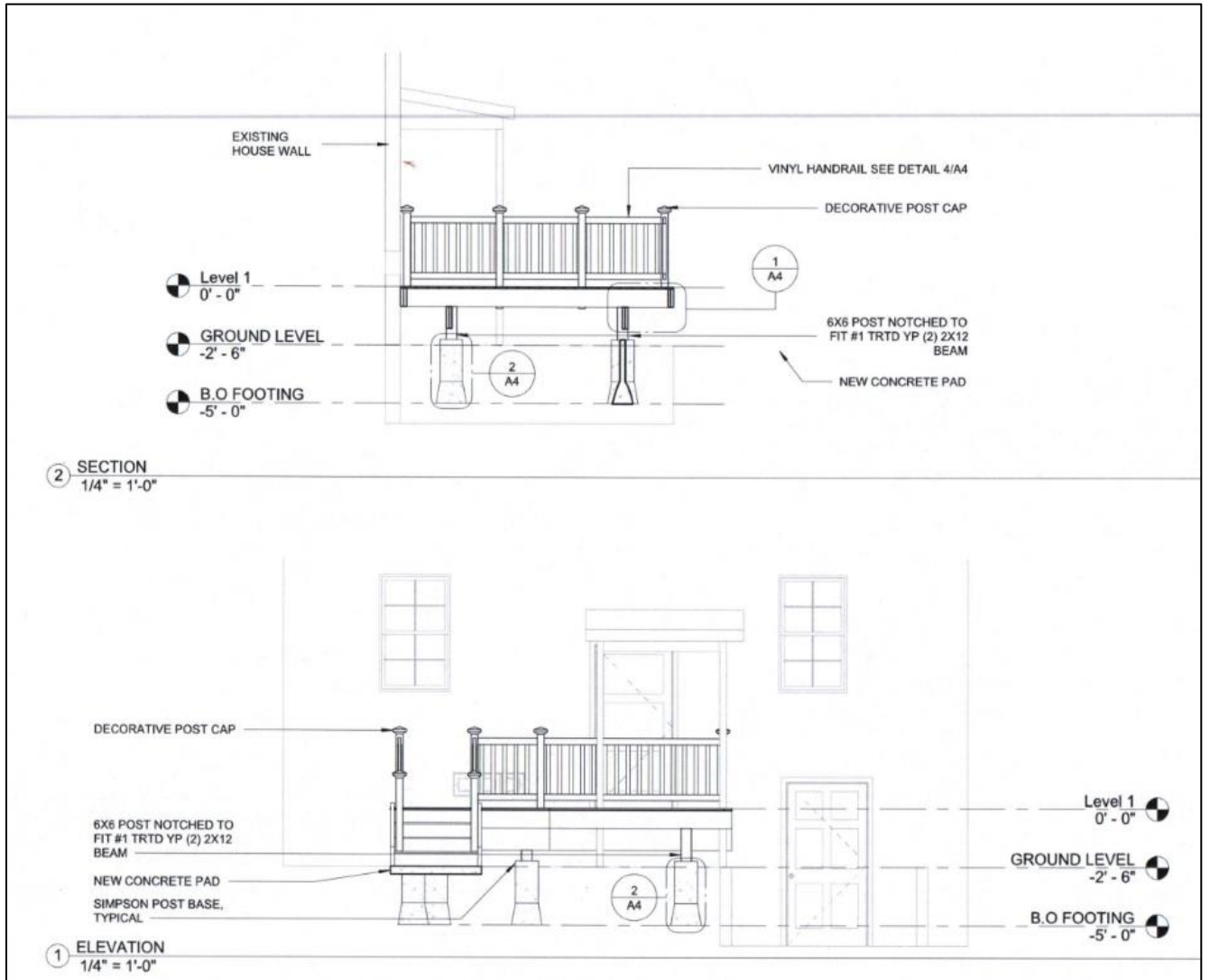


Figure 5: Elevations for proposed new rear deck.

CASE # (assigned by Staff): \_\_\_\_\_



**DEPARTMENT OF COMMUNITY DEVELOPMENT**

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

**CERTIFICATE OF APPROPRIATENESS APPLICATION**

ADDRESS OF SUBJECT PROPERTY: 807 N 6th St St Charles Mo 63301

BUSINESS NAME (if applicable): \_\_\_\_\_

**APPLICANT:**

Midtown Home Improvement - Michelle Detrecht  
(Name)

120 Resource Dr Wentzville Mo 63385  
(Address)

636-379-8889 mdetrecht@midtownhi.com  
(Phone & Email Address)

**PROPERTY OWNER:**

Dean + Anna Gall  
(Name)

807 N 6th St St Charles Mo 63301  
(Address)

636-699-8806 mrsannamariagall@gmail.com  
(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1940

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
  2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
    - a. The actual shape and dimension of the lot.
    - b. Any existing or proposed building, accessory building, and their locations upon the lot.
    - c. Photos of existing structures.
    - d. Colored elevations of proposed structures or modifications.
  3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
  4. Proposed colors of any sign or structure (must be from approved color chart if applicable)
- \* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Michelle Vettecht

Date: \_\_\_\_\_

Signature of the property owner: [Signature]

Date: 7/29/2015

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Fenced backyard with mature trees, bushes, and perennial flowers. Carport in backyard with alley access. Existing docks severely deteriorated, needs to be replaced.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

- Rehabilitate or restore: \_\_\_\_\_
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): \_\_\_\_\_
- Other (briefly explain): 12' x 12' Deck with stairs in backyard

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

old deck will be replaced with needed deck material and steps for new deck.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

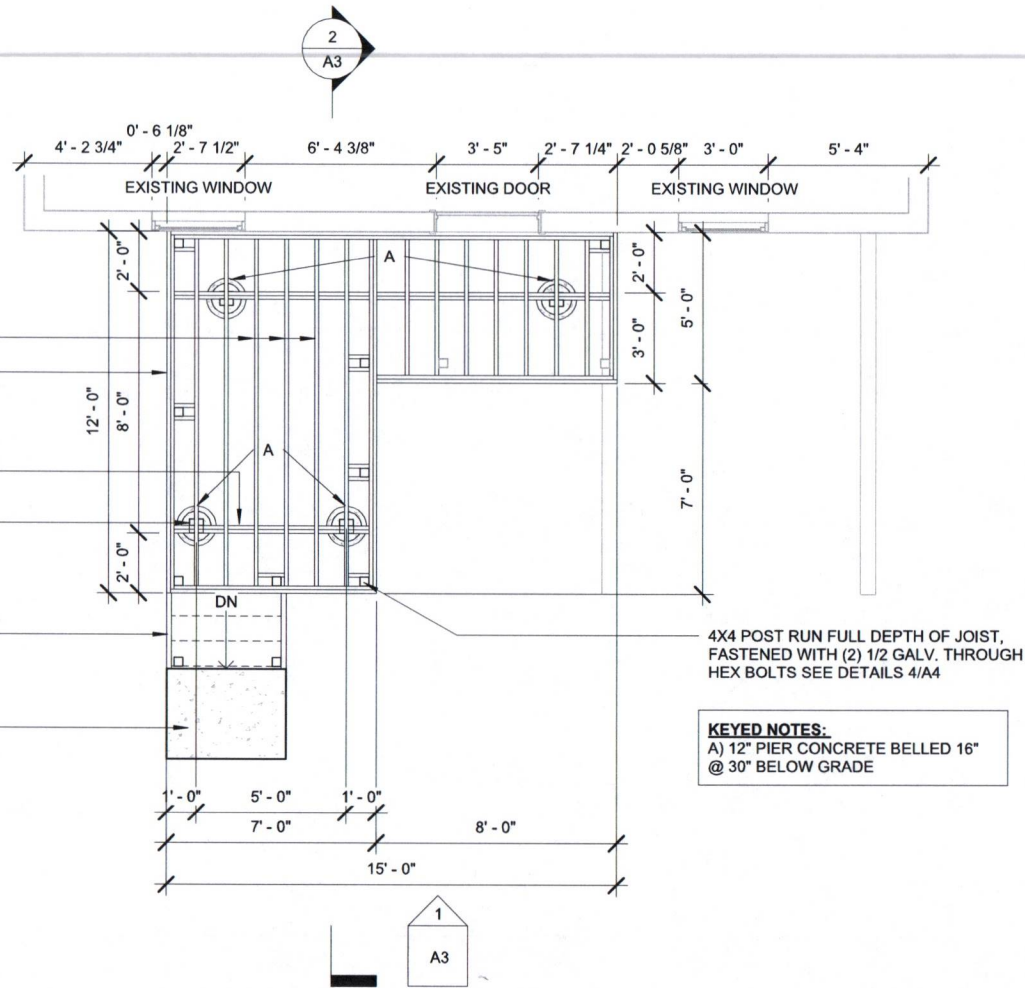
\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



120 RESOURCE DR.  
 WENTZVILLE, MO. 63385  
 TEL- 636-379-8889  
 FAX-636-379-8990  
 Stapleton.midtown@gmail.com



1 DECK FRAMING PLAN  
 1/4" = 1'-0"

Project Address  
 807 N 6th St, Saint  
 Charles MO 63301

GALL

086955

DECK FRAMING PLAN

Sheet	A1 OF 4
Date	05/15/2025
Drawn by	MIL
Checked by	
Scale:	1/4" = 1'-0"



120 RESOURCE DR.  
WENTZVILLE, MO. 63385  
TEL- 636-379-8889  
FAX-636-379-8990  
Stapleton.midtown@gmail.com

Project Address  
807 N 6th St, Saint  
Charles MO 63301

GALL

086955

DECKING/RAILING PLAN

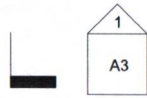
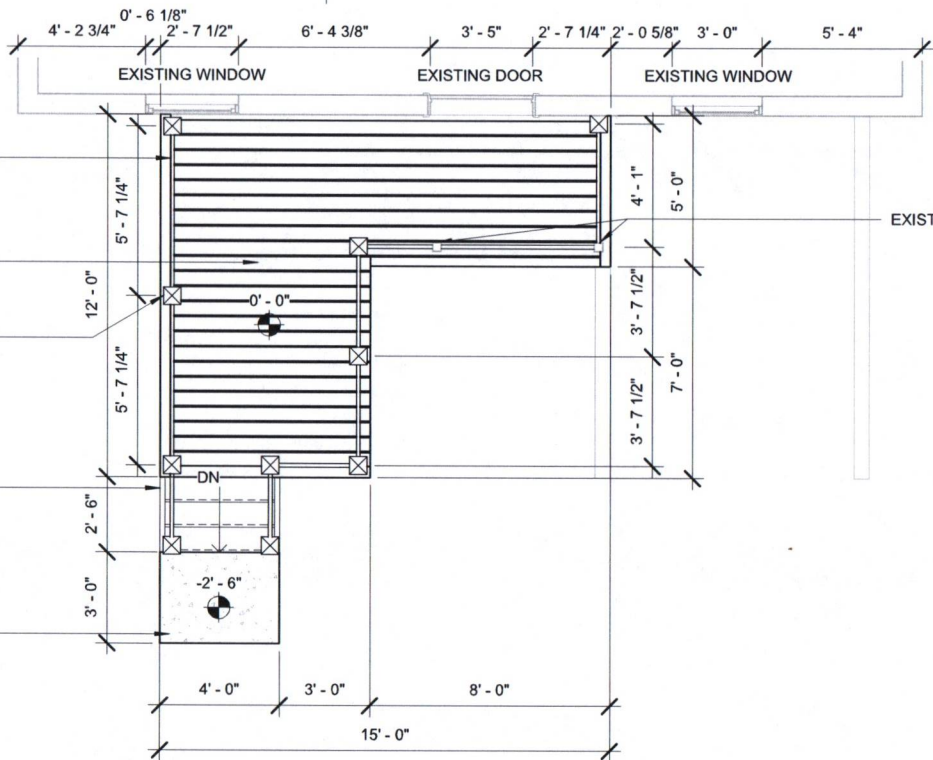
Sheet A2 OF 4

Date 05/15/2025

Drawn by MIL

Checked by

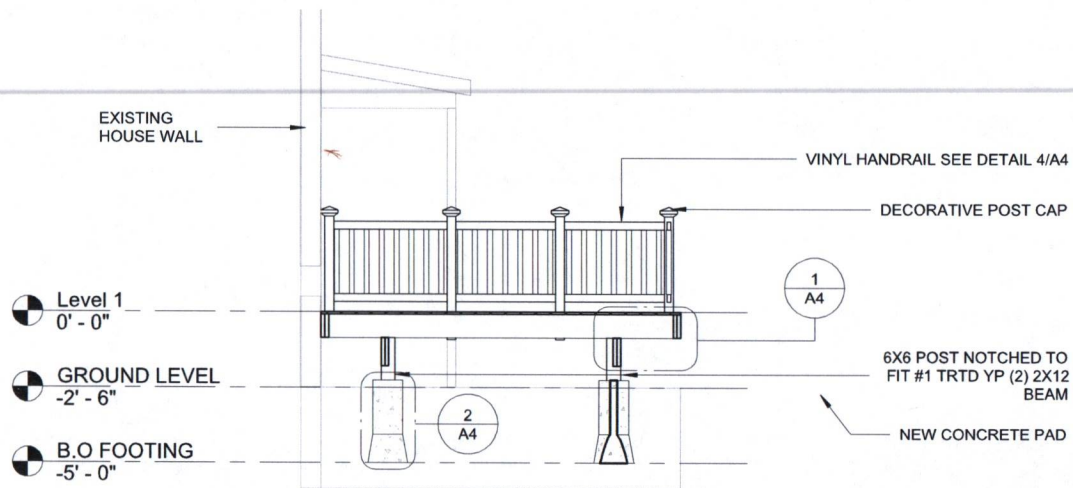
Scale: 1/4" = 1'-0"



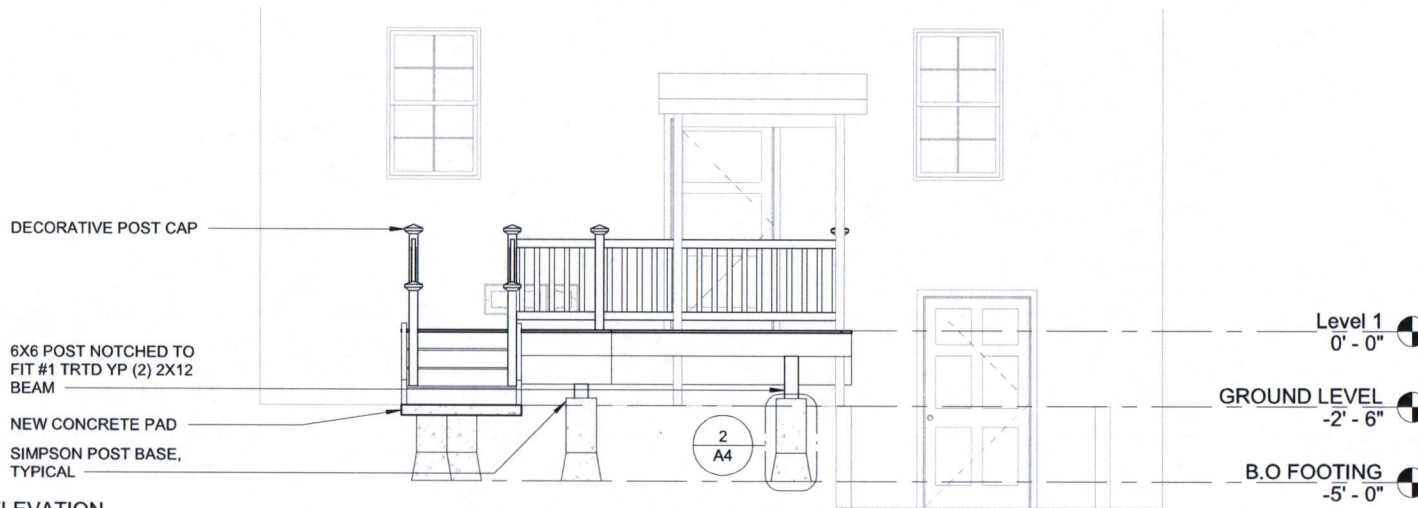
1 DECKING/RAILING PLAN  
1/4" = 1'-0"



120 RESOURCE DR.  
WENTZVILLE, MO. 63385  
TEL- 636-379-8889  
FAX-636-379-8990  
Stapleton.midtown@gmail.com



② SECTION  
1/4" = 1'-0"



① ELEVATION  
1/4" = 1'-0"

Project Address  
807 N 6th St, Saint  
Charles MO 63301

GALL

086955

ELEVATION / SECTION

Sheet A3 OF 4

Date 05/15/2025

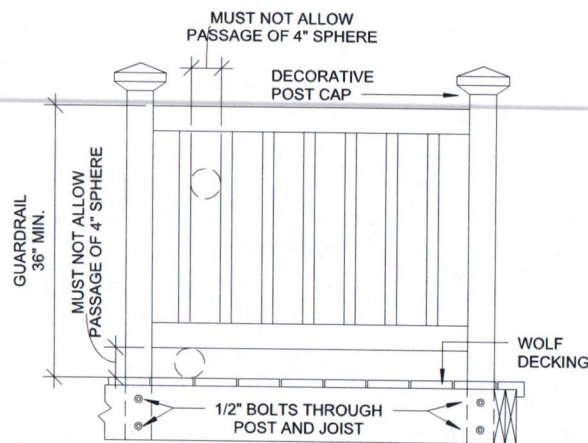
Drawn by MIL

Checked by

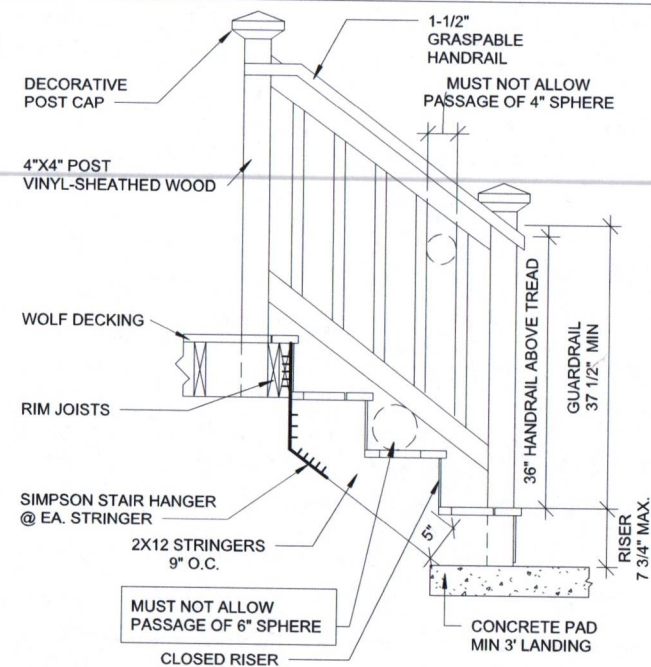
Scale: 1/4" = 1'-0"



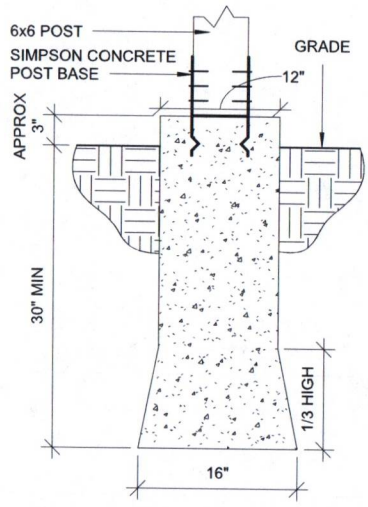
120 RESOURCE DR.  
WENTZVILLE, MO. 63385  
TEL- 636-379-8889  
FAX-636-379-8990  
Stapleton.midtown@gmail.com



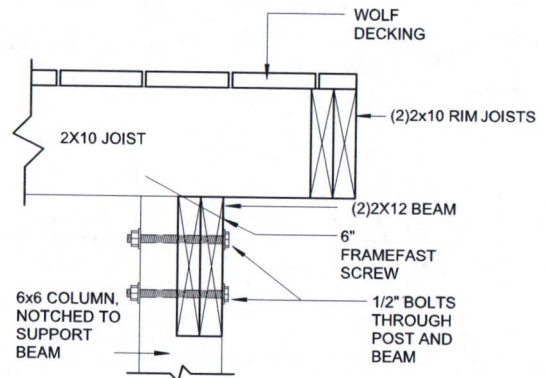
④ VINYL HANDRAIL DETAIL  
3/4" = 1'-0"



③ VINYL STAIR DETAIL  
3/4" = 1'-0"



② PIER DETAIL (12-x16-x30)  
1" = 1'-0"



① FLOOR POST-BEAM CONNECTION  
1 1/2" = 1'-0"

Project Address  
807 N 6th St, Saint  
Charles MO 63301

GALL

086955

DETAILS	
Sheet	A4 OF 4
Date	05/15/2025
Drawn by	MIL
Checked by	
Scale:	As indicated



**AGENDA ITEM #3B**

**STAFF REPORT**  
**EXTERIOR MAINTENANCE**  
**302 JEFFERSON STREET**  
**CASE NO. EC-2025-051**

**BY TAYLOR MOORE**

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**APPLICANT:** David & Lavonne Wieland  
302 Jefferson Street  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 302 Jefferson Street

**ZONING:** CBD—Central Business District  
FSC/HD—Fifth Street Hospital Corridor District  
EHP—Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Located at the northwest corner of Jefferson and North 3rd Streets, the property at 302 Jefferson Street is a 1½ -story, brick, Queen Anne Free Classic style house built in 1895. The house is also considered a contributing resource to the Midtown Neighborhood National Historic District. The applicant is requesting approval to make several exterior maintenance improvements to both the dwelling and the frame garage that faces 3<sup>rd</sup> Street. The project entails replacing and repairing wooden millwork decorative details that have rotted over time. The applicant has also stated they will be painting both the primary structure and the 3<sup>rd</sup> Street garage an off white color, while the trim work will be painted black, green, and gold, which are appropriate colors for the district. While these alterations are considered general-maintenance rather than exterior changes, the applicant is receiving a Façade Grant, and all proposed work must be reviewed by the Landmarks Board for approval. Photographs of the existing primary structure and 3<sup>rd</sup> Street garage accompany this application.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340:“EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.**

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.

- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**  
**Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

3. Building Design
- c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - d. Building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationships to one another.
  - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code;
  - b. Logic of design;
  - c. Exterior space utilization;
  - d. Architectural character;
  - e. Attractiveness;
  - f. Material selection;
  - g. Harmony and compatibility.

**STAFF RECOMMENDATION**

The proposed alterations will enhance a highly visible property that sits on the border of three historic districts. The alterations will be visible from Jefferson Street and 3<sup>rd</sup> Street due to the dwelling and garages placement on the property. The proposed repairs and replacements is complementary to the property and the neighborhood in general, and ultimately meets the design guidelines for the Extended Historic District. Therefore, Staff recommends approval of these maintenance items, as submitted.

**Recommended Motion:**

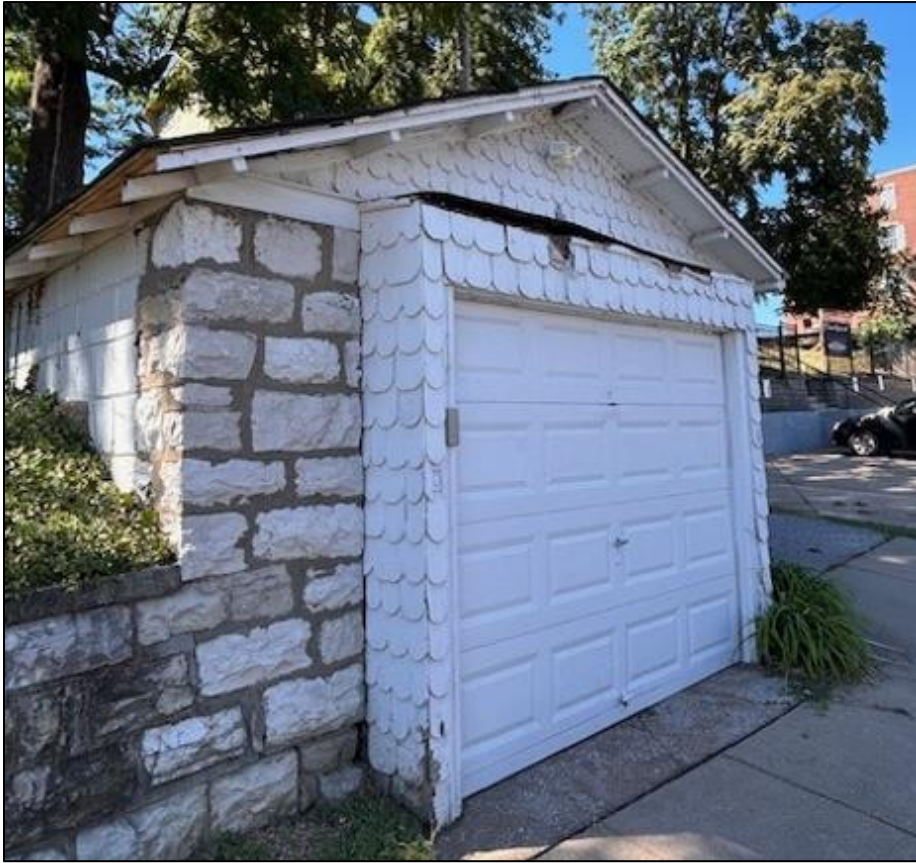
**Motion to approve the general maintenance repairs to the dwelling and garage at 302 Jefferson Street, as submitted.**



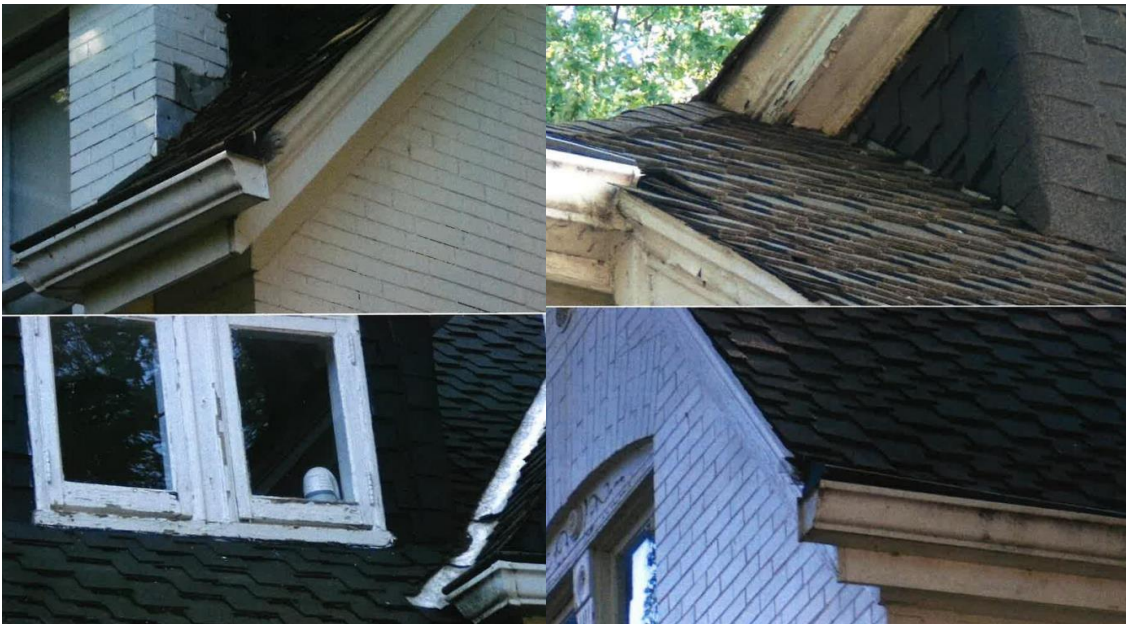
**Figure 1: Subject property seen from corner of North 3<sup>rd</sup> & Jefferson Streets**



**Figure 2: Front of property from Jefferson Street.**



**Figure 3: Subject garage on North 3<sup>rd</sup> Street.**



**Figure 4: Deterioration examples on the primary structure.**

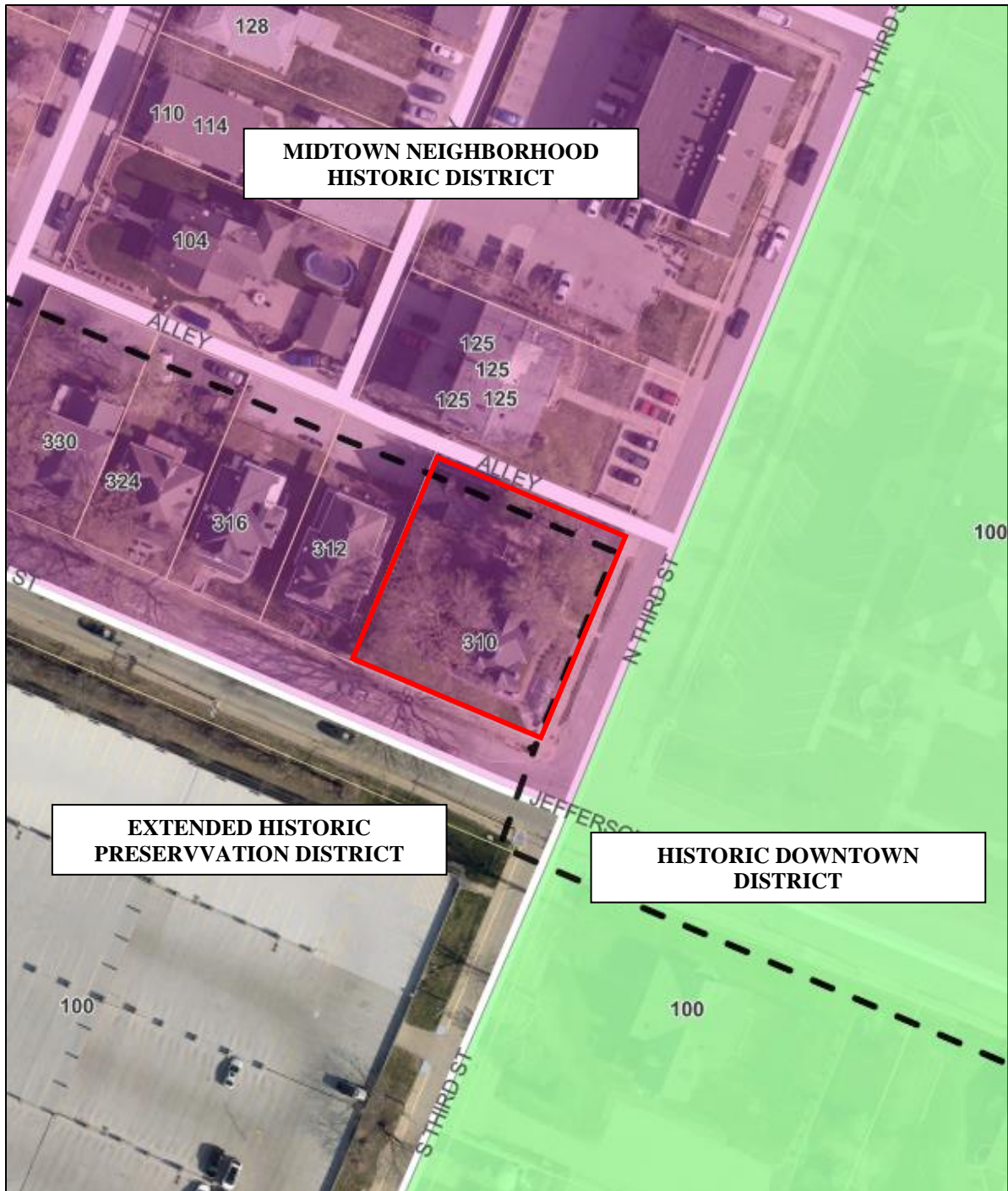


Figure 5: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 302 Jefferson Street

BUSINESS NAME (if applicable): \_\_\_\_\_

APPLICANT: David & Lavonne Wieland  
(Name)

302 Jefferson Street  
(Address)

314-413-3664 dave.wieland@jwsoftware.com  
(Phone & Email Address)

PROPERTY OWNER: David & Lavonne Wieland  
(Name)

302 Jefferson Street  
(Address)

314-413-3664 dave.wieland@jwsoftware.com  
(Phone & Email Address)

#### HISTORIC DISTRICT LOCATION:

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1895

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Property is in need of millwork repair around the entire house. Many areas are rotting and need to be replaced. 3rd street garage is in need of much work. Large vans have been knocking into the garage damaging it.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

- Rehabilitate or restore: replace & repair all millwork. Resto  
Keep original appearance.
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): \_\_\_\_\_
- Other (briefly explain): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

Rotted wood will be replaced / repaired on Main house and garage.  
Entire house + 3rd Street garage will be repainted with an off white. Trim work will be repainted with Black, Green & Gold in the future

NOTE: Main house + 3rd Street garage roofs are being replaced due to Hail damage  
Valleys being replaced with copper. Step Flashing will be replaced with copper

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: David Wick Date: 8-18-25

Signature of the property owner: David Wick Date: 8-18-25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>



New paint color will be Bone White.





















**AGENDA ITEM #3C**

**STAFF REPORT  
REPLACE WINDOWS  
524 SOUTH 6<sup>TH</sup> STREET  
CASE NO. EC-2025-052**

**BY TAYLOR MOORE**

**APPLICANT:** Renewal by Andersen  
13397 Lakefront Drive  
Maryland Heights, MO 63045

**OWNER:** Lori Barnick  
524 South 6<sup>th</sup> Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 524 South 6<sup>th</sup> Street

**ZONING:** R1-E— Single-Family Residential District  
EHP – Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Built in 1910, the subject property is the 2-story brick dwelling at 524 South 6<sup>th</sup> Street, located within Extended Historic Preservation District. The applicant is requesting approval to replace seven (7) existing wooden weight pocket windows with composite (Fibrex) windows. The new windows will be like for like in configuration, grid pattern, and color. Exhibits, window specifications, and photographs accompany the application.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT**

- A. (Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

## **REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

### **Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

#### **3. Building Design**

a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.

#### **c. Materials**

1. Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

2. Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.

3. Materials shall be of durable quality.

4. In any design in which the structure frame is exposed to view, the structural materials shall be compatible within themselves and harmonious with their surroundings.

d. Building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationships to one another.

e. Colors shall be harmonious and shall use only compatible accents.

#### **7. Maintenance-Planning and Design Factors**

a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.

b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

#### **8. Factors for Evaluation**

a. Conformance to ordinances and the Appearance Code.

b. Logic of design.

c. Exterior space utilization.

d. Architectural character.

e. Attractiveness.

f. Material selection.

g. Harmony and compatibility.

h. Traffic—vehicular and pedestrian.

i. Maintenance aspects.

### **STAFF RECOMMENDATION**

The new proposed Fibrex windows are a combination of a fusion of wood and plastic materials. The windows being replaced will retain the same one-over-one grid pattern as the existing windows, and will not alter the appearance of the structure. The size, color, and configuration of the new windows is appropriate, and will have no adverse impact on the streetscape or the district as a whole. Therefore, Staff recommends approval of the window replacements, as submitted.

**Recommended Motion:**

**Motion to approve the replacement of seven (7) windows at 524 South 6<sup>th</sup> Street, as submitted.**



**Figure 1: Subject property seen from the street currently.**



Figure 2: The rear façade of the property seen from Pike Street.



Figure 3: Subject windows for replacement.



Figure 4: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 524 S. 6<sup>TH</sup> STREET

BUSINESS NAME (if applicable): \_\_\_\_\_

APPLICANT: RENEWAL by ANDERSEN  
(Name)

13397 LAKEFRONT DRIVE 63045  
(Address)

314-983-9977 Permits@rbastl.com  
(Phone & Email Address)

PROPERTY OWNER: Lori Barnick  
(Name)

524 S 6<sup>th</sup> Street Saint Charles, Mo 63301  
(Address)

620-408-7926 Lori.Barnick@ymail.com  
(Phone & Email Address)

#### HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

old wood weight pocket windows  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PROJECT DESCRIPTION (mark and explain each that may apply):**

- Rehabilitate or restore: Window Replacement
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): \_\_\_\_\_
- Other (briefly explain): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

We are Replacing 7 windows Like For Like.  
Removing Exterior wood stops and sashes.  
Setting New windows to the Back side of  
the Interior Trim. We will do a small coil  
wrap To cover the shim + Insulation. we  
will not be wrapping Exterior Brick/mold.  
\_\_\_\_\_

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: John Knopfel Date: 08-06-25

Signature of the property owner: \_\_\_\_\_ Date: \_\_\_\_\_

- Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>



dba: RENEWAL BY ANDERSEN OF ST. LOUIS  
 Legal Name: Birner STL, LLC | License # (null)  
 13397 Lakefront Drive, Suite 101 | Earth City, MO 63045  
 Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com  
 Measure Tech: John Knopfel,

**Lori & Michael Barnick**  
 524 S 6th St  
 Saint Charles, MO 63301  
 Year Built: 1908  
 C: (630)408-7926

# Installation Package

---

524 S 6th St  
 Saint Charles, MO 63301

---

PRODUCTS: 9    WINDOWS: 7    PATIO DOORS: 0    ENTRY DOORS: 0    SPECIALTY: 0    MISC: 2  
*Updated 7/29/25*

---

**BUYER**

**Lori & Michael Barnick**  
 524 S 6th St  
 Saint Charles, MO 63301  
 Year Built: 1908  
 C: (630)408-7926  
 Year Built: 1908  
 loribarnick@ymail.com  
 Est. Duration:

**REPRESENTATIVE**

**Ray St.Pierre**  
 (636)233-7828  
 rstpierre@rbastl.com

**TECH MEASURE**

**John Knopfel**  
 jknopfel@rbastl.com

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Lori & Michael Barnick  
 524 S 6th St  
 Saint Charles, MO 63301  
 Year Built: 1908  
 C: (630)408-7926

ID#	ROOM	SIZE	DETAILS
213	office	31" 74" 29-7/8" 73-5/8"	<b>Window:</b> Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior White <b>Performance Calculator:</b> PG Rating: 40   DP Rating: + 40 / - 40 <b>Glass:</b> All Sash: High Performance SmartSun Glass, No Pattern <b>Hardware:</b> Antique Brass, Estate Finish Recessed Hand Lift <b>Screen:</b> TruScene, Full Screen <b>Grille Style:</b> No Grille <b>Misc:</b> 2nd Floor Charge, 2nd Floor Charge <b>Construction:</b> None <b>Material:</b> Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), (2 1/4") - White (2), Interior Caulk: RbA White (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)
212	office	31" 74" 29-7/8" 73-5/8"	<b>Window:</b> Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior White <b>Performance Calculator:</b> PG Rating: 40   DP Rating: + 40 / - 40 <b>Glass:</b> All Sash: High Performance SmartSun Glass, No Pattern <b>Hardware:</b> Antique Brass, Estate Finish Recessed Hand Lift <b>Screen:</b> TruScene, Full Screen <b>Grille Style:</b> No Grille <b>Misc:</b> 2nd Floor Charge, 2nd Floor Charge <b>Construction:</b> None <b>Material:</b> Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), (2 1/4") - White (2), Interior Caulk: RbA White (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)
107	Kitchen	36" 74" 33-7/8" 73-5/8"	<b>Window:</b> Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior White, Interior White <b>Performance Calculator:</b> PG Rating: 40   DP Rating: + 40 / - 40 <b>Glass:</b> All Sash: High Performance SmartSun Glass, No Pattern <b>Hardware:</b> Antique Brass, Estate Finish Recessed Hand Lift <b>Screen:</b> TruScene, Full Screen <b>Grille Style:</b> No Grille <b>Misc:</b> None <b>Construction:</b> None <b>Material:</b> Exterior Caulk: RbA White (0.5), Exterior Coil: RbA White (0.1), (2 1/4") - White (2), Interior Caulk: RbA White (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)



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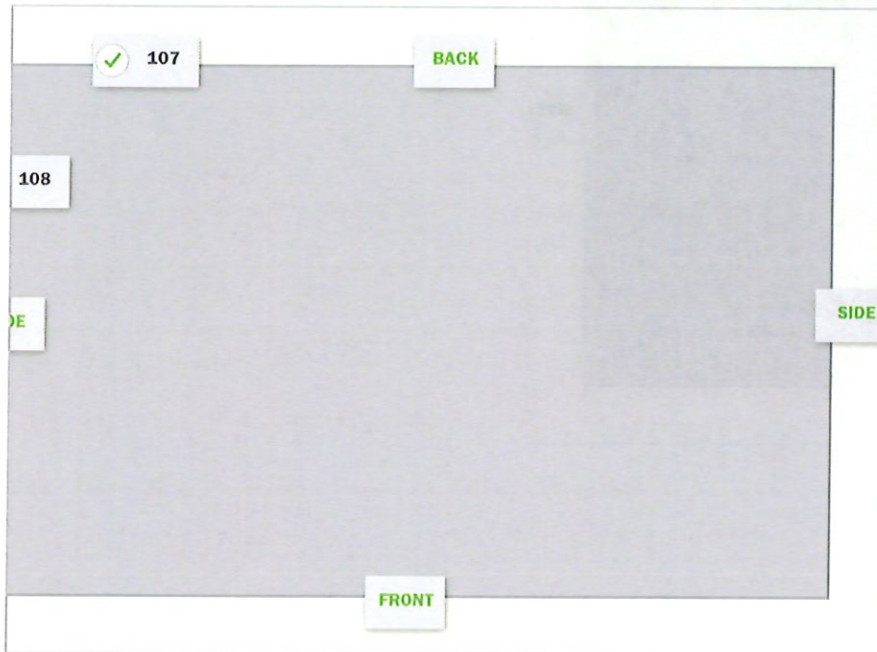
**Lori & Michael Barnick**  
524 S 6th St  
Saint Charles, MO 63301  
Year Built: 1908  
C: (630)408-7926

## JOB NOTES

The previous job is canvas interior and exterior with DBs. This install will be DGs Rba white interior and exterior.  
Most windows are second story. You will need extension ladders.

### Estimated Duration:

## FLOORPLAN - 1ST FLOOR



## UNIT NOTES

Homeowners don't want to Mach the previous install. The color will change inside and out from canvas to Rba white. The lifts



# Order Summary

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## JOB PHOTOS



Image 2

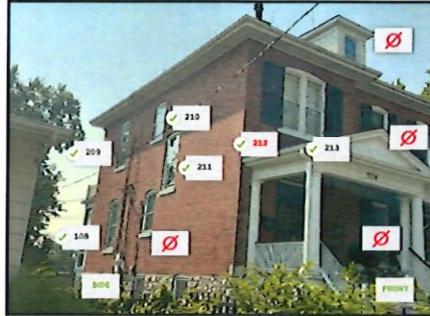


Image 1



Image 3



Image 4



Image 5



Image 6



Image 7

Renewal by Andersen® Product	High Performance Glass Type	U-Factor (BTU/(hr ft2 of F)) <sup>1</sup>		Solar Heat Gain Coefficient (SHGC) <sup>2</sup>		V <sub>P</sub> <sup>3</sup>	
		Air	HP Gas Blend	Air	HP Gas Blend		
DG Double-Hung (All Frames)	Clear Dual Pane	Without Grilles	0.46	n/a	0.58	n/a	.82
		Full Divided Light Grilles	0.46	n/a	0.52	n/a	
	Low-E4®	Without Grilles	0.33	0.31	0.31	0.31	.72
		Full Divided Light Grilles	0.34	0.31	0.28	0.28	
	Low-E4® Sun	Without Grilles	0.33	0.31	0.20	0.19	.40
		Full Divided Light Grilles	0.35	0.31	0.18	0.17	
		Without Grilles	0.32	0.29	0.21	0.21	.65
	Low-E4® SmartSun™ with Heatlock™	Full Divided Light Grilles	0.34	0.31	0.19	0.19	
		Without Grilles	0.27	0.25	0.20	0.20	.63
	Enhanced Triple Pane	Full Divided Light Grilles	0.30	0.27	0.18	0.18	
		Without Grilles	n/a	0.20	n/a	0.29	.47
	Enhanced Triple Pane with SmartSun™	Without Grilles	n/a	0.20	n/a	0.19	.43
		Full Divided Light Grilles	0.46	0.44	0.57	0.57	.82
	Clear Dual Pane	Full Divided Light Grilles	0.46	0.44	0.51	0.51	
		Without Grilles	0.33	0.30	0.31	0.31	.72
Full Divided Light Grilles		0.34	0.31	0.28	0.28		
Low-E4®	Without Grilles	0.33	0.30	0.19	0.19	.40	
	Full Divided Light Grilles	0.35	0.31	0.18	0.17		
Low-E4® Sun	Without Grilles	0.33	0.29	0.21	0.21	.65	
	Full Divided Light Grilles	0.34	0.30	0.19	0.19		
	Without Grilles	0.28	0.25	0.20	0.20	.63	
Low-E4® SmartSun™ with Heatlock™	Full Divided Light Grilles	0.28	0.25	0.18	0.18		
	Without Grilles	n/a	n/a	n/a	n/a	n/a	
	Enhanced Triple Pane	Without Grilles	n/a	n/a	n/a	n/a	n/a
Enhanced Triple Pane with SmartSun™	Without Grilles	n/a	n/a	n/a	n/a	n/a	
	Without Grilles	n/a	n/a	n/a	n/a	n/a	

DB Double-Hung  
(Full Frame)



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# Installation Package

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524 S 6th St  
 Saint Charles, MO 63301

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PRODUCTS: 9    WINDOWS: 7    PATIO DOORS: 0    ENTRY DOORS: 0    SPECIALTY: 0    MISC: 2  
*Updated 7/29/25*

---

BUYER

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 Est. Duration:

REPRESENTATIVE

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Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com  
Measure Tech: John Knopfel,

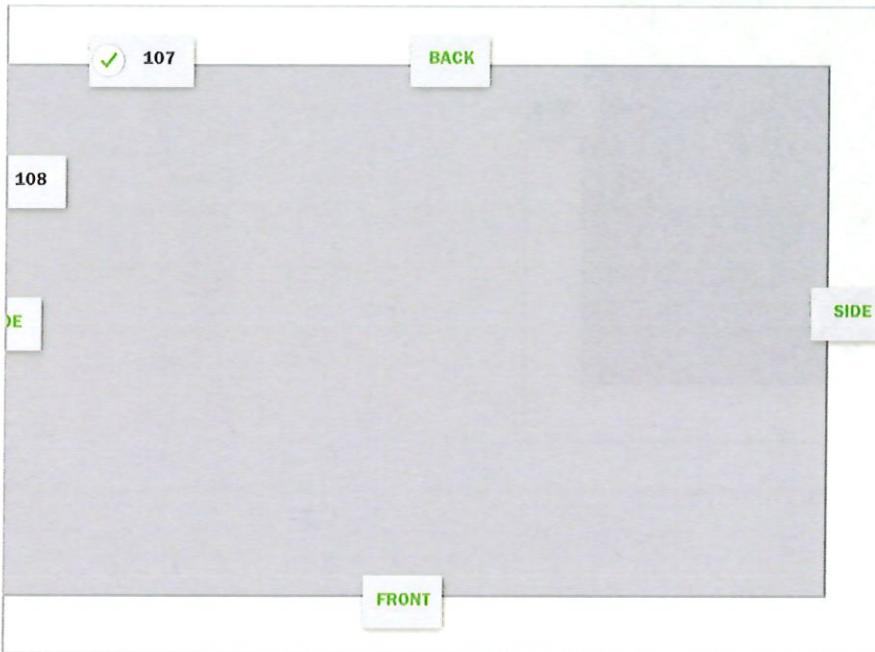
Lori & Michael Barnick  
524 S 6th St  
Saint Charles, MO 63301  
Year Built: 1908  
C: (630)408-7926

## JOB NOTES

The previous job is canvas interior and exterior with DBs. This install will be DGs Rba white interior and exterior.  
Most windows are second story. You will need extension ladders.

### Estimated Duration:

## FLOORPLAN - 1ST FLOOR



## UNIT NOTES

Homeowners don't want to Mach the previous install. The color will change inside and out from canvas to Rba white. The lifts



# Order Summary

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

Legal Name: Birner STL, LLC | License # (null)

13397 Lakefront Drive, Suite 101 | Earth City, MO 63045

Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com

Measure Tech: John Knopfel,

Lori & Michael Barnick

524 S 6th St

Saint Charles, MO 63301

Year Built: 1908

C: (630)408-7926

## JOB PHOTOS



Image 2



Image 1



Image 3



Image 4



Image 5



Image 6

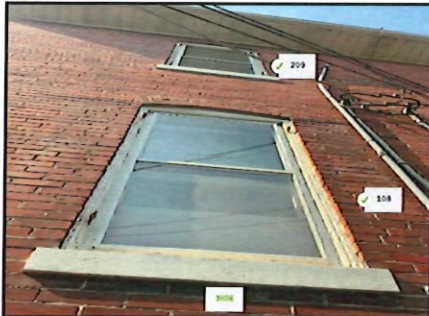


Image 7



**STAFF REPORT  
TUCKPOINTING & REPAIRS  
728 NORTH BENTON AVENUE  
CASE NO. EC-2025-053**

**BY TAYLOR MOORE**

---

**APPLICANT:** Brandon Rew  
728 North Benton Avenue  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 728 North Benton Avenue

**ZONING:** R-1E—Single Family Residential District  
EHP – Extended Historic Preservation District

**USE:** Single Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

The subject property is 728 North Benton Avenue located in the Commons Preservation District. The 1½-story, Federal style dwelling was constructed in 1901, and is considered a contributing resource to the Commons District. The applicant is proposing to tuckpoint the west (front) and south walls of the dwelling, as well as repaint the black railing on the front porch that has rusted over time. While this work generally does not require review and approval by the Landmarks Board; the applicant has been selected for a Façade Grant and must receive Landmarks Board approval before the Façade Grant Application may be approved. Accompanying the application are photographs of the property and photographs showing some of the areas in need of repointing.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT**

(A) *Purposes.* The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the city or the state and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses of land.

(C) *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB).

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

3. Building Design
  - c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
  - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
  - (3) Materials shall be of durable quality.
- e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
  - e. Attractiveness
  - f. Material selection
  - g. Harmony and compatibility
  - i. Maintenance aspects.

**STAFF RECOMMENDATION**

The tuckpointing aligns with the design guidelines for the district for maintenance and design factors. Removing rust and repainting the railings of the front porch is also acceptable and general maintenance to retain good appearance of the front façade of the dwelling. Therefore, Staff recommends approval of the tuckpointing project and porch maintenance, as submitted.

**Recommended Motion:**

**Motion to approve the tuckpointing and porch maintenance at 728 North Benton Avenue, as submitted.**



**Figure 1: Subject property seen from street.**



**Figure 2: Brick damage example.**



**Figure 3: Brick damage example 2.**



CASE # (assigned by Staff): \_\_\_\_\_



**DEPARTMENT OF COMMUNITY DEVELOPMENT**

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

**CERTIFICATE OF APPROPRIATENESS APPLICATION**

ADDRESS OF SUBJECT PROPERTY: 728 N. BENTON

BUSINESS NAME (if applicable): \_\_\_\_\_

**APPLICANT:**

BRANDON REW  
(Name)

728 N. BENTON  
(Address)

630-246-1232      REW777@ME.COM  
(Phone & Email Address)

**PROPERTY OWNER:**

BRANDON REW  
(Name)

728 N. BENTON  
(Address)

630-246-1232  
(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1880

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

THE HOUSE IS A SIDE GABLED VICTORIAN FOLK  
HOUSE, FULL ST. CHARLES BRICK CONSTRUCTION.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: TUCKPOINT BRICK & PAINT PORCH RAILING

Construct a new structure: \_\_\_\_\_

Demolish or move structure: \_\_\_\_\_

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): \_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

CUT OUT AND REPLACE TUCKPOINT ON FRONT AND  
SOUTH SIDE OF HOUSE,

REMOVE RUST AND REPAINT FRONT PORCH RAILING  
BLACK.

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescymogov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: BP

Date: 13 AUG 25

Signature of the property owner: BP

Date: 13 AUG 25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

**Site Plan:** \$200.00

**Exterior Changes & Demolitions:** \$50.00



**AGENDA ITEM #5A**

**STAFF REPORT  
ONE HANGING SIGN  
700 SOUTH MAIN STREET  
PERMIT NO. 2025-4348**

**BY TAYLOR MOORE**

**APPLICANT:** Nikki Hickman  
700 South Main Street  
St. Charles, MO 63301

**OWNER:** Jeffrey Lage  
340 North Main Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 700 South Main Street

**ZONING:** HCD—Historic Commercial District  
SMPD—South Main Preservation District

**USE:** Commercial—Serendipity Gifts

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Built in 1805, the subject property is 700 South Main Street, which is located in the South Main Preservation District. This 2½ story, brick building, is commonly known as the Farmer’s Home. The applicant is requesting approval to install one hanging sign for their business “Serendipity Gifts”. The metal rectangular shaped sign is 24” x 32” (5.34 square feet) and will display the business name in pink lettering with a white background. The outline of a shamrock will also be on the sign in a yellow/golden color just above the business name. Illustrations of the sign and additional photos accompany the application.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.1830: SIGN REGULATIONS FOR “SMPD”, “HDD”, “FHD”, “LMPD” AND “EHP” SUPERIMPOSED DISTRICTS**

- A. “SMPD” *South Main Preservation District*. The purpose of this Section is to allow adequate signage for pedestrian-oriented historic commercial areas, yet at the same time exclude signage which would be detrimental to property values and the character of the district.
1. General regulations.
    - a. No sign or graphic may be displayed without first obtaining a certificate of appropriateness from the HLPARB.
    - c. Signs shall not obscure architectural details or features.
    - d. Any projecting sign displayed over a public walkway must be at least eight (8) feet above the walkway.
  2. *Wall, projecting, window and awning signs.*

- c. Each building within the district shall be allowed one (1) projecting sign for each frontage of a building provided that projecting signs shall not be allowed on any building wall facing Main Street which already has a wall sign.
- d. Projecting signs shall be allowed a maximum size of thirty-hundredths (0.30) square feet per lineal foot of building frontage, provided that the maximum size of the face of any projecting sign shall not exceed five and one-half (5.5) square feet.
- e. Window signs are prohibited.

## **ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT**

### **Chapter VIII: Guidelines for Signs**

#### Sign Context

- 8.2 A sign must be subordinate to the overall building composition.
- a. A sign shall appear to be in scale with the façade.
  - b. Locate a sign on a building such that it will emphasize design elements of the façade itself. In no case should a sign obscure architectural details or features.
- 8.3 A sign shall be in character with the material, color and detail of the building.
- a. Simple letter styles and graphic designs are more appropriate on many of the restrained, vernacular structures found on South Main Street.

#### Permitted Sign Types

- 8.5 Projecting signs may be considered.
- a. A projecting sign should be located near the business entrance at eye level, just above the door or to the side of it.
  - b. In general, only one projecting sign per building façade is allowed. However, where the Board determines that the result would be compatible with the District, one projecting sign shall be allowed for each distinct façade module of a building.

#### Sign Materials

- 8.11 Sign materials shall be compatible with that of the building façade.
- a. Painted wood and metal are appropriate materials for signs. Their use is encouraged. Unfinished materials, including unpainted wood, are discouraged because they are out of character with the historic context.
  - b. Plastic is not permitted, except for flush, adhesive lettering.

#### Sign Content

- 8.13 Use colors for the sign that are compatible with those of the building front.
- 8.14 Simple sign designs are preferred.
- a. Typefaces that are in keeping with those seen in the area historically are encouraged. Avoid sign types that appear too contemporary.
  - b. Also limit the number of colors used on a sign. In general, no more than three colors should be used.
- 8.15 Select letter styles and sizes that will be compatible with the building front.
- a. Letters should not exceed ten inches in height.
  - b. Avoid hard-to-read or overly intricate typeface styles.

**STAFF RECOMMENDATION**

The design, materials and placement of the proposed sign is acceptable under the sign requirements. The size is just under the permitted 5.5 square feet, and therefore compliant. The applicant has stated the chains or hardware used to attach the sign to the gallery will be painted black to avoid a modern appearance. Additionally, the sign will need to have a clearance of at least 8' above the right-of-way. Therefore, Staff recommends approval of the new sign, subject to the following condition:

1. The sign will have a head clearance of at least 8'.

**Recommended Motion:**

**Motion to approve one hanging sign for the business “Serendipity Gifts” at 700 South Main Street, subject to the condition recommended by Staff.**



**Figure 1: Proposed sign for the business.**



**Figure 2: Proposed location for projecting sign.**



**Figure 3: Subject property's location.**



# DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303  
St. Charles, MO 63301  
Phone: 636-949-3227  
Fax: 636-949-3557



## SIGN PERMIT APPLICATION

Today's Date: \_\_\_\_\_

Permit #: \_\_\_\_\_

### DOCUMENTS REQUIRED WITH APPLICATION

Two (2) colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
- Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
- Pictures/Dimensions/Location of existing signage on property

**PERMIT FEES:** \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

### SIGN LOCATION:

NAME OF BUSINESS: Serendipity Gifts

ADDRESS: 700 S. Main Street

\*Is this property located in a historic district? (Check One): YES  NO

**\*If yes, Landmarks Board approval is required. Sixteen (16) colored copies of all requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).**

### APPLICANT:

Name: Nikki Hickman Phone: 314-570-9750  
Address: 700 S. Main St. City, State & Zip: St. Charles, MO 63301  
Email: serendipitygifts@earthlink.net

### SIGN CONTRACTOR:

Name: Signs.com Phone: 1-888-222-4929  
Address: \_\_\_\_\_ City, State & Zip: \_\_\_\_\_  
Email: support@signs.com

### PROPERTY OWNER:

Name: Jeff Lage Phone: 314-329-5191  
Address: 340 N Main St, City, State & Zip: St Charles, MO 63301  
Email: communications@lagerealestate.com

### TYPE OF SIGN(S):

Banner  Window  Frame/Sandwich Board  Hanging  Wall  Monument  Awning  Pole

**SIGN INFORMATION:** Total number of signs being requested? 1

Lineal Frontage of occupant's portion of the building: 22.5 Sign Dimensions 24"x32"

Who is installing the signage? Owner/Tenant  Contractor  Other (Specify) \_\_\_\_\_

Will the sign(s) be illuminated? YES  NO  \*If yes, will new wiring be required? YES  NO

Company name of licensed electrician (if required): \_\_\_\_\_

Date Received Stamp

SIGNATURE OF APPLICANT: Nikki Hickman  
DocuSigned by:

SIGNATURE OF PROPERTY OWNER: Jeffrey Lage  
B80ECE6AC7E747A...

Serendipity Gifts  
700 S. Main Street



24"x32" (Same size as the other one)

Double side metal sign

Hung by black coated chain



**STAFF REPORT  
HANGING & W SIGNS  
1100 NORTH 2<sup>nd</sup> STREET  
PERMIT NO. 2025-4566**

**BY TAYLOR MOORE**

---

**APPLICANTS:** Michael & Cynthia Padella  
Padella Family Trust  
1100 North 2<sup>nd</sup> Street  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 1100 North 2<sup>nd</sup> Street

**ZONING:** FD—Frenchtown District  
FPD—Frenchtown Preservation District

**PROPOSED USE:** Commercial—Frenchtown Event Space

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Built in 1860, the subject property is the 2½-story, Federal style brick building located at 1100 North Second Street in the Frenchtown Preservation District. The applicants are requesting approval of a hanging sign and a wall mounted sign for their business, Frenchtown Event Space. Additionally, the applicant would like to install two window decals on the two front display windows. The hanging sign will be a 36” x 24” (6 s.f.) oval metal sign made and will hang from the parade gallery. The background will be royal blue with a golden trim, and the business name will be in white lettering with a fleur-de-lis above. The wall-mounted sign is approximately 96” x 48” (32 s.f.) and will be of the same design. This sign will be placed on the Lawrence Street side of the building and be located in the same spot as previous business signs. The two window decals are to display the business name in white lettering and be 2’ x 2’ (4 s.f.) respectfully. Attached to this report are photos of the property and signs specs.

**APPLICABLE GUIDELINES**

**SECTION 400.1530: BUILDING MOUNTED SIGNS IN THE SUPERIMPOSED DISTRICTS**

**A. Wall Signs.**

1. Sign Allowances. All uses shall comply with the wall sign allowances listed in [Table Section 400.1530.1](#)

FHD Wall Sign Allowances: 1 per lot or tenant. 1 additional sign for buildings with a rear entry.

2. Number

a. Generally, single-use lots are allowed one (1) wall sign on the wall with the primary

- public entrance.
  - b. Additional Allowance for Rear Entry Signs. One (1) additional sign is permitted on the rear elevation of each building with a public entry at the rear of the building.
3. Sign Area
- a. Generally. The wall sign area allowance is based on the width in linear feet of the wall on which the sign is located, as measured at the foundation of the building.
  - b. Additional Allowance for Rear Entry Signs. The maximum area of the rear elevation sign is fifty percent (50%) of the area allowed on the front. The area of the rear elevation sign counts toward the total sign area for the building.
4. Cumulative Area Allowances in the "HDD" And "FHD" Districts.
- a. Each building in the "HDD" and "FHD" Districts is permitted a cumulative maximum of all wall, projecting, awning and canopy, and window signs of one (1) square foot of sign per linear foot of facade frontage for the building.
  - b. Multiple Frontages. Where a lot has two (2) or more street frontages, the average of the facade width of the facades facing the streets determines the sign allowance under this formula.
5. Design Standards. Wall signs are not allowed above second-story windows.

#### B. Projecting Signs

1. Sign Allowances. All uses in the Superimposed Districts shall comply with the projecting sign allowances listed in [Table Section 400.1530.2](#)  
FHD Project Signs Allowances: 1 included in Wall Sign Area.
2. Number.
  - a. A projecting sign is allowed as a substitute for a wall sign. Projecting signs are not allowed in addition to wall signs.
3. Sign Area for "HDD" And "FHD" Districts. In the "HDD" and "FHD" Districts, the projecting sign area is included in the calculation of the total area allowance for the building provided in Section 400.1530(A)(4).
4. General Design Standards.
  - a. Projecting signs shall not extend more than five (5) feet from the building.
  - b. The lower edge of a projecting sign shall allow clearance of at least eight (8) Feet from grade.
  - c. Projecting signs shall be attached by use of period-appropriate devices. Modern-looking chains, hooks, and other visible devices should be avoided.
  - d. A sign shall be installed in a workmanlike manner and hide from view such fixtures as guy wires, braces, angle irons, cables, nuts and bolts, brackets, mounting plates, conductors, transformers, conduits, raceways, and similar fixtures.

### **ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT**

#### **Chapter VII: Guidelines for Signs**

##### Sign Context

- 7.1 Consider the building front as part of an overall sign program.
  - a. Coordinate the overall façade composition, including ornamental details and signs.
  - b. Signs also should be in proportion to the building such that they do not dominate

the appearance.

- 7.2 A sign must be subordinate to the overall building composition.
- a. A sign shall appear to be in scale with the façade.
  - b. Locate a sign on a building such that it will emphasize design elements of the façade itself. In no case should a sign obscure architecture details or features.
  - c. Mount signs to fit within existing architectural features. Use signs to help reinforce the horizontal lines of moldings and transoms seen along the street.
- 7.3 A sign shall be in character with the material, color and detail of the building.
- a. Simple letter styles and graphic designs are more appropriate on many of the restrained, vernacular structures found on North Second Street.
  - b. Coordination of sign colors with building color scheme is encouraged.

#### Permitted Sign Types

- 7.6 Projecting signs may be considered.
- a. A projecting sign should be located near the business entrance at eye level, just above the door or to the side of it.
  - b. In general, only one projecting sign per building façade is allowed. However, where the Board determines that the result would be compatible with the district, one projecting sign shall be allowed for each distinct façade module of a building.
  - c. Note that other approvals may be required to allow a sign to overhang the public right-of-way.

#### Sign Content

- 7.16 Coordination of sign colors with that of the building is encouraged.

### **STAFF RECOMMENDATION**

The size, design, materials and placement of the proposed hanging sign are acceptable, but any chains or hardware used to hang the sign should be painted black to avoid a modern appearance. In addition, the ordinance requires that the projecting sign clears the sidewalk by at least 8'. The average of the two frontages (North 2<sup>nd</sup> Street and Wood Street) comes out to 39 s.f. cumulative area allowed for signage. Both the projecting and wall signs equal to 38 s.f., which is just 1' below the permitted amount for signage. The two window decals both are 4 s.f., and would surpass the allowed signage for the structure. Staff spoke with the applicant and informed them the two windows signs would not be permitted due to surpassing the cumulative area allowance. Staff suggested minimizing the window decals and utilizing them on the front entryway doors, as signage on entryways does not count towards the total square footage. The applicant agreed with Staff's suggestion and plans to redesign the decals to fit on the entry doors window panes. Therefore, Staff recommends approval of the signs, subject to the following conditions:

1. Chains or hardware used to hang the sign should be painted black.
2. The hanging sign must clear the sidewalk by 8 feet.
3. The windows signs be removed from the design plans.

#### **Recommended Motion:**

**Motion to approve the hanging sign and wall-mounted sign for the Frenchtown Event Space at 1100 North Second Street, subject to the conditions recommended by Staff.**



**Figure 1: Example of the proposed projecting sign.**



**Figure 2: Projecting signs proposed location.**



Figure 3: Proposed wall signs design.



Figure 4: Wall signs proposed location.



**Figure 5: Proposed window signs (not to be utilized in this project due to surpassing allowed signage area).**





# DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303  
St. Charles, MO 63301  
Phone: 636-949-3227  
Fax: 636-949-3557



## SIGN PERMIT APPLICATION

Today's Date: \_\_\_\_\_

Permit #: \_\_\_\_\_

### DOCUMENTS REQUIRED WITH APPLICATION

Two (2) colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
- Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
- Pictures/Dimensions/Location of existing signage on property

**PERMIT FEES:** \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

### SIGN LOCATION:

NAME OF BUSINESS: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\*Is this property located in a historic district? (Check One): YES \_\_\_\_\_ NO \_\_\_\_\_

### APPLICANT:

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_ City, State & Zip: \_\_\_\_\_

Email: \_\_\_\_\_

### SIGN CONTRACTOR:

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_ City, State & Zip: \_\_\_\_\_

Email: \_\_\_\_\_

### PROPERTY OWNER:

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_ City, State & Zip: \_\_\_\_\_

Email: \_\_\_\_\_

### TYPE OF SIGN(S):

Banner  Window  Frame/Sandwich Board  Hanging  Wall  Monument  Awning  Pole

**SIGN INFORMATION:** Total number of signs being requested? \_\_\_\_\_

Lineal Frontage of occupant's portion of the building: \_\_\_\_\_ Sign Dimensions \_\_\_\_\_

Who is installing the signage? Owner/Tenant \_\_\_\_ Contractor \_\_\_\_ Other (Specify) \_\_\_\_\_

Will the sign(s) be illuminated? YES \_\_\_\_ NO \_\_\_\_ \*If yes, will new wiring be required? YES \_\_\_\_ NO \_\_\_\_

Company name of licensed electrician (if required): \_\_\_\_\_

Date Received Stamp

**SIGNATURE OF APPLICANT:** \_\_\_\_\_

**SIGNATURE OF PROPERTY OWNER:** \_\_\_\_\_



South Side View



Front View



THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION.



4101 Mexico Rd., Suite C  
 St. Peters, MO  
 63376  
 (636) 875-7337

Address: \_\_\_\_\_  
**1100 N 2nd St**  
 City: **St Charles**  
 State: **MO**  
 Account Rep: \_\_\_\_\_  
 Sales Rep: \_\_\_\_\_  
 APPROVALS  
 CLIENT \_\_\_\_\_  
 DESIGN \_\_\_\_\_  
 PROD. \_\_\_\_\_  
 Designer: \_\_\_\_\_  
 Design No. \_\_\_\_\_

DATE **08-25-25**  
 Rev. Date: \_\_\_\_\_

DESCRIPTION  
**Site Plan and existing Signage**

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.



Sign will be hung above main entrance door from existing eye hooks with S hooks.



Sign Area 36" x 24" = 6 sq. ft.



THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION.



4101 Mexico Rd., Suite C  
St. Peters, MO  
63376  
(636) 875-7337

Address: \_\_\_\_\_  
**1100 N 2nd St**  
 City: **St Charles**  
 State: **MO**  
 Account Rep: \_\_\_\_\_  
 Sales Rep: \_\_\_\_\_  
 APPROVALS  
 CLIENT \_\_\_\_\_  
 DESIGN \_\_\_\_\_  
 PROD. \_\_\_\_\_  
 Designer: \_\_\_\_\_  
 Design No. \_\_\_\_\_

DATE **08-25-25**  
 Rev. Date: \_\_\_\_\_

DESCRIPTION  
**Front Entrance Sign**

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.

Sign Area 96" x 48" = 32 sq. ft.  
 South Wall 35' x 22' = 770 sq ft



96"W x 48"H 3mm Max Metal (Side Building Sign)



Sign will be hung on existing south brick wall using tapcon wall ancors.

**FAST SIGNS**  
 More than fast. More than signs.

4101 Mexico Rd., Suite C  
 St. Peters, MO  
 63376  
 (636) 875-7337

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION.

--	--

Address: 1100 N 2nd St  
 City: St Charles  
 State: MO  
 Account Rep: \_\_\_\_\_  
 Sales Rep: \_\_\_\_\_  
 APPROVALS  
 CLIENT \_\_\_\_\_  
 DESIGN \_\_\_\_\_  
 PROD. \_\_\_\_\_  
 Designer: \_\_\_\_\_  
 Design No. \_\_\_\_\_

DATE 08-25-25  
 Rev. Date: \_\_\_\_\_

DESCRIPTION  
South Wall Sign

\_\_\_\_\_

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.





**STAFF REPORT  
DORMER ADDITION  
1114 LINDENWOOD STREET  
CASE NO. EC-2025-035**

**BY TAYLOR MOORE**

---

**APPLICANT:** David Capp  
1114 Lindenwood Street  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 1114 Lindenwood Street

**ZONING:** R-1E Single-Family Residential District  
EHP – Extended Historic District

**PROPOSED USE:** Single-family Residence

**MEETING DATE:** July 21, 2025

**BACKGROUND**

Located within the Extended Historic Preservation District. The subject property is the 1½-story, side-gabled, Craftsman bungalow that was constructed in 1921. The applicant is requesting approval to widen the second floor of the dwelling by adding two (2) large dormers to both sides of the gabled roof. A rendering, elevations, and a site plan of the house appear at the end of this report. Additional existing photographs of the home also accompany this application.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT**

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used by the HLPARB shall apply to the review of construction permits under this subsection.

**Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

**3. Building Design**

- a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
- b. Building shall have good scale and be in harmonious conformance with permanent

- neighborhood development.
- c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
  - d. Architectural character
  - e. Attractiveness
  - f. Material selection
  - g. Harmony and compatibility
  - i. Maintenance aspects.

**STAFF RECOMMENDATION**

The proposed project involves the addition of a large dormer on each side of the roof ridge. This is being proposed to provide more usable space on the second floor of the dwelling. The exterior materials of the dormers will match the existing siding and roof materials seen on the dwelling currently. The proposed addition of these two (2) dormers will significantly alter the appearance of the existing front gabled roof form. However, the work will not negatively impact the overall historic character of the dwelling. The dwelling is located within an expanded portion of the Extended Historic District that is unlikely to be surveyed or nominated to the National Register of Historic Places due too much of the surrounding structures being heavily altered. Additionally, even if a future nomination is proposed, the dormers being designed in a compatible manner with the existing structure would not impact the dwellings potential contributing status. The use of like for like material to match the dwelling retains the character-defining features of the structure to provide a harmonious appearance, which complies with the design guidelines. Therefore, Staff recommends approval of the two dormers, as submitted.

**Recommended Motion:**

**Motion to approve the addition of two dormers on the roof of 1114 Lindenwood Street, as submitted.**



**Figure 1: Subject structure seen from Lindenwood Avenue.**



**Figure 2: Rendering showcasing dormer addition.**

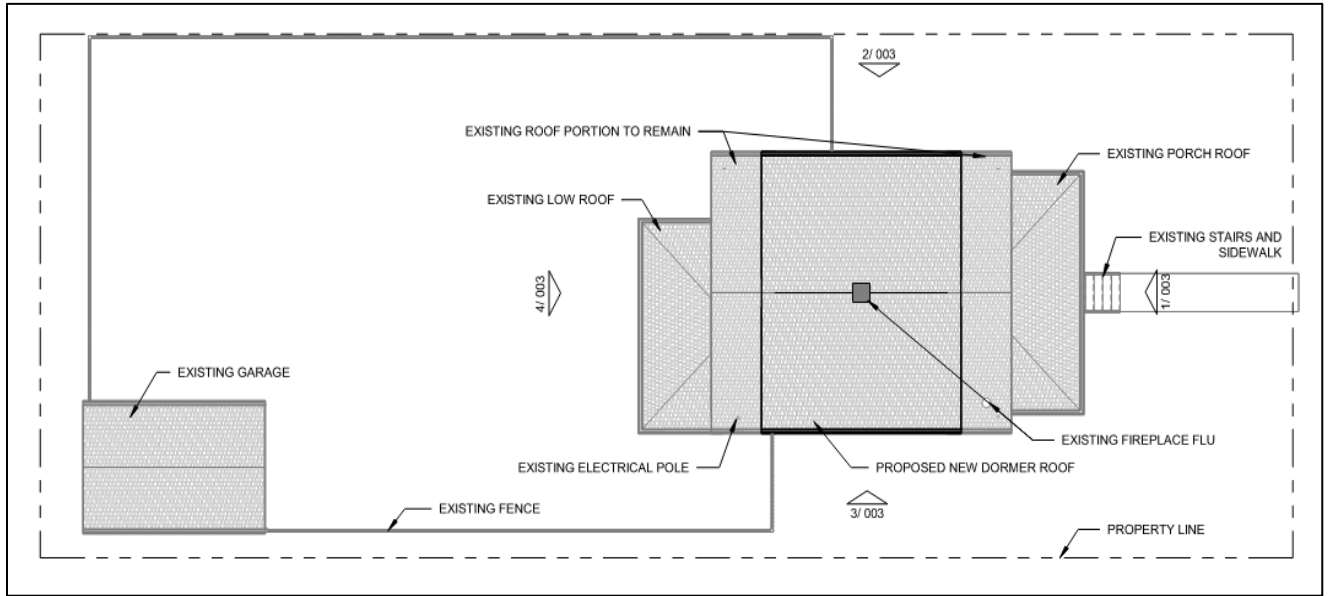


Figure 3: Site plan of subject property.

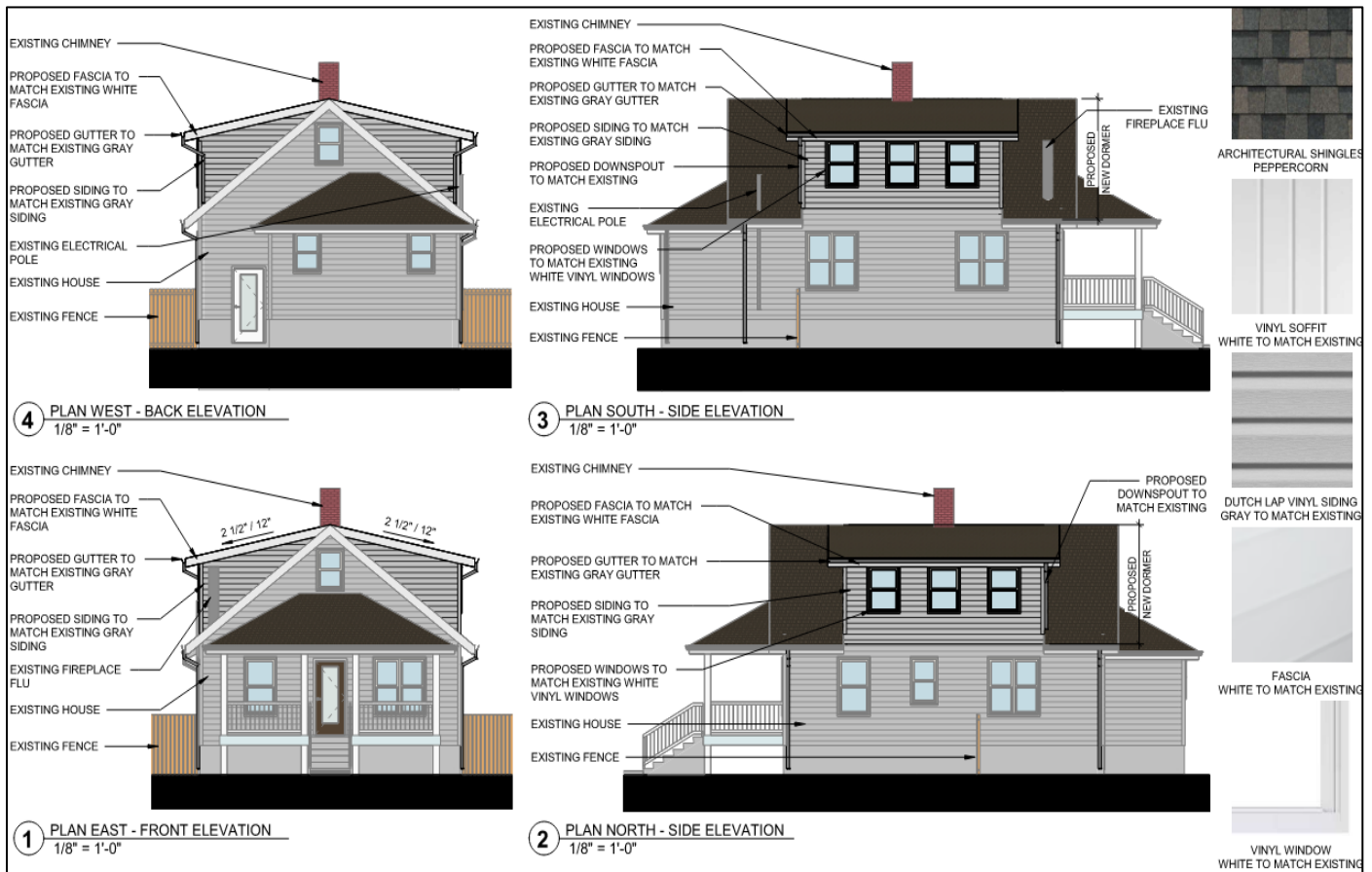


Figure 4: Elevations and material examples.



**Figure 5: Subject property's location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 1114 Lindenwood Ave

**BUSINESS NAME** (if applicable): \_\_\_\_\_

**APPLICANT:**

David Capp

(Name)

1114 Lindenwood Ave

(Address)

314-578-0022

(Phone & Email Address)

**PROPERTY OWNER:**

David Capp

(Name)

1114 Lindenwood Ave

(Address)

314-578-0022

(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

**DATE OF ORIGINAL CONSTRUCTION:** 1921

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Single family residence, bungalow style. Currently has some attice space and home owners would like to add some more usable space.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

- Rehabilitate or restore: \_\_\_\_\_
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: Add a large dormer to each side of roof
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): \_\_\_\_\_
- Other (briefly explain): \_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

The addition of a large dormer on each side of roof ridge to create more usable space. The exterior materials at to match existing house in color, shape and style. The addition of large dormer is in context with surrounding neighbors and the other improvements seen throughout neighboring houses.

**APPLICATION SUBMITTAL:**

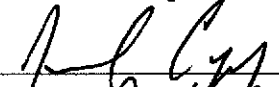
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

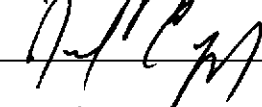
**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

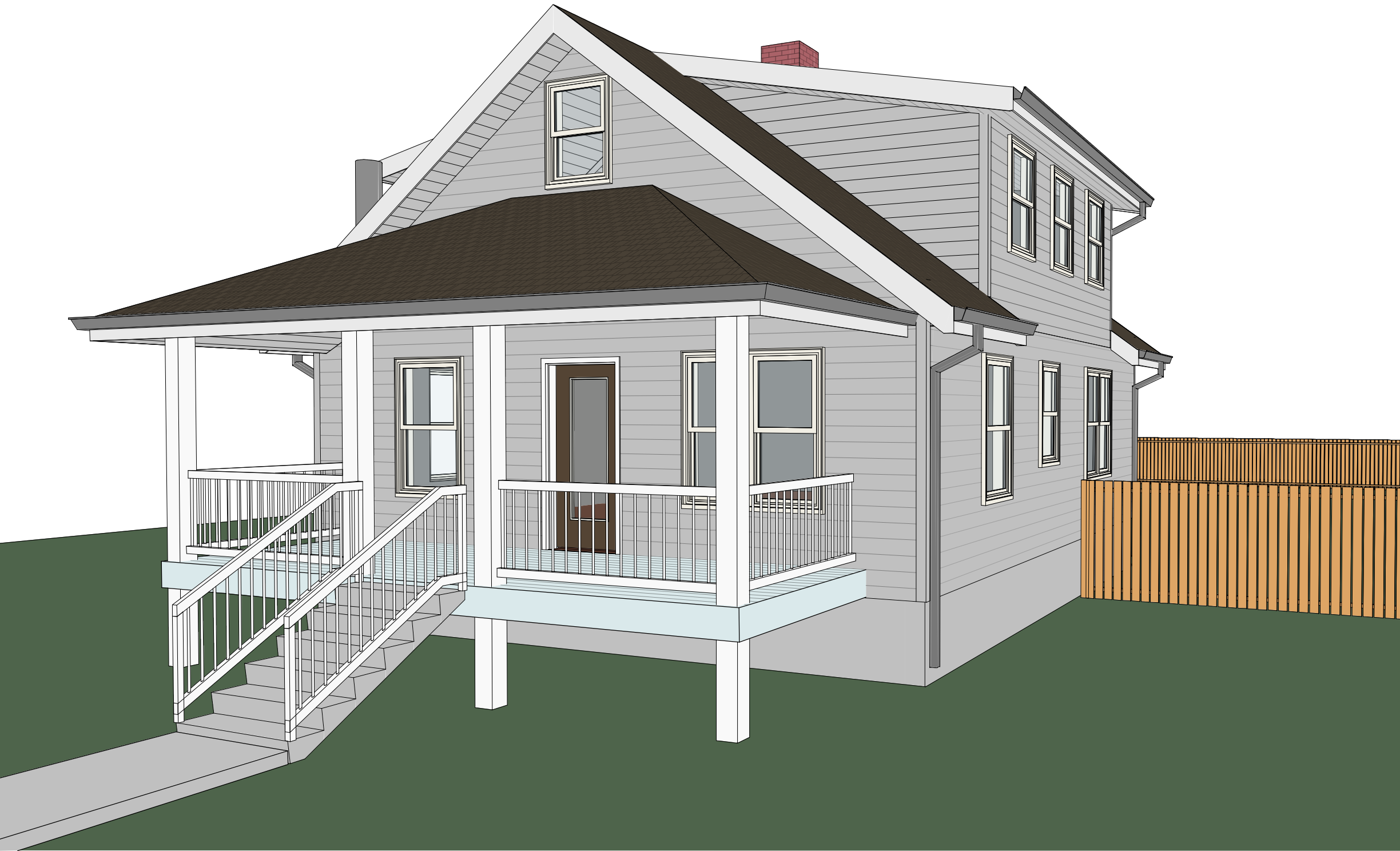
Signature of the applicant:  Date: 6-24-25

Signature of the property owner:  Date: 6-29-25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>
<b>Site Plan (separate application required):</b>	<b>\$200.00</b>



## PROJECT LOCATION

1114 LINDENWOOD AVE.

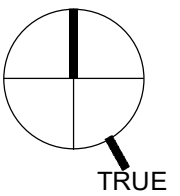
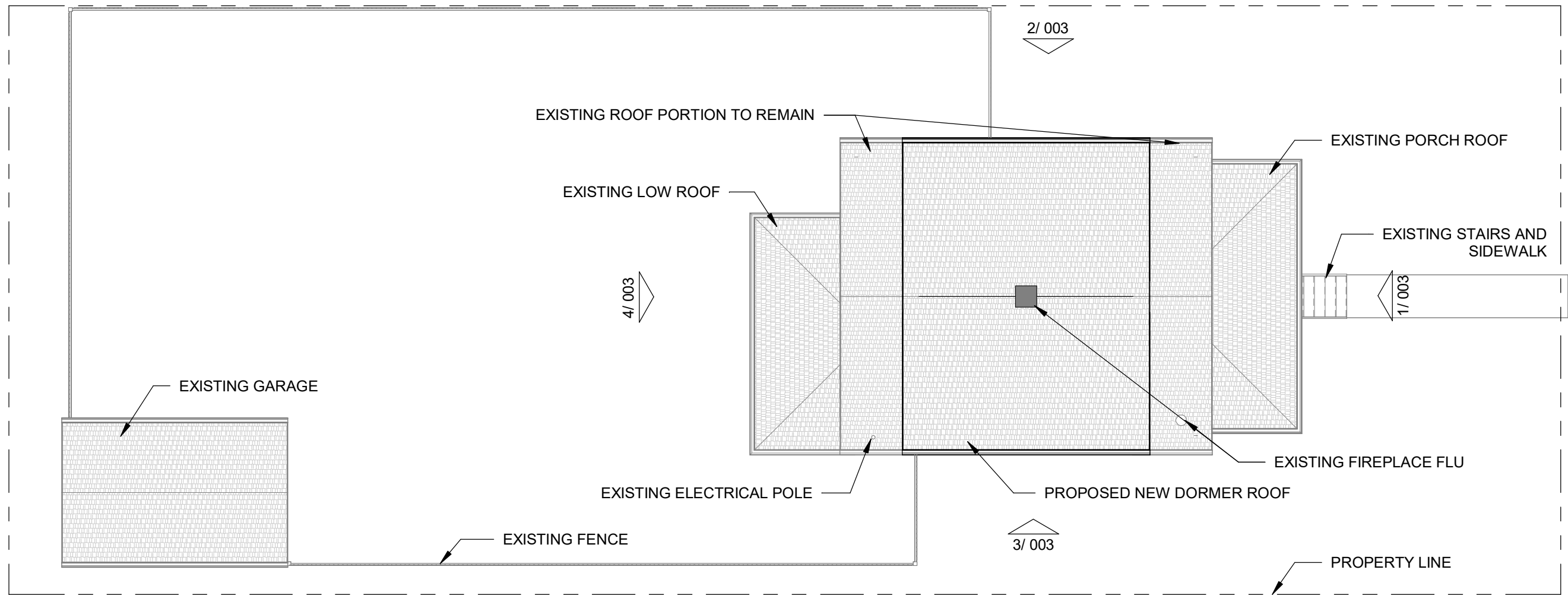
## PROJECT DESCRIPTION

The proposal for adding two dormers to the roof level is to create more usable space on that level. It will also elevate the house design as well continue to fit the context of the neighborhood.

The use of matching existing materials will be implemented. Architectural shingles are going to match the existing roof area. Siding color, size and profile to match existing Dutch lap vinyl siding. New windows to match style and color of existing white vinyl windows with no grills.

## TABLE OF CONTENTS

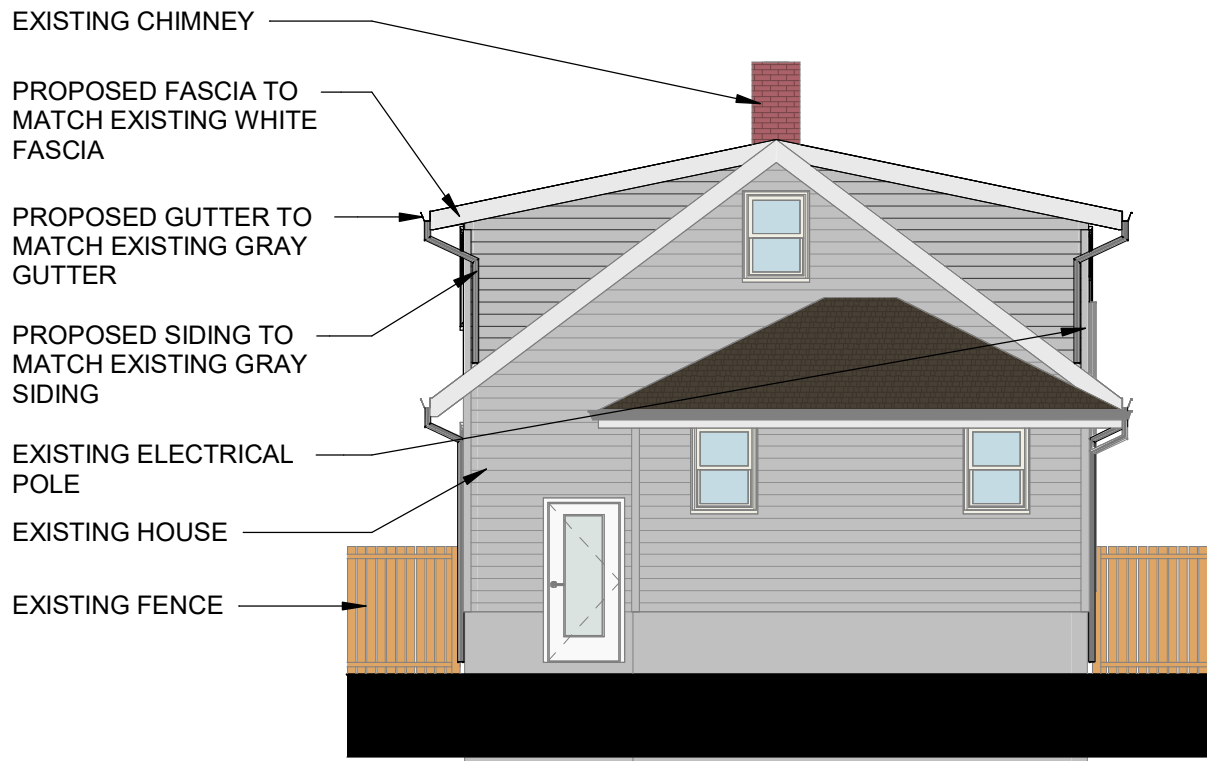
- 001 - OVERALL RENDER AND DESCRIPTION
- 002 - SITE PLAN
- 003 - EXTERIOR ELEVATIONS AND MATERIALS



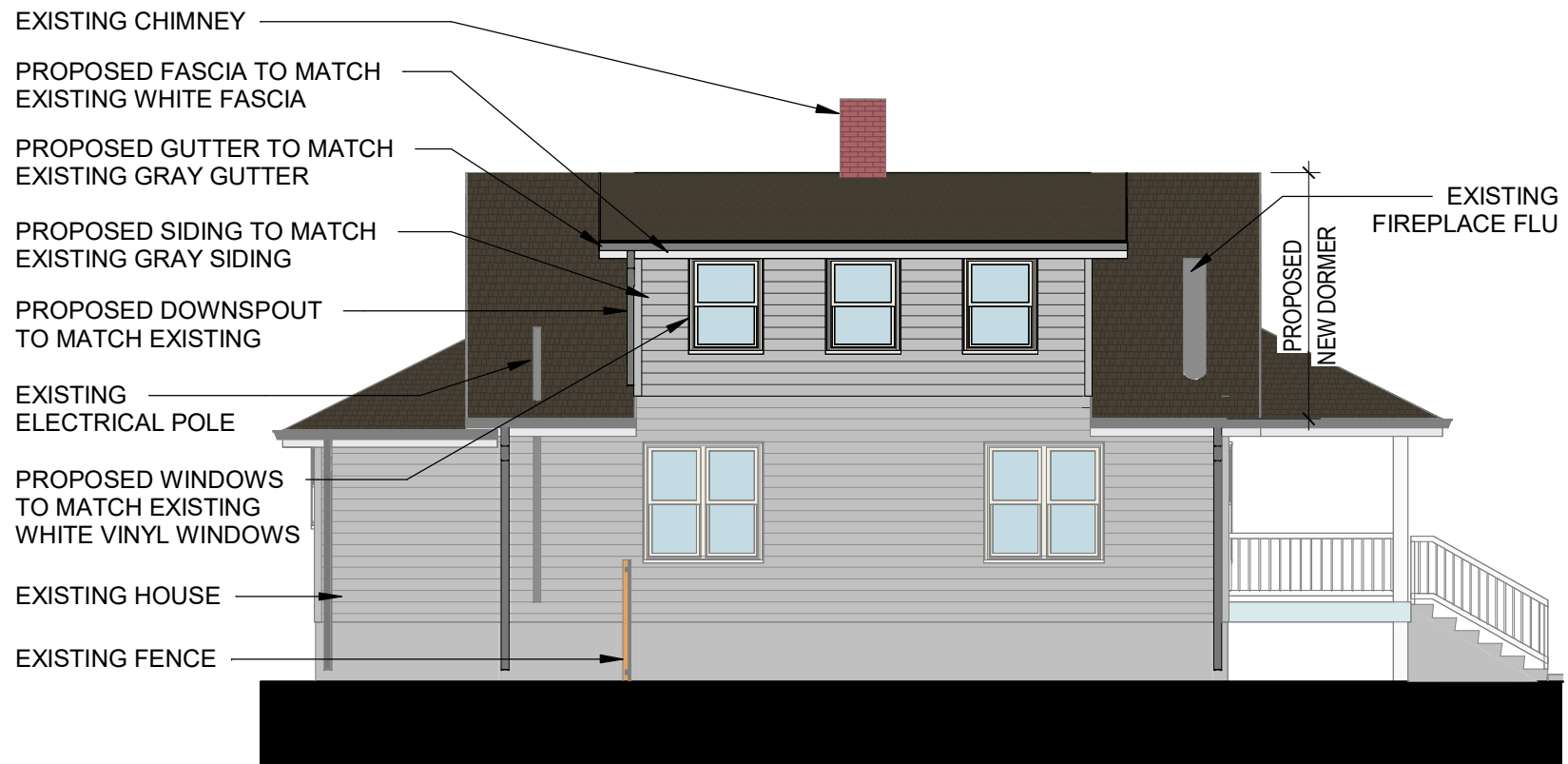
# 002 - SITE PLAN - 1114 LINDENWOOD AVE.

3/32" = 1'-0"

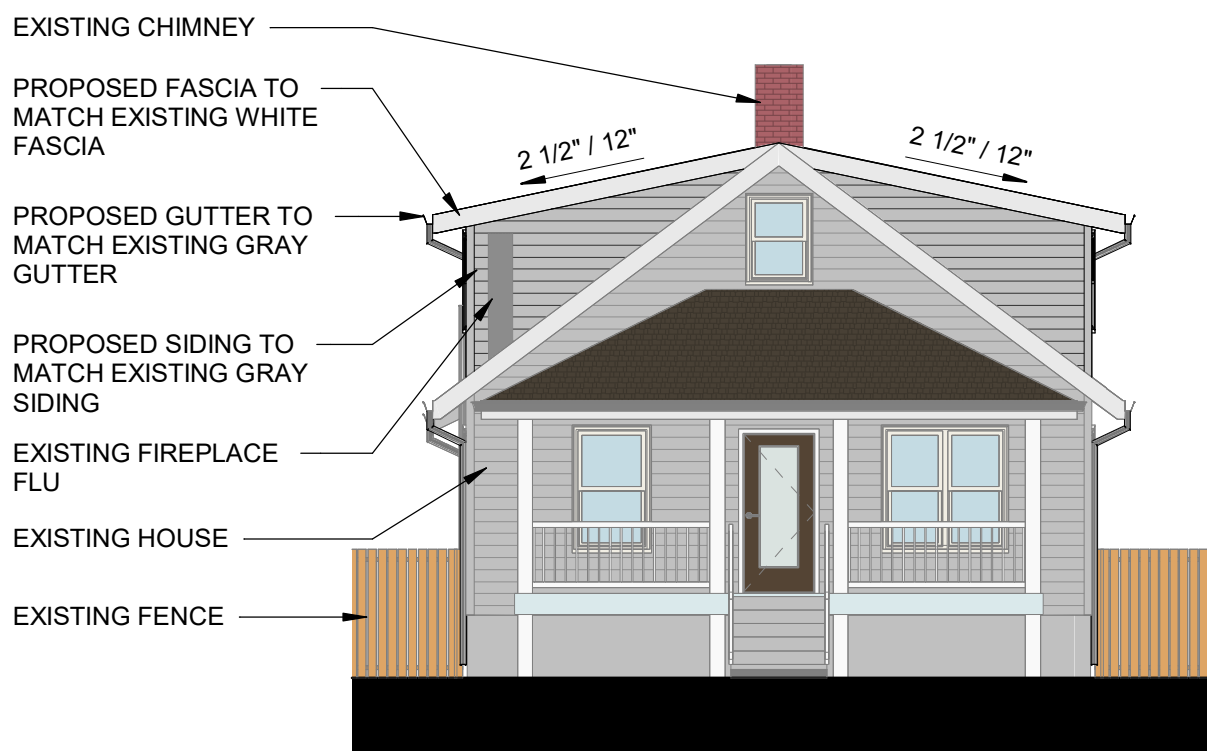
06.16.2025 ▪ 25003.0000



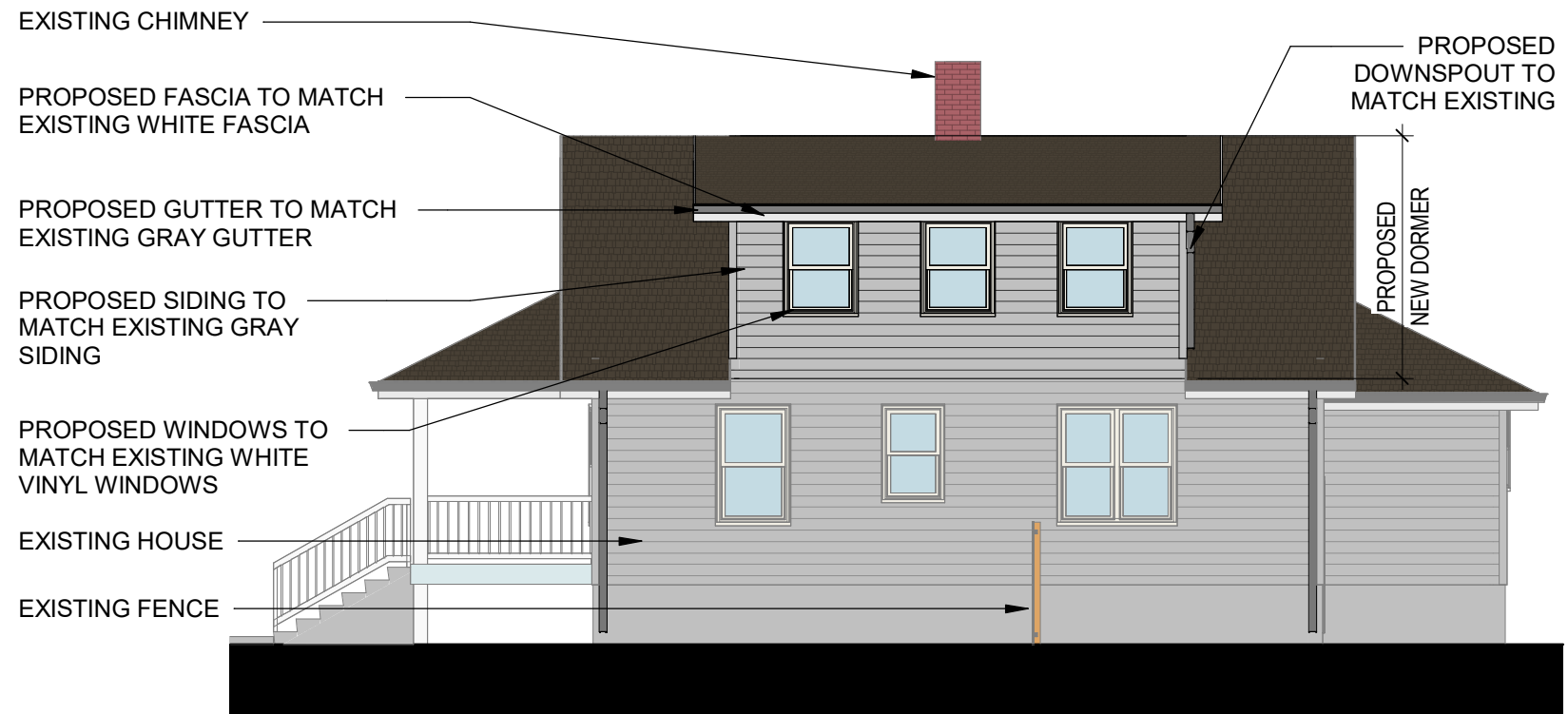
**4** PLAN WEST - BACK ELEVATION  
1/8" = 1'-0"



**3** PLAN SOUTH - SIDE ELEVATION  
1/8" = 1'-0"



**1** PLAN EAST - FRONT ELEVATION  
1/8" = 1'-0"



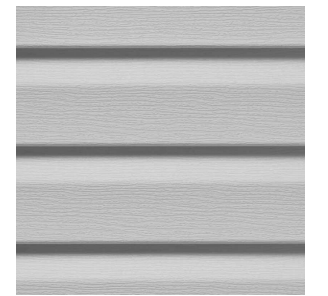
**2** PLAN NORTH - SIDE ELEVATION  
1/8" = 1'-0"



ARCHITECTURAL SHINGLES PEPPERCORN



VINYL SOFFIT WHITE TO MATCH EXISTING



DUTCH LAP VINYL SIDING GRAY TO MATCH EXISTING



FASCIA WHITE TO MATCH EXISTING



VINYL WINDOW WHITE TO MATCH EXISTING

# 003 - PROPOSED ELEVATIONS

1/8" = 1'-0"



**AGENDA ITEM #6B**

**STAFF REPORT  
FRONT DOOR  
700 NORTH THIRD STREET  
CASE NO. EC-2025-048**

**BY TAYLOR MOORE**

---

**APPLICANT:** Brandy Wade  
Midtown Home Improvements  
120 Resource Drive  
Wentzville, MO 63385

**OWNER:** Shelton Flynt & Naomi Miali  
700 North Third Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 700 North Third Street

**ZONING:** R-1E—Single-Family Residential District  
FHP—Frenchtown Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

The subject property is 700 North Third Street, an altered French Second Empire house constructed circa 1870, which is located in the Frenchtown Preservation District. Throughout time the structure has had many alterations, including a 1970's rear addition. The applicant is requesting approval to make changes to the front entryway. The plan calls for removing the existing white paneled door and glass side lites and replace them with a new solid paneled front door and full length side lites. An example of the proposed entryway modification and photographs of the existing doorway accompany with this report.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.360: "FPD" FRENCHTOWN PRESERVATION DISTRICT**

*C. Architectural Review for Contributing Properties.*

2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

**ARCHITECTURAL DESIGN GUIDELINES FOR THE  
FRENCHTOWN PRESERVATION DISTRICT**

**Chapter III: Guidelines for all Historic Properties**

**Doors & Entries**

- 3.34 Important features which merit preservation include the door and its frame, the sill, head, jamb and any flanking windows or transoms.
- 3.35 Door openings shall not be altered without a model example and should be consistent with the time period.
- 3.36 New wood or finished metal doors, which replicate the original doors, or are consistent with the time period may be used.

**STAFF RECOMMENDATION**

The proposal consists solely of replacing the existing front door and associated side lites. The existing white trim and decorative entryway pediment will remain in place, preserving important architectural details. The proposed new door will be a paneled fiberglass door in a ginger tone. While the new design will not include the upper two windows currently present, the replacement side lites will extend the full height of the door, maintaining balance within the entryway. The proposed changes are compatible with the historic character of the home, and the retention of distinctive features, such as the pediment, ensures the overall integrity of the façade is preserved. Therefore, Staff recommended approval of the door replacement, as submitted.

**Recommended Motion:**

**Motion to approve the installation of a new front door at 700 North Third Street, as submitted.**



Figure 1: 700 North 3<sup>rd</sup> Street seen from the street.



Figure 2: Current door on the property.



Figure 3: Proposed new entryway door.



Figure 4: Subject properties location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 700 N 3rd St. 63301

BUSINESS NAME (if applicable): N/A : Residential

**APPLICANT:**

Midtown Home Improvements  
(Name)

120 Resorce Dr Wentzville, mo 63385  
(Address)

(636) 379-8889 bnade@midtownki.com  
(Phone & Email Address)

**PROPERTY OWNER:**

Shelton Flynt + Naomi Miali  
(Name)

700 N 3rd St. 63301  
(Address)

(618) 305-0387 or (618) 534-7967 naomi.miali@gmail.com  
(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1910

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

There is currently a white door with two  
sidelites that have  $\frac{3}{4}$  glass with  
grids

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: \_\_\_\_\_

Demolish or move structure: \_\_\_\_\_

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): Replace door and sidelites  
No change to framing or brick opening

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

We will remove the existing door and sidelites.  
Framing will stay in place. We will then install  
a new door with two sidelites. Exterior  
color is a "Ginger" woodgrain. Sidelites will  
have full length, direct set decorative glass.

## APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via [Landmarks@stcharlescitymo.gov](mailto:Landmarks@stcharlescitymo.gov)). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: \_\_\_\_\_

Date: 8/6/25

Signature of the property owner: \_\_\_\_\_

Date: 8/6/25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

### Application Fees:

Exterior Changes & Demolitions: \$50.00  
Site Plan (separate application required): \$200.00

# YOUR PROFESSIONAL-CLASS PRODUCT

636-379-8889  
130 N Central Dr.  
O'fallon, MO 63366

## Signet Fir Fiberglass Entry Door



OUTSIDE VIEW



INSIDE VIEW

## QUOTE INFORMATION

Job: Flynt/Miali  
Tag: Front Door  
Order #13783204-1  
Qty: 1

## DETAILS

### Signet Single Entry Door in FrameSaver Frame

36" Nominal Width  
80 1/2" Custom Unit Height  
10" Sidelite Width  
Unit Size: 62 9/16" x 80 1/2"  
Frame Depth: 4 9/16"  
Mullion Width Adjustment: 4 1/2"  
2" Standard Brickmold  
Right Hand Inswing - Inside Looking Out

### Entry Door

003C Style Signet Fir Fiberglass Door  
Ginger Inside and Outside

### Sidelites on Both Sides

770 Style Direct Set Sidelite  
Essence Decorative Glass with Zinc Caming (ESZ)  
Glass Privacy Rating 6/10

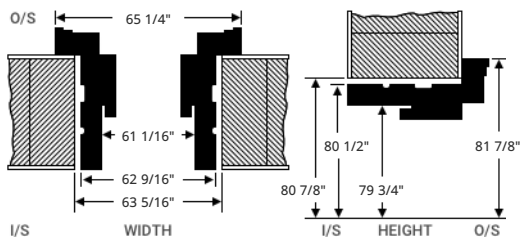
### Hardware

Black Davos Grip Handle with Deadbolt Outside  
Stuttgart Lever Inside (2 3/8" Backset)  
Key Order Alike

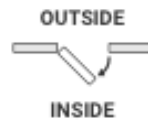
### Frame

Textured Oak Aluminum Frame Cladding - In Separate Box  
Ginger Inside Frame  
Oak Inside Mull Cover - Ginger  
3 Tubes of Oak Caulk  
1 Additional Tube of Clear Caulk  
Bronze ZAC Auto-Adjusting Threshold (5 5/8" Depth)  
Black Ball Bearing Hinges  
4 Hinges  
Installation Kit with Composite Shims  
Security Plate  
Mahogany Quarter Round (1/2" x 3/4") Shoemold - Unfinished

## SIZING



## HANDING



## Installation Instructions



## ENERGY

ENERGY PERFORMANCE RATINGS	
U-Factor (U.S./I-P)	Solar Heat Gain Coefficient
0.15	0.01
ADDITIONAL PERFORMANCE RATINGS	
Visible Transmittance	
0.00	-
Air Infiltration (cfm/ft2)	
<= 0.05	



CPD: PRD-N-87-21569-00001



**AGENDA ITEM #6C**

**STAFF REPORT**  
**WINDOWS**  
**221 NORTH BENTON AVE**  
**CASE NO. EC-2025-049**

**BY TAYLOR MOORE**

---

**APPLICANT:** Midtown Home Improvements  
120 Resource Drive  
Wentzville, MO 63385

**OWNER:** Katheryn Steimel  
221 North Benton Avenue  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 221 North Benton Avenue

**ZONING:** R-1E—Single-Family Residential District  
EHP – Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Built in 1936, the subject property is the 1½-story, brick, front-gabled house at 221 North Benton Avenue. Located in the Extended Historic District, the house is also considered a contributing resource to the Midtown Neighborhood National Historic District. The applicant is proposing to replace nineteen (19) existing windows with white vinyl exterior windows. Currently the house features all six over one window grid patterns, with the exception of the front dormer where windows are not being replaced. The proposal involves retaining this grid pattern on the front façade, but replacing the sides and rear windows with one over one windows. Photographs of the property appear at the end of this report and window specs are attached.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT**

*C. Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

**Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

1. Relationship of Buildings to Site

- d. Without restricting the permissible limits of the application zoning district, the height and scale of each building be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relations of Buildings and Site to Adjoining Area
  - c. Harmony in texture, lines, and masses is required. Monotony shall be avoided.
3. Building Design
  - a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
  - c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
7. Maintenance-Planning and Design Factors
  - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
  - a. Conformance to ordinances and the Appearance Code.
  - b. Logic of design.
  - c. Exterior space utilization.
  - d. Architectural character
  - e. Attractiveness
  - f. Material selection
  - g. Harmony and compatibility
  - i. Maintenance aspects.

#### **STAFF RECOMMENDATION**

The proposed replacement windows will fit within the existing frame openings and will not alter in size. The applicant is proposing to replace only the front façade windows in a like-for-like six over one grid pattern, while the remaining windows will be replaced with one over one units. Typically, windows on all street-visible facades are considered key character-defining features and are expected to be replaced in a like-for-like grid pattern. While the design guidelines for the Extended Historic District do not reference windows specifically, Staff contacted the State Historic Preservation Office (SHPO), who emphasized that retention of the building's fenestration is most crucial when it comes to contributing structures. SHPO indicated that the change in grid pattern would not impact the contributing status of the property as long as the openings and arrangement of the widows is retained. From a historic preservation standpoint, Staff believes the six over one

grid pattern should be retained on all street visible facades. Staff recommends a condition that all street-visible windows be replaced in a like-for-like grid pattern to retain the six over one appearance. However, given SHPO's guidance, the Board may determine that the applicant's proposal to limit six over one replacement to the front façade only is acceptable. Therefore, Staff finds the replacement of the windows to be acceptable and recommends approval, subject to the following condition:

1. The six over one grid pattern should be retained on all street-visible facades.

**Recommended Motion:**

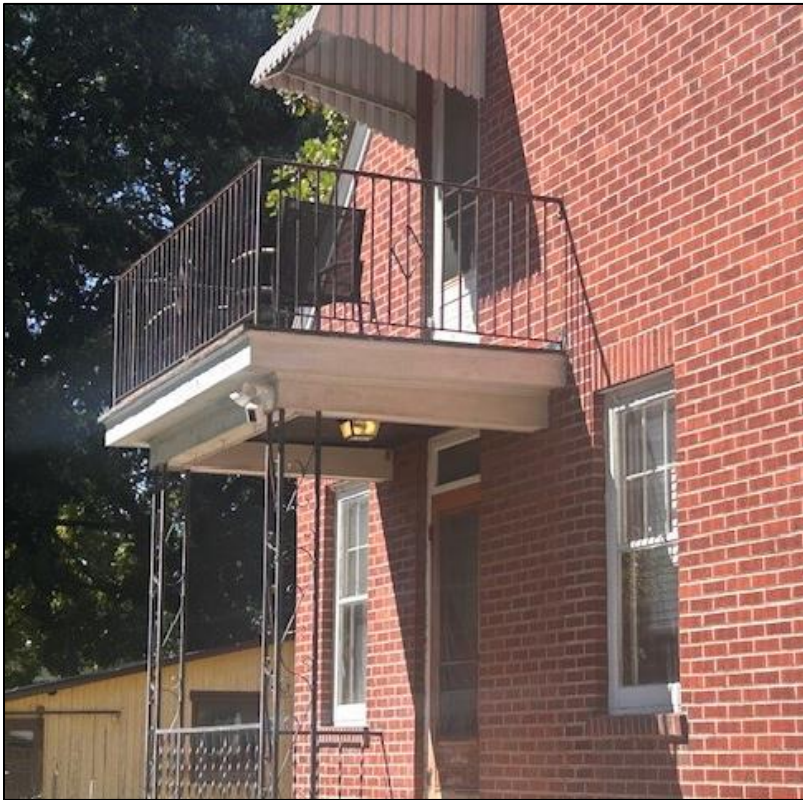
**Motion to approve the replacement of 19 windows on the dwelling at 221 North Benton Avenue, subject to the condition recommended by Staff.**



**Figure 1: Front façade of the dwelling at 221 North Benton Avenue.**



**Figure 2: North façade windows as seen currently.**



**Figure 3: South façade windows as seen currently.**



**Figure 4: Rear façade currently.**

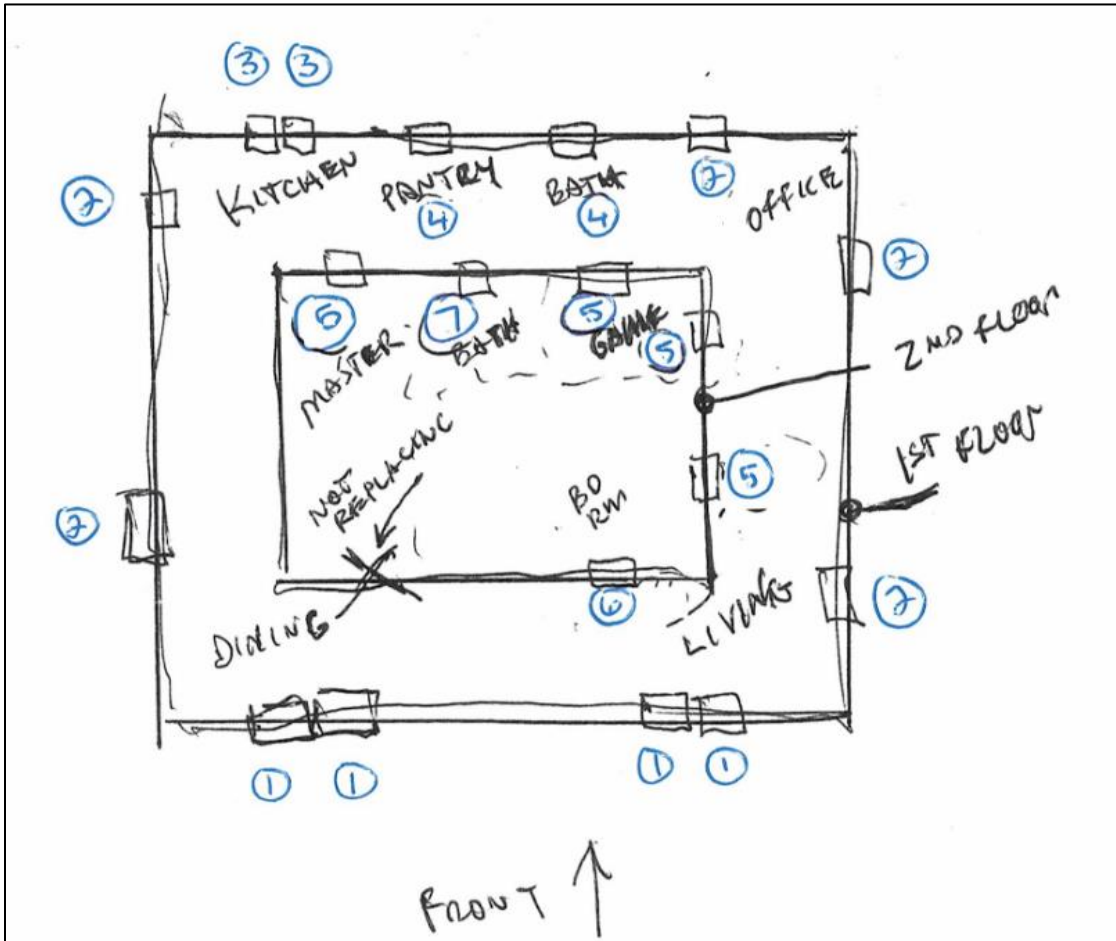


Figure 5: Proposed window replacement locations (all window specs attached)/



Figure 6: Example of front façade window replacement.



**Figure 7: Subject property's location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 221 N Benton Ave 63301

BUSINESS NAME (if applicable): NA: Residential

APPLICANT:  
Midtown Home Improvements  
(Name)

120 Resource Dr Wentzville, MO 63385  
(Address)

(636) 379-8889 bwade@midtownhi.com  
(Phone & Email Address)

PROPERTY OWNER:  
Kathryn Steimel  
(Name)

221 N. Benton Ave 63301  
(Address)

(636) 541-9837 kitsteimel@yahoo.com  
(Phone & Email Address)

#### HISTORIC DISTRICT LOCATION:

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1936

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

There are currently white windows  
with grids

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: \_\_\_\_\_

Demolish or move structure: \_\_\_\_\_

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): We are replacing the windows  
with white windows. No  
change to framing or brick openings

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

We will remove the existing windows.  
Framing will stay in place. We will then  
install new vinyl windows. Windows will  
be white inside and out. 5 windows facing  
the front will have grids.

## APPLICATION SUBMITTAL:

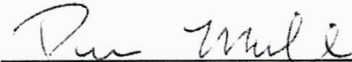
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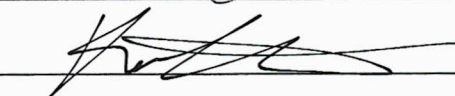
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2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
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  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 8/19/25

Signature of the property owner: 

Date: 8/19/25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

### Application Fees:

**Exterior Changes & Demolitions: \$50.00**  
**Site Plan (separate application required): \$200.00**

120 Resource Dr  
 Wentzville, MO 63385  
 PH: 6363798889  
 FX: 6363798990



**ORDER:** 525607  
**ORDER DATE:** 8/19/2025  
**ORDER CONTACT:**


## QUOTE

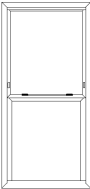
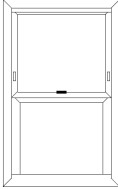
### INVOICE INFORMATION

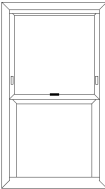
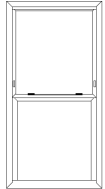
Midtown Home Improvements, Inc.  
 4118 N. Service Rd.  
 St. Peters, MO 63376  
 PH: 636-928-7700

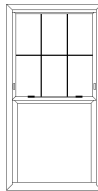
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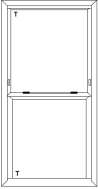
Midtown Home Improvements, Inc.  
 18 W. Industrial Dr.  
 O'Fallon, MO 63366

ORDER	ORDER DATE	PO NUMBER	CUSTOMER REF		TERMS	
525607	8/19/2025	12722-01 (S) Steimel	Steimel			
ITEM	DESCRIPTION	QTY	SIZE	PRICE	TOTAL	IMAGE (OSLI)
1	Pinnacle Double Hung	4	29 1/4 W X 61 1/8 H			
	<b>BASICS</b>					
	EXACT MAKE SIZE (TIP TO TIP): 29.25 x 61.13					
	ROUGH OPENING SIZE: 29.75 x 61.63					
	COLOR: WHITE					
	SCREEN: FIBER GLASS					
	SCREEN: HALF ROLLFORM SCREEN					
	SLIM SASH					
	NO NAIL FIN					
	<b>GLASS/GRIDS</b>					
	TRIPLE 366 LOW-E-NEAT/ CLEAR/ 270 LOW-E					
	TOP GRID: FLAT 5/8" COLONIAL=[2V1H]					
	<b>WINDOW OPTIONS</b>					
	FOAM IN FRAME					
	FOAM IN FRAME AND SASH (WHEN ALLOWED)					
	INSTALL HOLES AND SCREW PACKAGE					
	LIFETIME GLASS WARRANTY					
	REINFORCE SASH 4 SIDES					
	SASH VENTS					
	<b>RATINGS</b>					
	ENERGY STAR NORTH CENTRAL (270/i89)					
	NFRC LABELS					
	U-Factor: 0.21 SHGC: 0.17 Visible Light: 0.34 (Estimates)					
	Egress : NO, 24.2 x 25.06 (4.21 Sqft)					

ORDER	ORDER DATE	PO NUMBER	CUSTOMER REF			TERMS
525607	8/19/2025	12722-01 (S) Steimel	Steimel			
ITEM	DESCRIPTION	QTY	SIZE	PRICE	TOTAL	IMAGE (OSLI)
2	Pinnacle Double Hung	5	29 1/4 W X 61 1/8 H			
	<b>BASICS</b>					
	EXACT MAKE SIZE (TIP TO TIP): 29.25 x 61.13					
	ROUGH OPENING SIZE: 29.75 x 61.63					
	COLOR: WHITE					
	SCREEN: FIBER GLASS					
	SCREEN: HALF ROLLFORM SCREEN					
	SLIM SASH					
	NO NAIL FIN					
	<b>GLASS/GRIDS</b>					
	TRIPLE 366 LOW-E-NEAT/ CLEAR/ 270 LOW-E					
	<b>WINDOW OPTIONS</b>					
	FOAM IN FRAME					
	FOAM IN FRAME AND SASH (WHEN ALLOWED)					
	INSTALL HOLES AND SCREW PACKAGE					
	LIFETIME GLASS WARRANTY					
	REINFORCE SASH 4 SIDES					
	SASH VENTS					
	<b>RATINGS</b>					
	ENERGY STAR NORTH CENTRAL (270/i89)					
	NFRC LABELS					
	U-Factor: 0.21 SHGC: 0.19 Visible Light: 0.38 (Estimates)					
	Egress : NO, 24.2 x 25.06 (4.21 Sqft)					
3	Pinnacle Double Hung	2	23 1/4 W X 37 1/8 H			
	<b>BASICS</b>					
	EXACT MAKE SIZE (TIP TO TIP): 23.25 x 37.13					
	ROUGH OPENING SIZE: 23.75 x 37.63					
	COLOR: WHITE					
	SCREEN: FIBER GLASS					
	SCREEN: HALF ROLLFORM SCREEN					
	SLIM SASH					
	NO NAIL FIN					
	<b>GLASS/GRIDS</b>					
	TRIPLE 366 LOW-E-NEAT/ CLEAR/ 270 LOW-E					
	<b>WINDOW OPTIONS</b>					
	FOAM IN FRAME					
	FOAM IN FRAME AND SASH (WHEN ALLOWED)					
	INSTALL HOLES AND SCREW PACKAGE					
	LIFETIME GLASS WARRANTY					
	REINFORCE SASH 4 SIDES					
	SASH VENTS					
	<b>RATINGS</b>					
	ENERGY STAR NORTH CENTRAL (270/i89)					
	NFRC LABELS					
	U-Factor: 0.21 SHGC: 0.19 Visible Light: 0.38 (Estimates)					
	Egress : NO, 18.2 x 13.06 (1.65 Sqft)					

ORDER	ORDER DATE	PO NUMBER	CUSTOMER REF		TERMS	
525607	8/19/2025	12722-01 (S) Steimel	Steimel			
ITEM	DESCRIPTION	QTY	SIZE	PRICE	TOTAL	IMAGE (OSLI)
4	Pinnacle Double Hung	2	23 1/4 W X 41 1/8 H			
	<b>BASICS</b>					
	EXACT MAKE SIZE (TIP TO TIP): 23.25 x 41.13					
	ROUGH OPENING SIZE: 23.75 x 41.63					
	COLOR: WHITE					
	SCREEN: FIBER GLASS					
	SCREEN: HALF ROLLFORM SCREEN					
	SLIM SASH					
	NO NAIL FIN					
	<b>GLASS/GRIDS</b>					
	TRIPLE 366 LOW-E-NEAT/ CLEAR/ 270 LOW-E					
	<b>WINDOW OPTIONS</b>					
	FOAM IN FRAME					
	FOAM IN FRAME AND SASH (WHEN ALLOWED)					
	INSTALL HOLES AND SCREW PACKAGE					
	LIFETIME GLASS WARRANTY					
	REINFORCE SASH 4 SIDES					
	SASH VENTS					
	<b>RATINGS</b>					
	ENERGY STAR NORTH CENTRAL (270/i89)					
	NFRC LABELS					
	U-Factor: 0.21 SHGC: 0.19 Visible Light: 0.38 (Estimates)					
	Egress : NO, 18.2 x 15.06 (1.9 Sqft)					
5	Pinnacle Double Hung	4	29 1/4 W X 57 1/8 H			
	<b>BASICS</b>					
	EXACT MAKE SIZE (TIP TO TIP): 29.25 x 57.13					
	ROUGH OPENING SIZE: 29.75 x 57.63					
	COLOR: WHITE					
	SCREEN: FIBER GLASS					
	SCREEN: HALF ROLLFORM SCREEN					
	SLIM SASH					
	NO NAIL FIN					
	<b>GLASS/GRIDS</b>					
	TRIPLE 366 LOW-E-NEAT/ CLEAR/ 270 LOW-E					
	<b>WINDOW OPTIONS</b>					
	FOAM IN FRAME					
	FOAM IN FRAME AND SASH (WHEN ALLOWED)					
	INSTALL HOLES AND SCREW PACKAGE					
	LIFETIME GLASS WARRANTY					
	REINFORCE SASH 4 SIDES					
	SASH VENTS					
	<b>RATINGS</b>					
	ENERGY STAR NORTH CENTRAL (270/i89)					
	NFRC LABELS					
	U-Factor: 0.21 SHGC: 0.19 Visible Light: 0.38 (Estimates)					
	Egress : NO, 24.2 x 23.06 (3.88 Sqft)					

ORDER	ORDER DATE	PO NUMBER	CUSTOMER REF			TERMS
525607	8/19/2025	12722-01 (S) Steimel	Steimel			
ITEM	DESCRIPTION	QTY	SIZE	PRICE	TOTAL	IMAGE (OSLI)
6	Pinnacle Double Hung	1	29 1/4 W X 57 1/8 H			
	<b>BASICS</b>					
	EXACT MAKE SIZE (TIP TO TIP): 29.25 x 57.13					
	ROUGH OPENING SIZE: 29.75 x 57.63					
	COLOR: WHITE					
	SCREEN: FIBER GLASS					
	SCREEN: HALF ROLLFORM SCREEN					
	SLIM SASH					
	NO NAIL FIN					
	<b>GLASS/GRIDS</b>					
	TRIPLE 366 LOW-E-NEAT/ CLEAR/ 270 LOW-E					
	TOP GRID: FLAT 5/8" COLONIAL=[2V1H]					
	<b>WINDOW OPTIONS</b>					
	FOAM IN FRAME					
	FOAM IN FRAME AND SASH (WHEN ALLOWED)					
	INSTALL HOLES AND SCREW PACKAGE					
	LIFETIME GLASS WARRANTY					
	REINFORCE SASH 4 SIDES					
	SASH VENTS					
	<b>RATINGS</b>					
	ENERGY STAR NORTH CENTRAL (270/i89)					
	NFRC LABELS					
	U-Factor: 0.21 SHGC: 0.17 Visible Light: 0.34 (Estimates)					
	Egress : NO, 24.2 x 23.06 (3.88 Sqft)					

ORDER	ORDER DATE	PO NUMBER	CUSTOMER REF	TERMS		
525607	8/19/2025	12722-01 (S) Steimel	Steimel			
ITEM	DESCRIPTION	QTY	SIZE	PRICE	TOTAL	IMAGE (OSLI)
7	Pinnacle Double Hung	1	29 1/4 W X 57 1/8 H			
<b>BASICS</b>						
EXACT MAKE SIZE (TIP TO TIP): 29.25 x 57.13						
ROUGH OPENING SIZE: 29.75 x 57.63						
COLOR: WHITE						
SCREEN: FIBER GLASS						
SCREEN: HALF ROLLFORM SCREEN						
SLIM SASH						
NO NAIL FIN						
<b>GLASS/GRIDS</b>						
TEMPERED TRIPLE 366 LOWE-E-NEAT / CLEAR / 270 LOW-						
<b>WINDOW OPTIONS</b>						
FOAM IN FRAME						
FOAM IN FRAME AND SASH (WHEN ALLOWED)						
INSTALL HOLES AND SCREW PACKAGE						
LIFETIME GLASS WARRANTY						
REINFORCE SASH 4 SIDES						
SASH VENTS						
<b>RATINGS</b>						
ENERGY STAR NORTH CENTRAL (270/i89)						
NFRC LABELS						
U-Factor: 0.21 SHGC: 0.19 Visible Light: 0.38 (Estimates)						
Egress : NO, 24.2 x 23.06 (3.88 Sqft)						

Order Summary	Quantity
Pinnacle Double Hung	19
<b>Total Ordered Items</b>	<b>19</b>

**SUBTOTAL:**

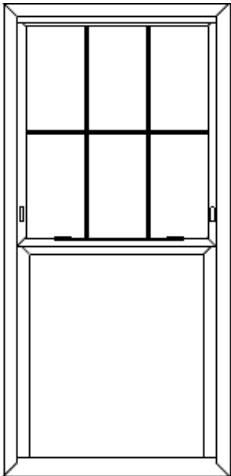
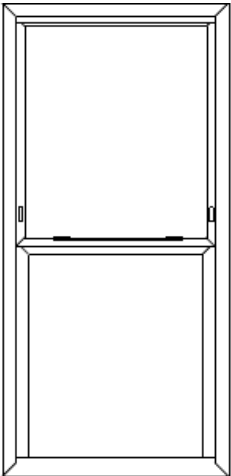
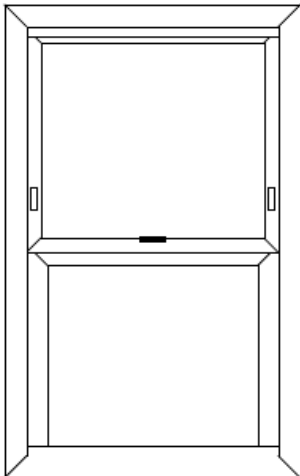
**TOTAL:**

The drawings are viewed from the Outside Looking In (OSLI). If you have questions, please call your customer service representative.

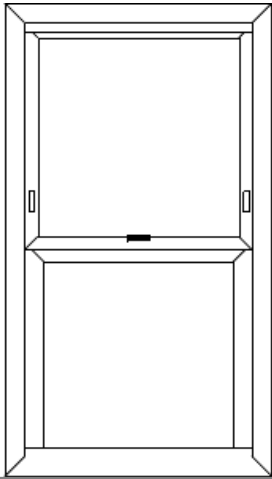
Quotes Expire after 30 days

**COMMENT:**

**Drawings - Order: 525607**

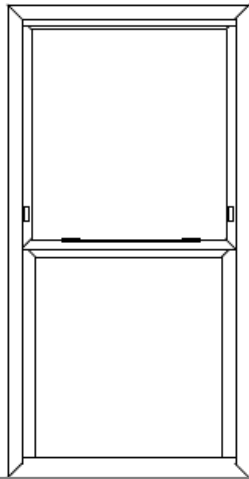
ITEM 1	ITEM 2	ITEM 3
		
Pinnacle Double Hung 29 1/4 W X 61 1/8 H QTY: 4	Pinnacle Double Hung 29 1/4 W X 61 1/8 H QTY: 5	Pinnacle Double Hung 23 1/4 W X 37 1/8 H QTY: 2

**ITEM 4**



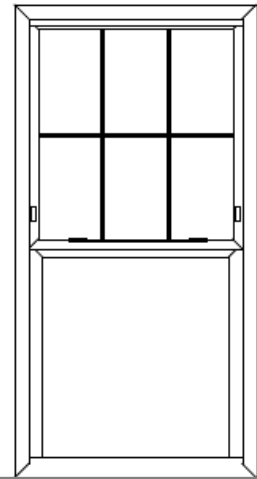
Pinnacle Double Hung  
23 1/4 W X 41 1/8 H  
QTY: 2

**ITEM 5**



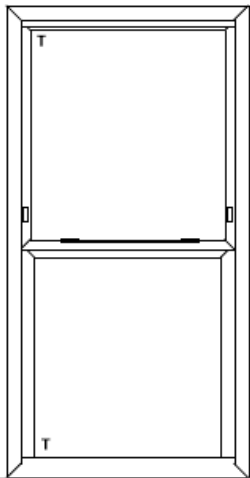
Pinnacle Double Hung  
29 1/4 W X 57 1/8 H  
QTY: 4

**ITEM 6**



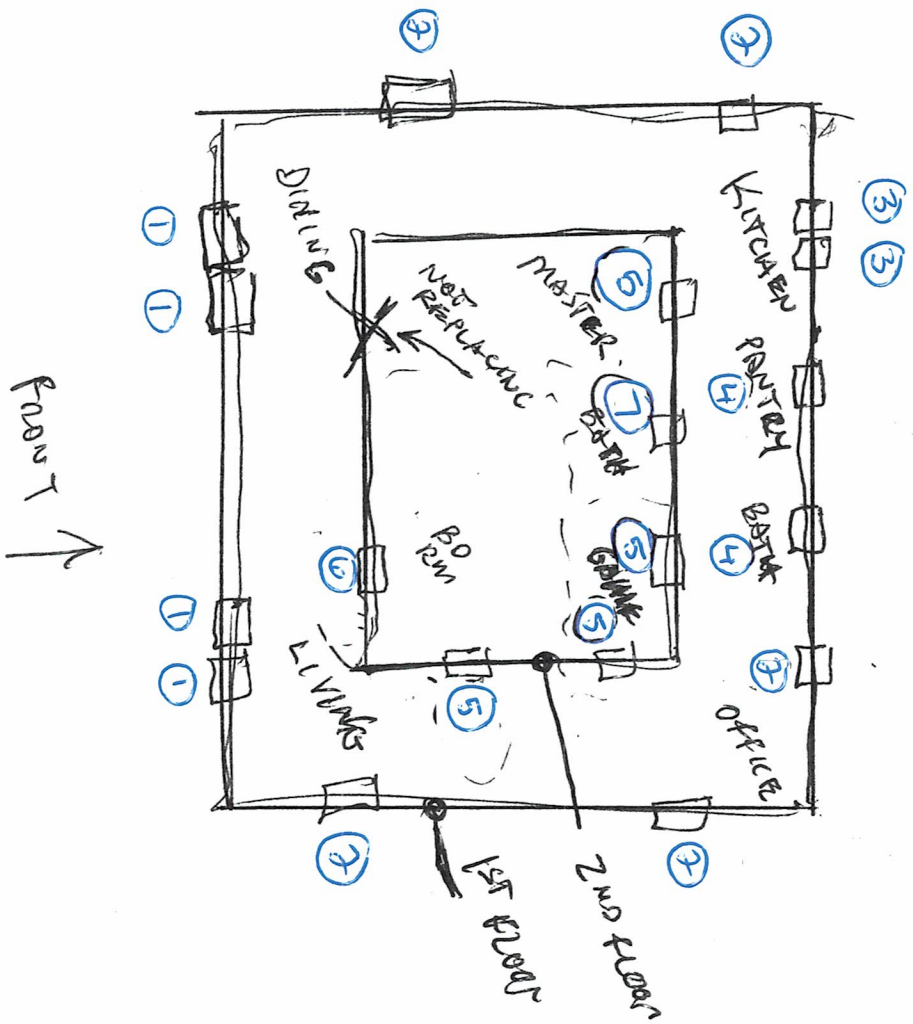
Pinnacle Double Hung  
29 1/4 W X 57 1/8 H  
QTY: 1

**ITEM 7**



Pinnacle Double Hung  
29 1/4 W X 57 1/8 H  
QTY: 1

221 N. BENTON AVE





**STAFF REPORT  
WINDOW OPENING COVERS  
301 TECUMSEH STREET  
CASE NO. EC-2025-050**

**BY TAYLOR MOORE**

---

**APPLICANT:** St. Louis Bow Hunters  
Joe Redding  
301 Tecumseh Street  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 301 Tecumseh Street

**ZONING:** FD – Frenchtown District  
EHP – Extended Historic Preservation District

**USE:** Commercial – Archery Range

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Located in the Extended Historic Preservation District, the subject property is the 1-story, front gabled brick building with a stepped parapet along the front facade. Built in 1923, the structure features a utilitarian design with limited exterior ornamentation. The property has operated as an indoor archery range since 1996, and to accommodate this use, the majority of the windows have been blocked off by interior walls. The windows have been non-functioning for nearly thirty years, and as result have experienced significant deterioration. The applicant is requesting approval to remove the windows, construct a wood frame within each opening to provide insulation, and to cover the openings with Hardie Board siding. Attached to this report are both exterior and interior photos of the property and the locations of the subject windows being covered.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT**

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

## **REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

### **Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

#### **3. Building Design**

##### **c. Materials**

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
- (3) Materials shall be of durable quality.

##### **e. Colors shall be harmonious and shall use only compatible accents.**

#### **7. Maintenance-Planning and Design Factors**

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

#### **8. Factors for Evaluation**

- a. Conformance to ordinances and the Appearance Code.
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

### **STAFF RECOMMENDATION**

The proposal entails covering all windows on the property except two (2) that currently are still utilized. While preservation standards generally discourage the infilling of original window openings, the proposal to cover window openings with Hardie Board siding will not result in the loss of the fenestration pattern of the structure. The window openings locations will remain visible, allowing the building's historic rhythm of openings to be seen from the exterior. This approach maintains the buildings original design, even as the windows themselves no longer serve a functional purpose due to the archery range use. Hardie Board is a durable material that will provide long-term stability and will be visually distinguishable from the historic brick façade. By allowing the outline of window openings to remain, the project balances the operational needs of the building with preservation guidelines and retaining character-defining features.

Furthermore, the building itself has undergone a number a number of exterior alterations over time. The front façade features a stepped parapet that is completely covered in siding, as well as a front porch that has been enclosed with siding. Due to these changes, the structure would likely not be considered a contributing resource if this portion of the Extended Historic Preservation District were to be formally surveyed for historic designation. Therefore, Staff recommends approval of the window coverings, as submitted.

**Recommended Motion:**

**Motion to approve the enclosure of windows with Hardie Board siding at 301 Tecumseh Street, as submitted.**



**Figure 2: East façade windows to be covered shown with red dot, green to remain.**



**Figure 3: West façade windows to be covered shown with red dot, green to remain.**



**Figure 4: Example of existing v. proposed window opening.**



**Figure 5: Interior photo showcasing windows covered by interior wall.**



Figure 6: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 301 Tecumseh St St. Charles MO

BUSINESS NAME (if applicable): St. Louis Bow Hunters Archery Club

APPLICANT: Joe Redding - St. Louis Bow Hunters  
(Name)

301 Tecumseh St St. Charles MO 63301  
(Address)

no phone - stlbowhunters@gmail.com  
(Phone & Email Address)

PROPERTY OWNER: St. Louis Bow Hunters Archery Club  
(Name)

301 Tecumseh St  
(Address)

no phone - email: stlbowhunters@gmail.com  
(Phone & Email Address)

#### HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1923 ?

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Active indoor archery range with ~60  
members. Currently the practice facility for  
the Lindenwood Archery team. Disabled Athlete  
Sports Association also uses our range for their  
archery program.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: repair/replace all windows

Construct a new structure: \_\_\_\_\_

Demolish or move structure: \_\_\_\_\_

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): \_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

The current wood frame windows are decaying. The  
windows have a wall on the inside that has insulation behind it.  
The windows provide no light and just increase our energy  
usage. We would like to remove windows, install a wood frame,  
insulate, and install a piece of hardie board type material  
to close in. That board/siding would be caulked and painted  
to a color similar to the mortar joints. We would  
like to do this on all windows except the two at  
the front of the building that actually let light in.

**APPLICATION SUBMITTAL:**

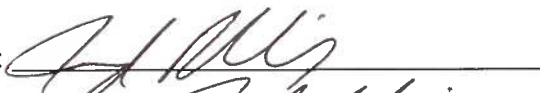
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via [Landmarks@stcharlescitymo.gov](mailto:Landmarks@stcharlescitymo.gov)). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 8/12/25

Signature of the property owner:  Date: \_\_\_\_\_

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>
<b>Site Plan (separate application required):</b>	<b>\$200.00</b>









**AGENDA ITEM #6E**

**STAFF REPORT  
FRONT PORCH  
729 CLARK STREET  
CASE NO. EC-2025-054**

**BY TAYLOR MOORE**

---

**APPLICANT:** Ryan & Emily Wetzel  
729 Clark Street  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 729 Clark Street

**ZONING:** R-1E—Single-Family Residential District  
EHP—Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

The subject property is 729 Clark Street, which is located in the Extended Historic Preservation District. The 2-story brick house with flat parapetted roof was built in 1900, and is considered a non-contributing resource to the Midtown Neighborhood Historic District due to additions. The applicant is requesting approval to restore the front porch floor boards and railing, while also reconfiguring the porch steps. The applicant is also receiving a Façade Grant from the City for the proposed project, which requires Landmarks Board approval before work can begin. Elevation sketches and photographs of the property accompany the application.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT**

(C) *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

**Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

**3. Building Design**

- b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
- c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
  - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
  - (3) Materials shall be of durable quality.
  - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
  - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
  - b. Logic of design.
  - c. Exterior space utilization.
  - d. Architectural character
  - e. Attractiveness
  - f. Material selection
  - g. Harmony and compatibility
  - i. Maintenance aspects.

#### **STAFF RECOMMENDATION**

The proposed project entails repainting all railings and posts, replacing the existing deteriorated deck boards, replacing the lattice below the porch, and reconfiguring the location of the porch steps. The new decking will be constructed of Evergrain composite, a material that will provide greater durability and longevity compared to the existing wood flooring. The existing lattice below the decking has been damaged, and the new lattice will be a white vinyl material, and is to include a latched entry for maintenance below the porch.

Currently, the front steps are located along the side of the porch rather than at the primary front façade. The applicant proposes to remove the side stairway, create an opening in the front railing, and install new steps aligned with the front door. The railing removed from the front will be reinstalled along the side where the steps currently exist, where no railing is present. The new steps will also be constructed of composite decking with white kickboards, and the hand railing will match the existing railings seen on the porch. The applicant has noted that the proposed design for the steps was inspired by the neighboring property at 718 Clark Street who received approval to update their porch last year.

The project also includes the installation of exterior up-lighting to accent the four porch columns. As this component is considered general landscaping, it does not require design review.

Overall, the proposed alterations are appropriate for the porch and will enhance the appearance of the property. As the structure is considered non-contributing to the district, the work will have no adverse effect of the property or the streetscape as a whole. Therefore, Staff recommends approval of the project, as submitted.

**Recommended Motion:**

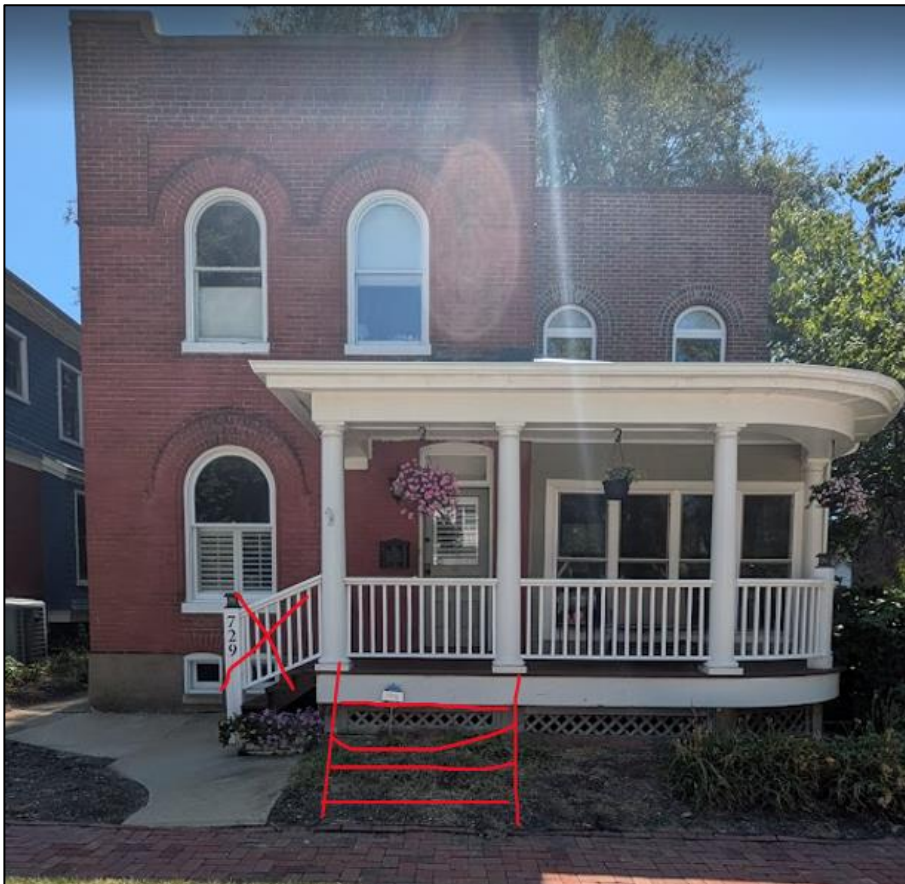
**Motion to approve the porch repairs and porch steps reconfiguration at 729 Clark Street, as submitted.**



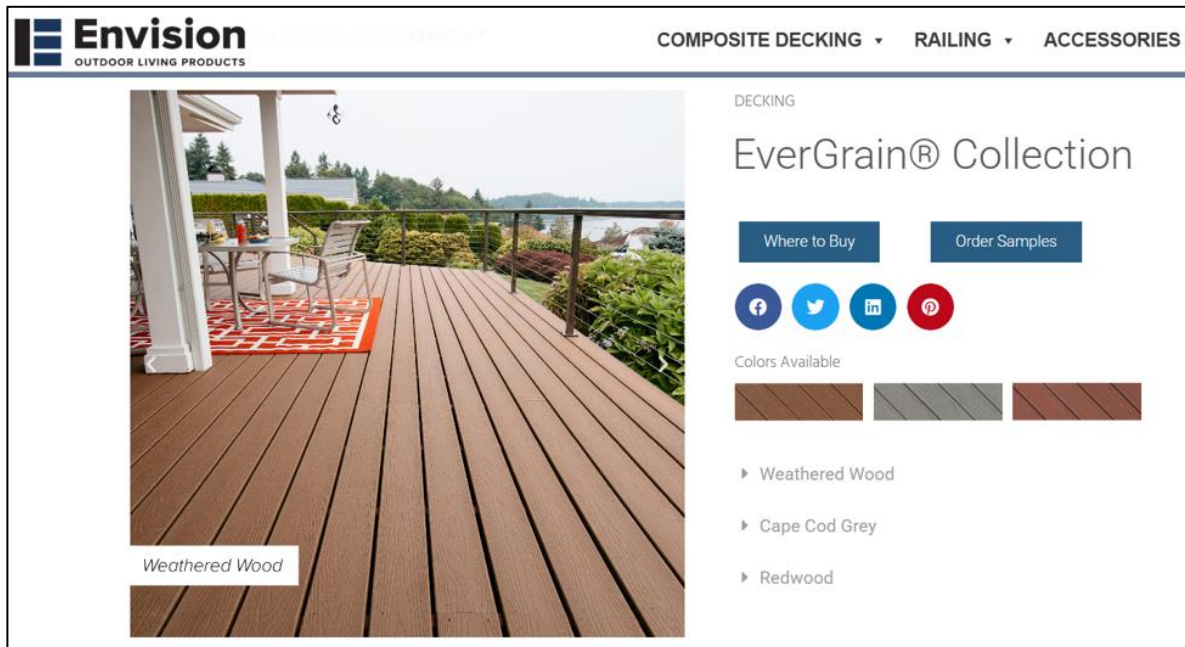
**Figure 1: Subject property seen from Clark Street.**



**Figure 2: Existing steps condition and position.**



**Figure 3: Proposed reconfiguration of steps.**



**Figure 4: Composite decking material example (weathered wood color).**



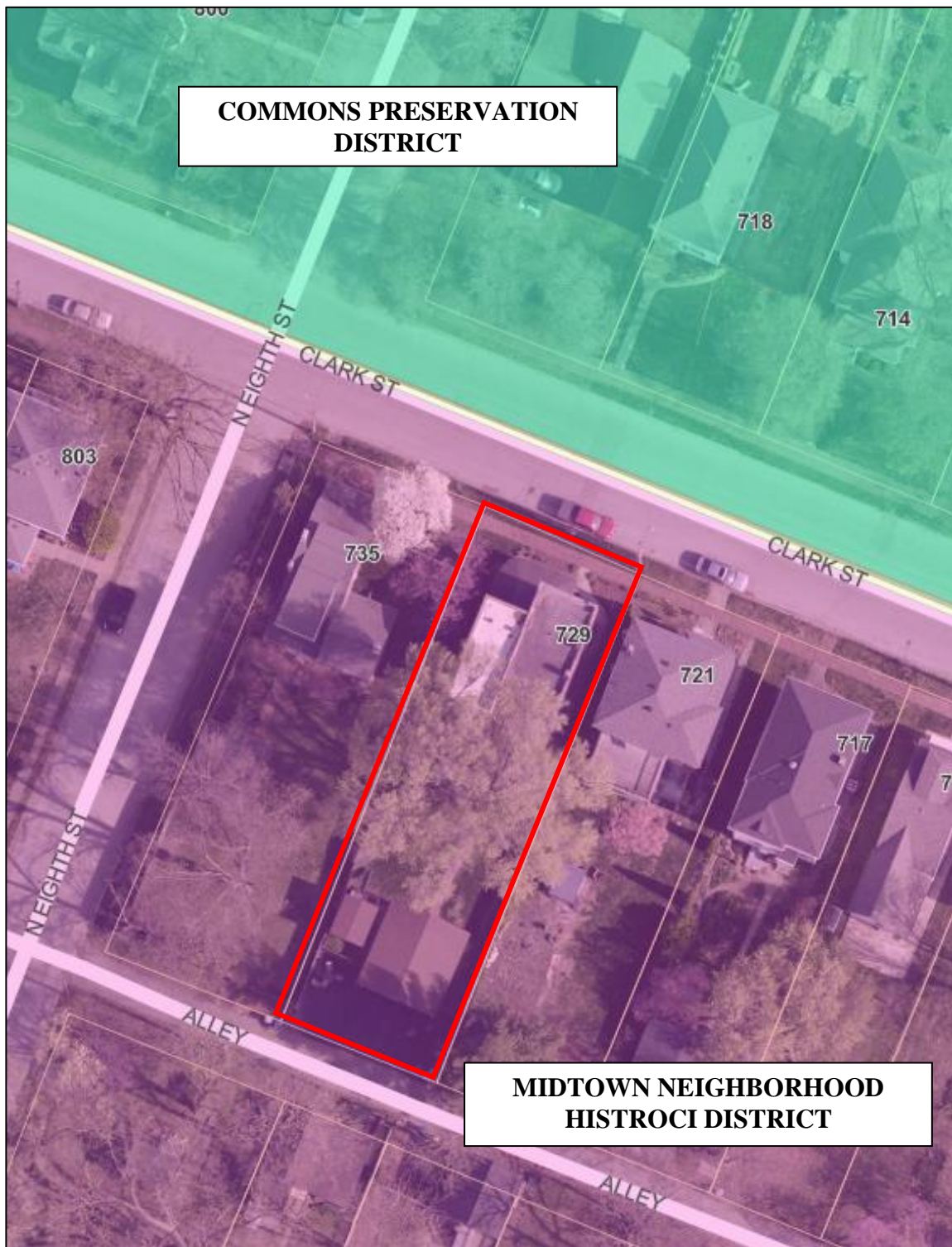
**Figure 5: Steps example at 718 Clark Street.**



**Figure 6: White vinyl lattice example for below porch.**



**Figure 7: Porch seen from sidewalk of Clark Street.**



**Figure 8: Subject property's location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 729 Clark Street

BUSINESS NAME (if applicable): \_\_\_\_\_

**APPLICANT:**

Ryan and Emily Wetzel

(Name)

729 Clark Street

(Address)

314-608-0812 wetzelt@gmail.com

(Phone & Email Address)

**PROPERTY OWNER:**

Ryan and Emily Wetzel

(Name)

729 Clark Street

(Address)

314-608-0812 wetzelt@gmail.com

(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: circa 1900

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

The front of the property needs improvement. The current porch was inherited 10 years ago when we purchased the property and continues to degrade due to the elements despite painting twice in the last 10 years. Additionally, the stairs open to the side of the property which is unnatural and uninviting. There is no walkway between the street and sidewalk, which creates a safety issue during the winter.

**PROJECT DESCRIPTION** (mark and explain each that may apply):

- Rehabilitate or restore: Restore, repaint all railings and posts, replace deck boards and stairs with composite material
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): Build new stairs facing the street
- Other (briefly explain): Add a brick walkway between street and sidewalk to improve safety and curb appeal.  
Add exterior up-lighting to posts on porch.

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

We will first demo and remove existing front porch decking on approx. 6'6" x 19' 124 sq feet. This is to include demo and removal of side steps. We will replace with Envision Composite Decking Evergrain Line. We will install new white vinyl lattice around perimeter of bottom of front porch. We will hinge one door with latch. We will remove and refinish/paint all handrails and posts. We will build a new set of steps 4' wide with treated lumber and using white Azek material for toe kicks and side skirts. New railings will match existing railings as close as possible. We will install new brick with 6' flare, matching city sidewalk brick as close as possible, between city sidewalk and street. LED lighting will be added to highlight the porch posts.

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.


**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 8/11/25

Signature of the property owner:  Date: 8/11/25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

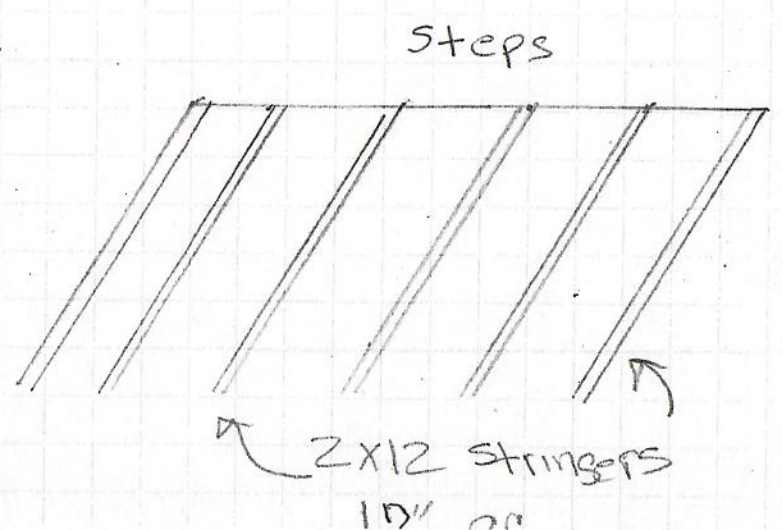
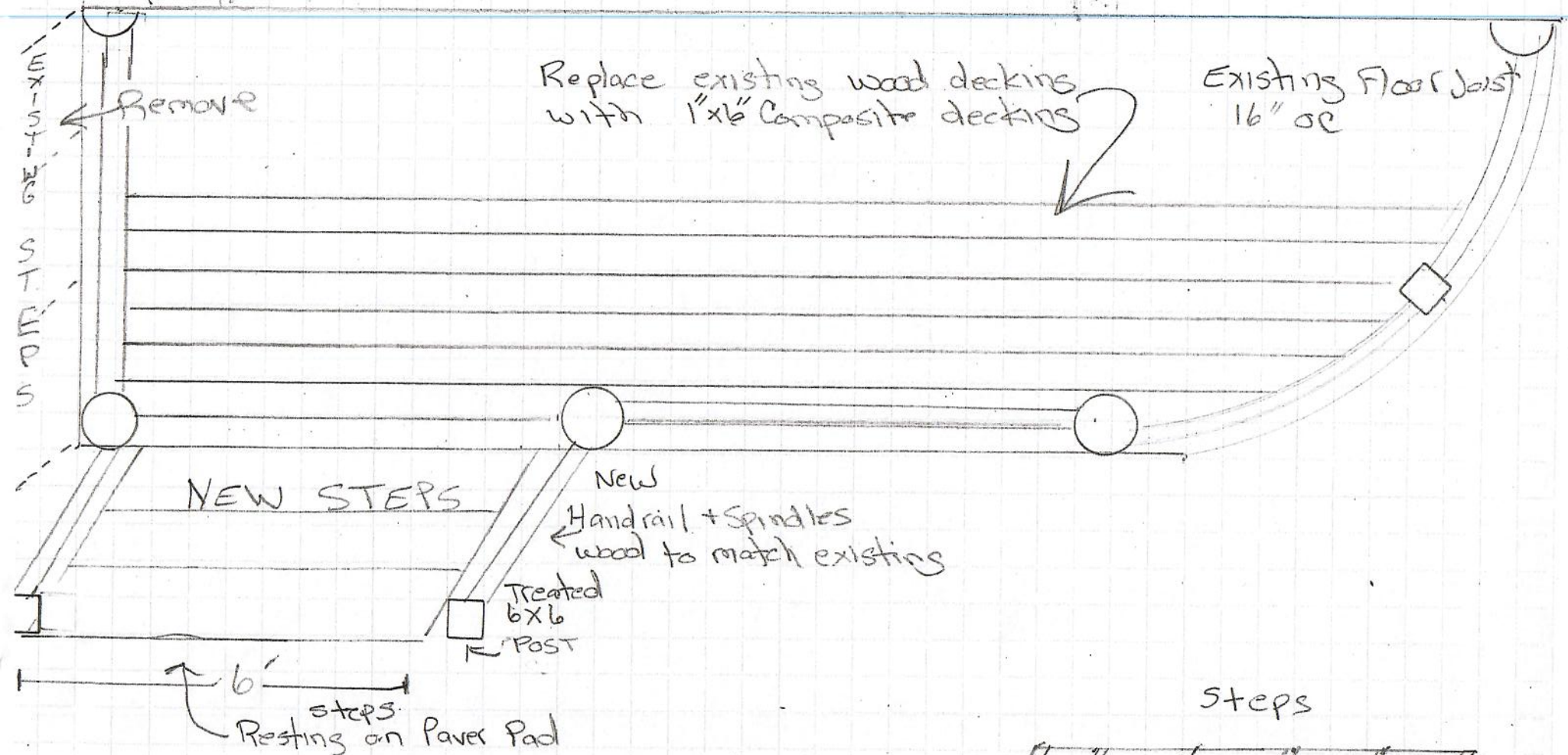
**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>

Asset Builders

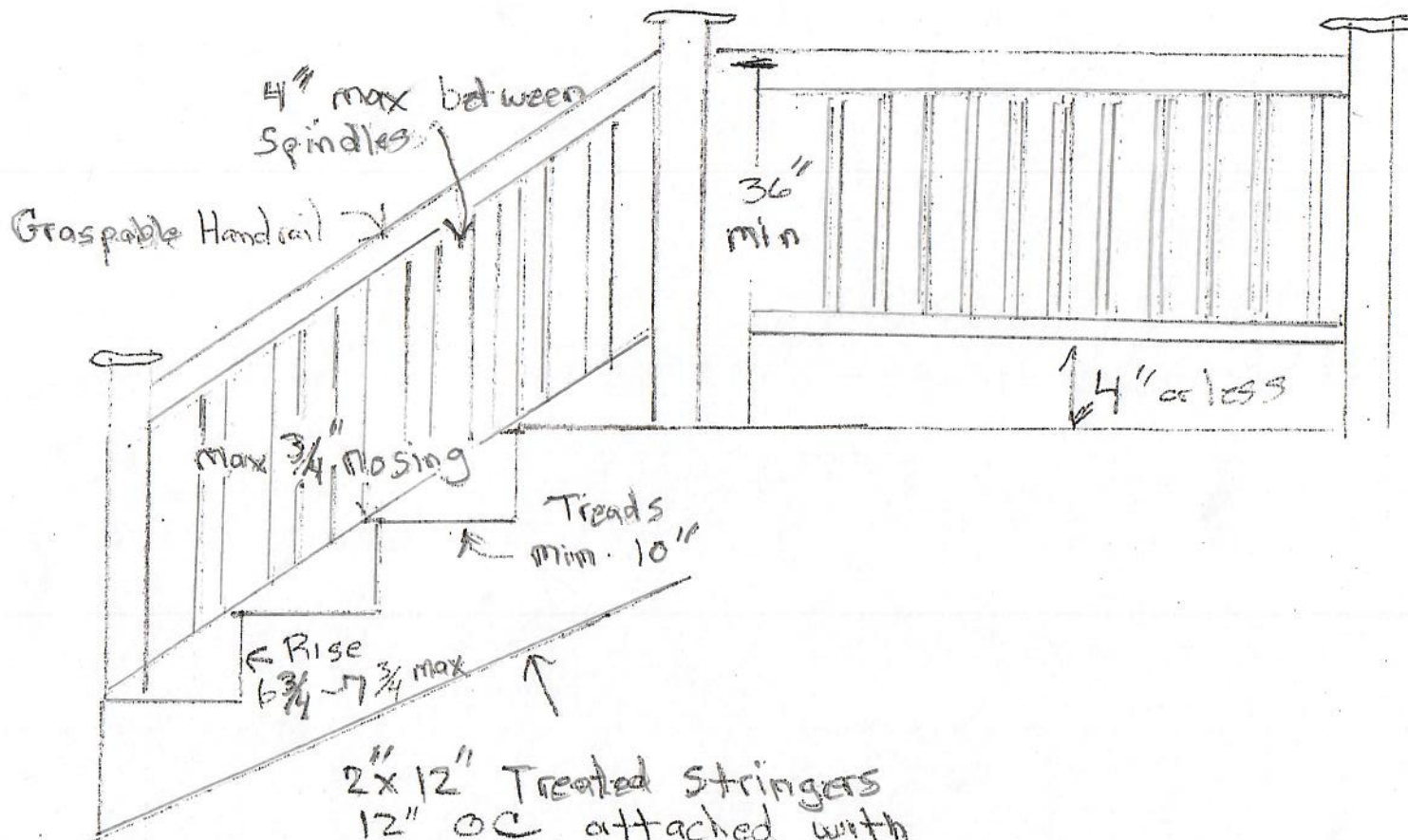
HOUSE

729 Clark St  
St Charles, MO. 63301



# Asset Builders

729 Clark St.  
St Charles, Mo.  
63301



Typical Stair and Handrail Section

2" x 12" Treated Stringers  
12" OC attached with  
face boards. Ledger loked  
to band board and stringer  
straps

1. In regards to the reconfiguration of the front steps, has your contractor/architect given an example of how the new staircase will look and exactly where it will be located on the porch?

See picture (right) of the home in current state with red markup. This is approximately where the new stairs will be located.

The 'X' marks the location of the steps being removed.

The next slide shows a picture of my neighbor's home which is similar to the style of stairs I plan to build.

Additionally, I have attached more detailed plans from the contractor in a separate file.

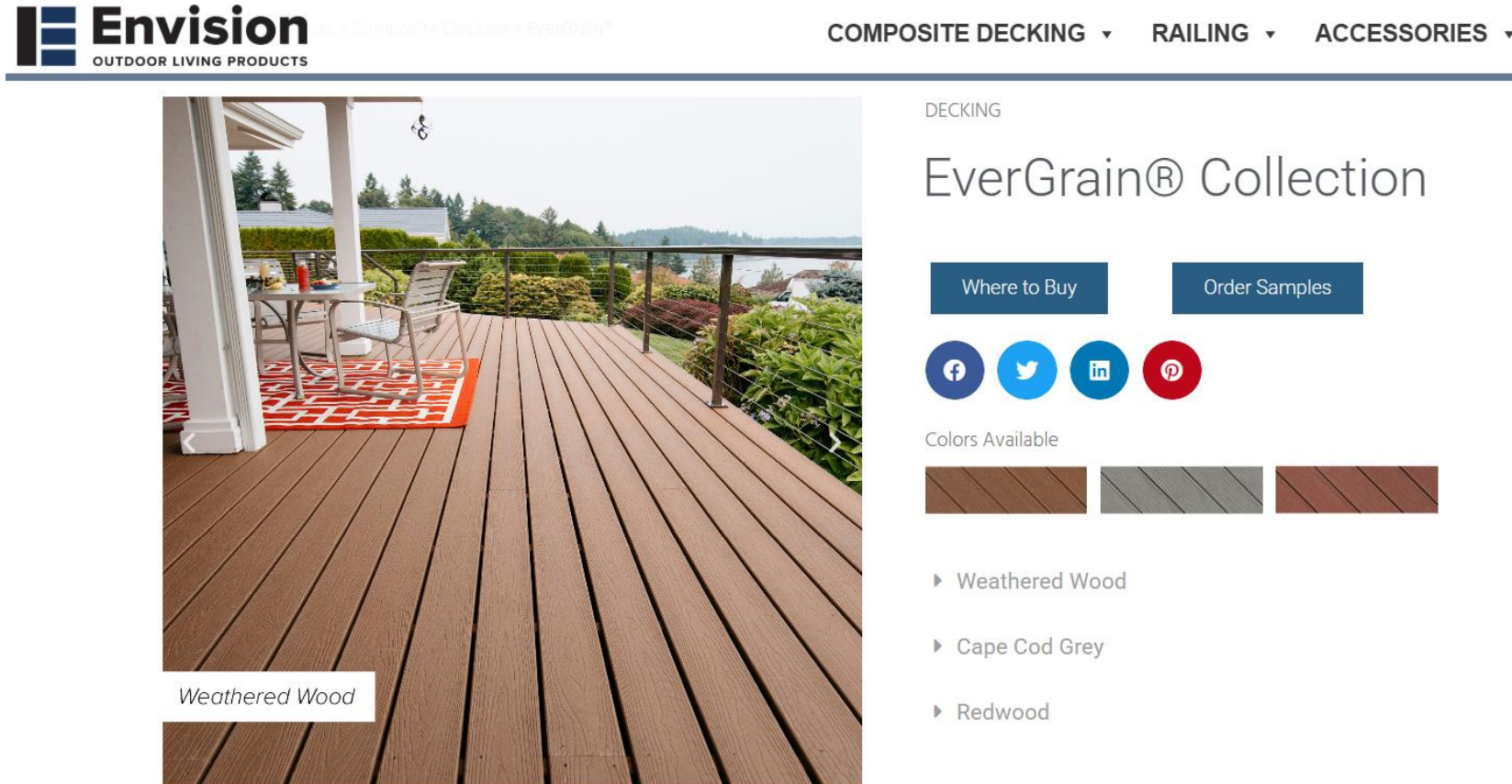




2. Could you provide example photos of the proposed Envision Composite Decking Evergrain Line, the white lattice, the white Azek material, and the new railing design/material?

- Evergrain Composite Decking - Weathered Wood Color

<https://envisiionoutdoorliving.com/our-products/composite-decking/evergrain/>



**Envision**  
OUTDOOR LIVING PRODUCTS

COMPOSITE DECKING ▾ RAILING ▾ ACCESSORIES ▾

DECKING

## EverGrain® Collection

Where to Buy Order Samples

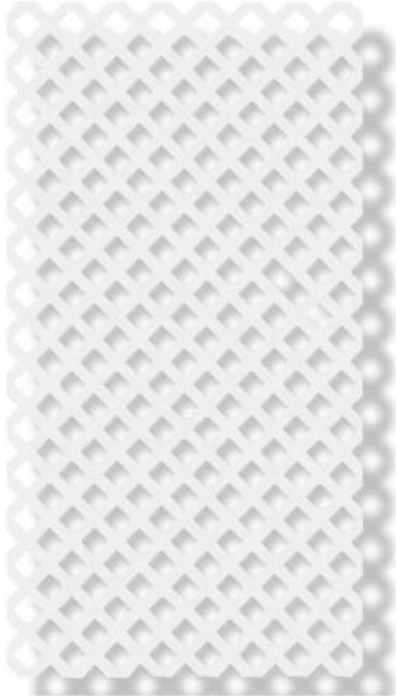
f t in p

Colors Available

- ▶ Weathered Wood
- ▶ Cape Cod Grey
- ▶ Redwood

Weathered Wood

2. Could you provide example photos of the proposed Envision Composite Decking Evergrain Line, the white lattice, the white Azek material, and the new railing



Bestseller

5k+ bought last week

**Style Selections 4-ft x 8-ft White Vinyl Traditional Lattice**

Item #5622862 | Model #73055827

[Shop Style Selections](#)

[Shop the Collection](#)

★★★★★ 4.7

310



**\$22<sup>.98</sup>**



**\$21.83** When you choose 5% savings on eligible purchases every day.

[Learn How](#)

Manufacturer Color/Finish: White



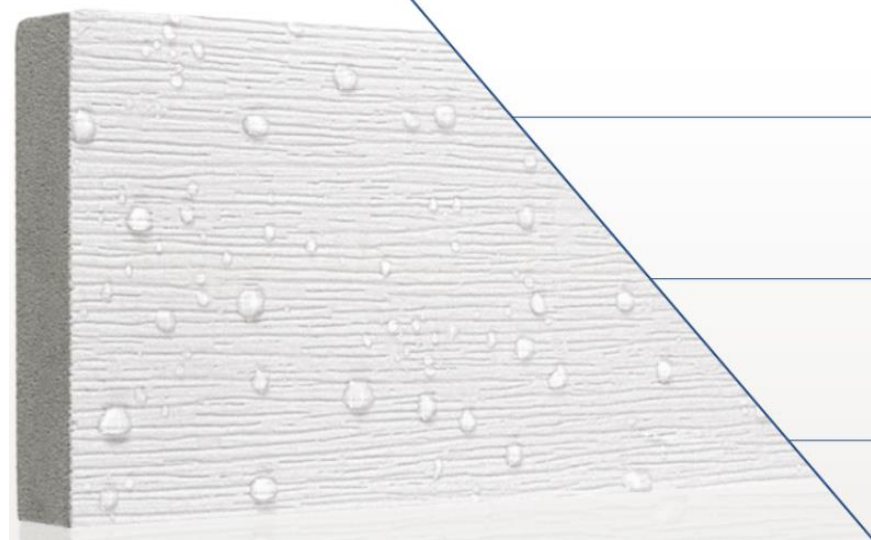
Ask Mylow



- White vinyl lattice - [Link](#)

2. Could you provide example photos of the proposed Envision Composite Decking Evergrain Line, the white lattice, the white Azek material, and **THE #1 CHOICE** FOR EXTERIOR TRIM design/material

Experience the exceptional quality of AZEK Classic Trim, loved by homeowners for its enduring beauty and low maintenance. With its real wood appearance and moisture-resistant durability, it protects any home effortlessly. Contractors value its easy installation, saving time on site. Available in a wide variety of profiles and finishes, AZEK Trim is perfect for rooflines and ground contact, backed by a Lifetime Limited Warranty for lasting peace of mind.



**MOISTURE RESISTANT**

AZEK brands are 100% protected, inside and out, from both water exposure and absorption.

**UNPRECEDENTED DURABILITY**

Our flexible and durable engineered polymer prevents jobsite breakage and delivers long-lasting protection for homeowners.

**ROT RESISTANT**

Say goodbye to splitting, splintering, and rotting caused by constant exposure to the elements.



- White Azek Material for kickboards
- <https://azekexteriors.com/products/trim/classic-trim>

2. Could you provide example photos of the proposed Envision Composite Decking Evergrain Line, the white lattice, the white Azek material, and the new railing design/material?

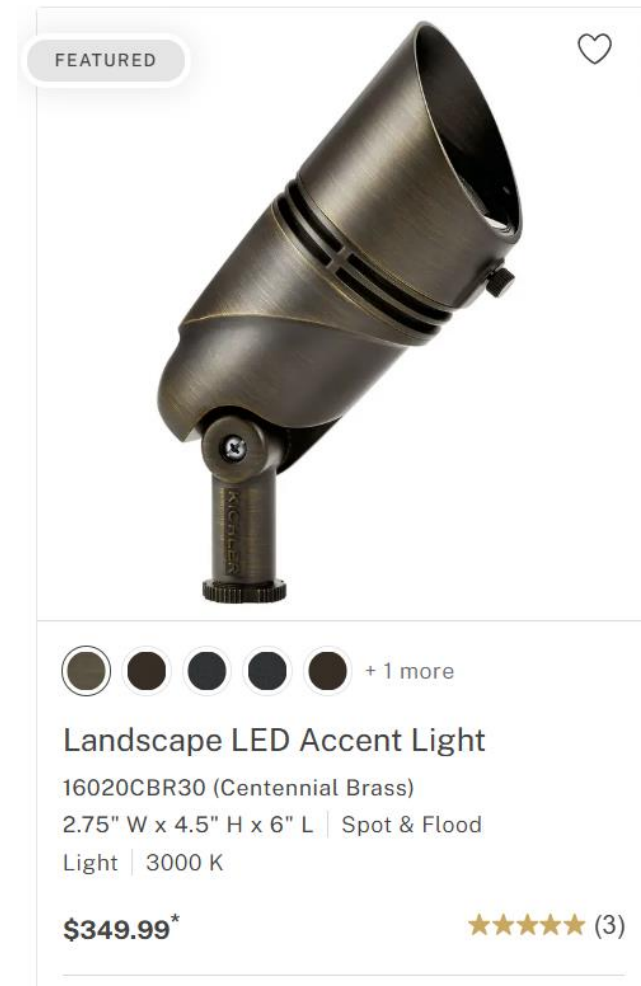
- New railing design/material - Please note the contractor will be refinishing and refurbishing the existing wood railings painted white. The only change will be replacing any rotted wood and repainting all railings white.

3. When stated you will latch one door, is this referring to the lattice?

- Yes, I have asked the contractor to hinge the lattice on one side of the porch to enable easy access for cleaning and maintenance underneath.

4. Please provide an example image of the exterior up-lighting and where it will be located.

- <https://www.kichler.com/products/landscape-lighting/accent-lights>
- The lighting will only be focused on the four posts on the porch, similar to the below aesthetic
- There will only be four lights to highlight the posts with a soft glow





**AGENDA ITEM #6F**

**STAFF REPORT**  
**NEW WINDOWS**  
**1069 MADISON STREET**  
**CASE NO. EC-2025-055**

**BY TAYLOR MOORE**

**APPLICANT:** Autumn Malon  
Window World  
3600 Rider Trail South  
Earth City, MO 63045

**OWNER:** Jennifer Stachula  
1069 Madison Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 1069 Madison Street

**ZONING:** R-1E—Single-Family Residential District  
EHP—Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Located in the Extended Historic Preservation District, the subject property is the 1½-story framed bungalow at 1069 Madison Street. Constructed in 1928, the property is also considered a contributing property to the Midtown Neighborhood National Historic District. The applicant requesting approval to replace all windows on the dwelling, thirteen (13) windows on the first floor and six (6) windows on the second floor. Accompanying the application are photographs of the home and window specs for the proposed replacements.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT**

*C. Architectural review for properties constructed during or prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

**Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

**3. Building Design**

- a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.

- c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
  - b. Logic of design.
  - c. Exterior space utilization.
  - d. Architectural character.
  - e. Attractiveness.
  - f. Material selection.
  - g. Harmony and compatibility.
  - i. Maintenance aspects.

**STAFF RECOMMENDATION**

The existing windows are predominately white, wood, 3 over 1 grid patterns with exterior muntins. Three windows within a side bay, however, are configured as 4 over 1, and one second-story bathroom window is in a casement style. The applicant proposes to replace all windows with a new white vinyl 3 over 1 windows featuring internal grids rather than external muntins. Vinyl is an acceptable material for the district, and the retention of the 3 over 1 grid pattern is consistent with the design guidelines.

While the Extended Historic Preservation District design guidelines do not specifically address windows or muntins, Staff has historically reviewed exterior muntins as important to the preservation of the structure's historic integrity. To clarify the potential impact of the muntins removal, Staff consulted with the State Historic Preservation Office (SHPO) to determine if this alteration would have any adverse impact on the property's contributing status. SHPO advised Staff that because the proposal does not involve altering, enlarging, or reducing the existing window openings, the grid modification will not affect the contributing status. Based on this, Staff acknowledges that the project may proceed without exterior muntins without affecting the contributing status. However, to remain more consistent with the dwelling's time period and overall character of the district, Staff recommends the Board consider requiring exterior muntins. Ultimately, the decision on whether exterior muntins should be retained is at the discretion of the Board.

Additionally, the proposal entails replacing the three 4 over 1 bay windows with 3 over 1 windows and the second-story bathroom window to a casement window due to size. SHPO noted that this change will provide uniformity across the dwelling, and that the 4 over 1 configuration on the side was likely a later alteration, and restoring nearly all windows to a consistent 3 over 1 pattern will create a more harmonious appearance. The new second-story casement bathroom window alteration will also be more harmonious than the existing deteriorating casement window. Based on this guidance from SHPO and the information provided by the applicant, Staff finds the proposal appropriate and recommends approval of the window replacement project, subject to the following condition:

1. External muntins should be retained for replacement windows.

**Recommended Motion:**

**Motion to approve the installation of 19 new windows on the dwelling at 1069 Madison Street, subject to the condition recommended by Staff.**



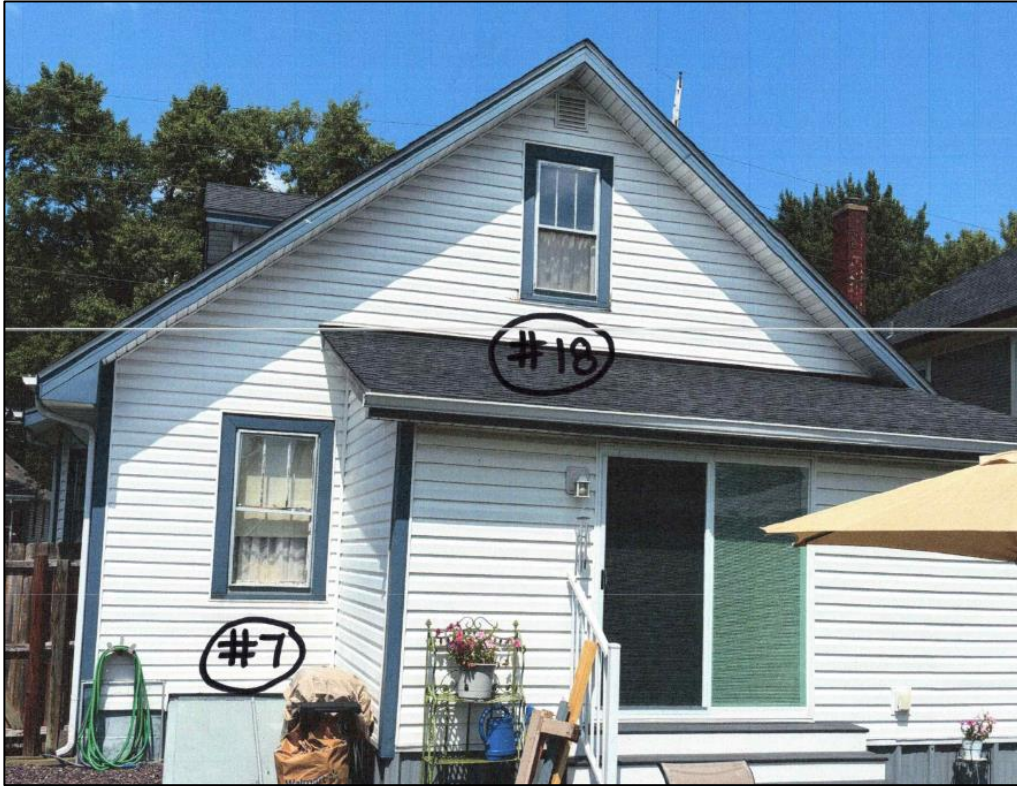
**Figure 1: Subject property seen from Madison Street**



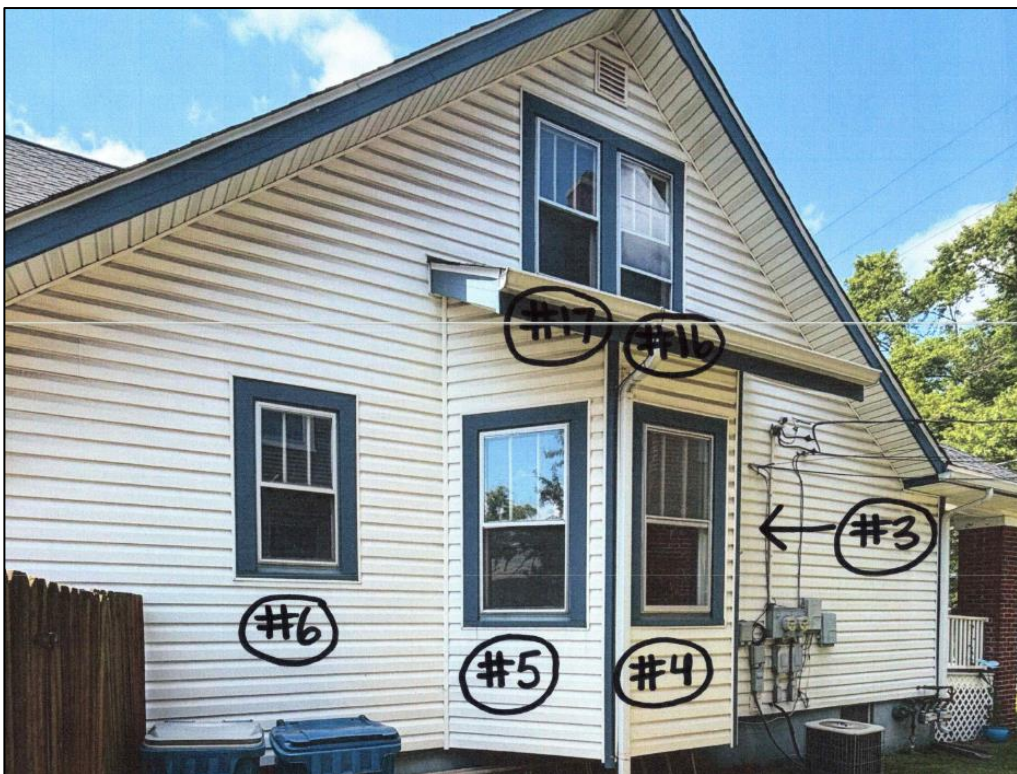
**Figure 2: Front windows to be replaced on the dwelling.**



**Figure 3: West elevation windows to be replaced.**



**Figure 4: Rear elevation windows to be replaced.**



**Figure 5: East elevation windows to be replaced.**



**Figure 6: Subject property's location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1069 MADISON ST, ST. CHARLES, MO 63301

BUSINESS NAME (if applicable): \_\_\_\_\_

APPLICANT: WINDOW WORLD OF ST. LOUIS

(Name)

3600 RIDER TRAIL SOUTH, EARTH CITY, MO 63045

(Address)

314-993-1800 Autumn.Malon@WindowWorldSTL.com

(Phone & Email Address)

PROPERTY OWNER: JENNIFER STACHULA

(Name)

1069 MADISON ST, ST. CHARLES, MO 63301

(Address)

636-373-4511 Path2jenn@gmail.com

(Phone & Email Address)

#### HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1941

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Multi-Family 2 story home

**PROJECT DESCRIPTION** (mark and explain each that may apply):

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: \_\_\_\_\_

Demolish or move structure: \_\_\_\_\_

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): Window Replacement

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

REPLACING ALL 1<sup>ST</sup> & 2<sup>ND</sup> FLOOR WINDOWS, 6 ON 2<sup>ND</sup> FLOOR, & 13 ON 1<sup>ST</sup> FLOOR. CHANGING ONLY WINDOW MATERIAL & WINDOW EXTERIOR ALUMINUM TRIM COLOR, SWITCHING FROM WHITE WOOD WINDOW TO WHITE VINYL, & FROM BLUE ALUMINUM TRIM TO WHITE ALUMINUM TRIM. FRONT 6 WINDOW TO MAINTAIN MATCHING GRID STYLE & REMAINING 13 WINDOWS TO MATCH THE FRONT GRID PATTERN. 2<sup>ND</sup> FLOOR BATHROOM WINDOW ON RIGHT ELEVATION BEING CONVERTED FROM A TWIN CASEMENT TO A SINGLE UP & DOWN WINDOW (VERTICAL SLIDE)

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Steve Mees (Window World) Date: 08/12/25

Signature of the property owner: \_\_\_\_\_ Date: \_\_\_\_\_

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>
<b>Site Plan (separate application required):</b>	<b>\$200.00</b>

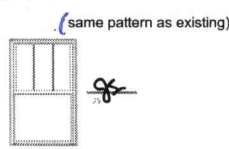
**St. Louis**  
 3600 Rider Trail South  
 Earth City, MO 63045  
 314-993-1800 - Office  
 314-993-1815 - Fax



Salesperson
Steve Mees
Cell Phone Number
314-323-2407

7/23/2025

<b>Customer Name:</b> Jennifer Stachula		<b>Phone Number (H):</b> 636-373-4511			
<b>Install Address:</b> 1069 Madison St. St. Charles MO 63301		<b>Phone Number (W):</b>			
<b>Billing Address:</b> Same		<b>Email:</b> path2jenn@gmail.com			
Quantity	Series	Price	Quantity	Window Options	Price
			19	Solarzone SF ThermD: LowE/Argon, Energy Star Bay/Bow/Garden Stimulus Packs	\$169.00 \$3,211.00
19	(white) 4000 Series Double Hung	\$439.00 \$8,341.00		Foam Filled Frames Extra Stimulus Packs Full Screen (2-Lite Slider)	
	Small 2-Lite Slider	4000			
	Med 2-Lite Slider	4000	19	Grids (top sash only)	3 Lite \$79.00 \$1,501.00
	(white) Lg. 2-Lite Slider	4000			
	Sm Picture Window	4000			
	Med Pic	4000			
	Lg Picture Window	4000			
	3-Lite Slider: 1/4, 1/2, 1/4	4000			
	Awning		7	Tempered Sashes (by doors, by tub & @ stairs code)	\$75.00 \$525.00
	Casement			Temp Top	
	2-Lite Casement		2	Obscured Bottom Panes (bathrooms)	\$35.00 \$70.00
	5-Lite Casement			OBS Top	
	Basement Hopper			Oriel	
	Bay Window		<b>Quantity</b>		<b>Price</b>
	Bow Window			<b>Material &amp; Labor:</b>	
	Garden Window		19	Installation + White Custom Exterior Trim	\$239.00 \$4,541.00
	Beige			Raised Panel Shutter Pairs (front)	
	Interior Laminate			White Vinyl J-Channel Install	
	Exterior Laminate			Vinyl Siding Cutbacks	
				Re=Wrap Box Sills (front)	
				Install Interior Stool	
	5ft. VSP		1	Mull Removal	\$70.00 \$70.00
	6ft. VSP			Repair/Replace Exterior Brickmold per side	
	12ft. VSP			Remove/Re-install Down Spouts	
	Beige Door			Repair/Replace Exterior Sill	
				Build In Window / Extreme out of Square	
	Grids Patio Door			Steel Tearout	
	Stimulus Patio Door			Glass Block Tearout	
	Laminate Patio Door			Bow & Eyebrow Wraps	
			1	St. Charles Historic Permit Fee	\$100.00 \$100.00
			19	Lead Safe Install	Yes \$0.00



**All windows include: 1/2 screens (full screens on casements), foam insulation on jambs and head, double pane double strength glass, double locks (>26"). Lifetime transferrable warranty included.**

**Notes:**  
 Proposal excludes the replacment of bedroom closet window and basement windows.

**Customer agrees to the terms of payment as follows:**

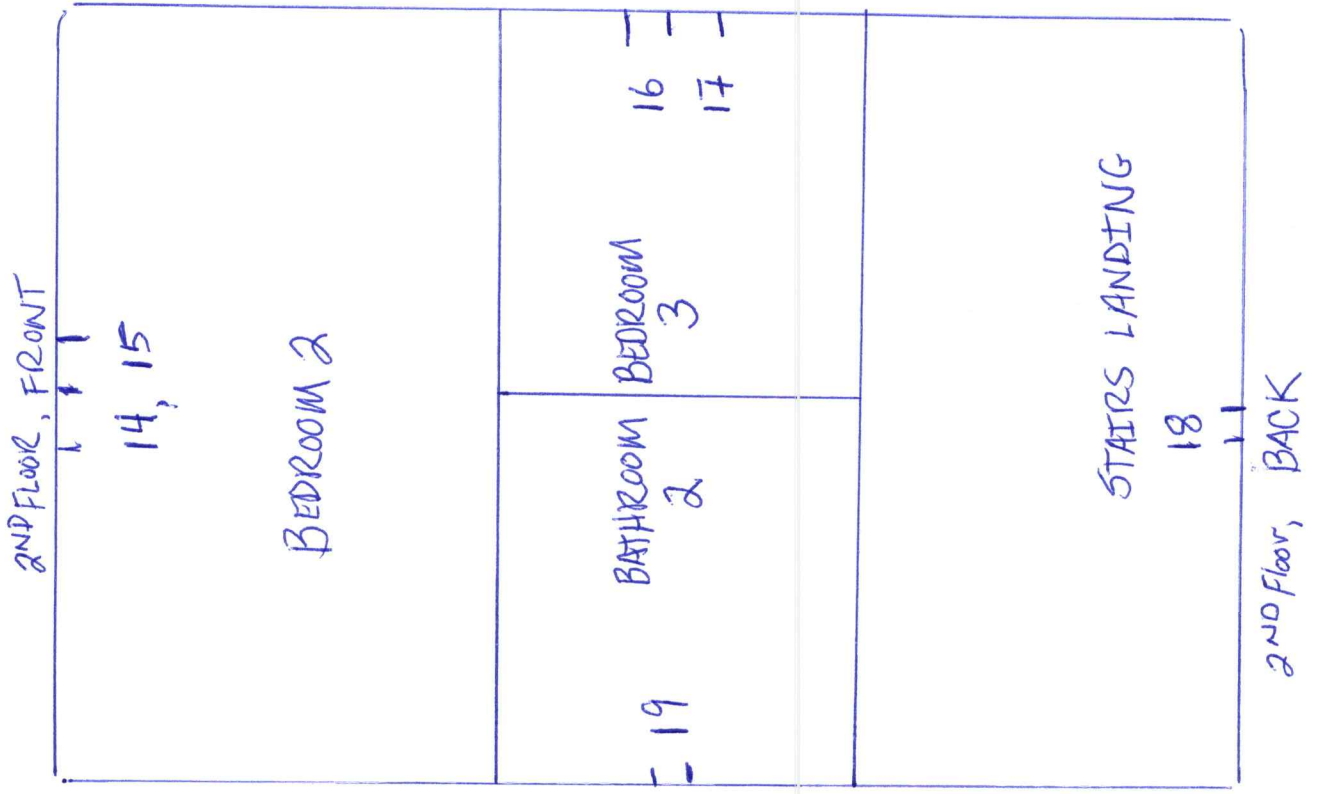
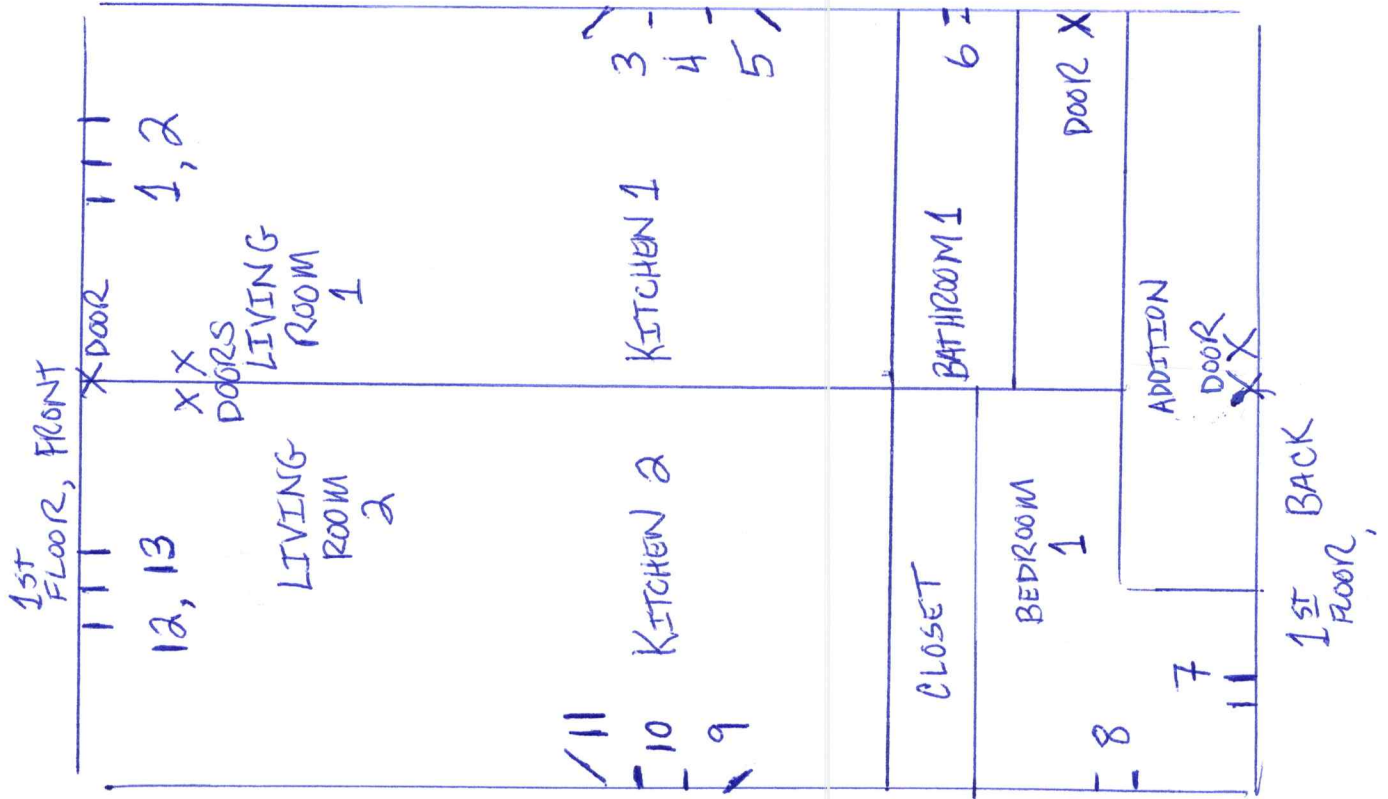
Extra Labor	_____
Delivery & Environmental Fee	\$250.00
Sub Total	_____
Round up for Window World Cares	_____
<b>TOTAL AMOUNT</b>	<b>\$18,609.00</b>
Custom Order Deposit 50%	\$9,304.00
Balance Paid to Installer upon Completion	\$9,305.00

Aprox. 6-12 weeks out for install

You the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transation.  
 Notice of cancellation must be in writing postmarked no later than midnight of the following third business day.  
**THIS IS A CUSTOM ORDER NOT FOR RESALE!**

*Steve Mees* Salesman Date: 07/24/2025  
 \_\_\_\_\_ Owner Date: \_\_\_\_\_  
Stachula (Jul 24, 2025 09:53:14) Owner

HOUSE MAP, 1069 MADISON ST.



Window/Door #	Style	Location	Window/Door Dimensions	U Factor	SHG	Tempered	Egress	WOLD Required
1	Double Hung	Living Room 1	29 5/8 x 57 1/2	0.24	0.25	Yes	N/A	N/A
2	Double Hung	Living Room 1	29 5/8 x 57 1/2	0.24	0.25	N/A	N/A	N/A
3	Double Hung	Kitchen 1	29 5/8 x 57 1/2	0.24	0.25	N/A	N/A	N/A
4	Double Hung	Kitchen 1	29 5/8 x 57 1/2	0.24	0.25	N/A	N/A	N/A
5	Double Hung	Kitchen 1	29 5/8 x 57 1/2	0.24	0.25	N/A	N/A	N/A
6	Double Hung	Bathroom 1	23 5/8 x 45 3/8	0.24	0.25	Yes	N/A	N/A
7	Double Hung	Bedroom 1	29 5/8 x 57 5/8	0.24	0.25	N/A	3.61 sqft	N/A
8	Double Hung	Bedroom 1	29 5/8 x 57 5/8	0.24	0.25	N/A	3.61 sqft	N/A
9	Double Hung	Kitchen 2	29 5/8 x 53 3/8	0.24	0.25	N/A	N/A	N/A
10	Double Hung	Kitchen 2	29 5/8 x 53 3/8	0.24	0.25	N/A	N/A	N/A
11	Double Hung	Kitchen 2	29 5/8 x 53 3/8	0.24	0.25	N/A	N/A	N/A
12	Double Hung	Living Room 2	29 5/8 x 57 1/2	0.24	0.25	N/A	N/A	N/A
13	Double Hung	Living Room 2	29 5/8 x 57 1/2	0.24	0.25	Yes	N/A	N/A
14	Double Hung	Bedroom 2	27 5/8 x 53 5/8	0.24	0.25	N/A	3.01 sqft	N/A
15	Double Hung	Bedroom 2	27 5/8 x 53 5/8	0.24	0.25	N/A	3.01 sqft	N/A
16	Double Hung	Bedroom 3	27 5/8 x 53 3/4	0.24	0.25	N/A	3.02 sqft	N/A
17	Double Hung	Bedroom 3	27 5/8 x 53 3/4	0.24	0.25	N/A	3.02 sqft	N/A
18	Double Hung	Stair Landing	27 5/8 x 53 5/8	0.24	0.25	Yes	N/A	N/A
19	Double Hung	Bathroom 2	37 3/8 x 37 3/4	0.24	0.25	N/A	N/A	N/A
20								
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28								
29								
30								

Notes

Windows being replaced like for like in size and operating style, with the exception of window #19 being converted from a twin casement to double hung. Openings will not be made smaller.



[Tools](#) [Technical Info](#) [IG Guideline](#) [Grid/Muntin](#) [FAQ](#) [Project Review](#) [Links](#)

[Calculated Specs](#) | [Min./Max.](#) | [Shape Calculator](#) | [Wind Speed](#) | [ENERGY STAR 7.0 Reqmt.](#) | [ENERGY STAR M.E.](#) | [Part Code Converter](#)

Region	Series	Model	Option	Glass Package
East Coast	Mezzo	3001	Comp. Reinf.	Climatech SF ThermD + Grid

[Double Hung]

[Performance](#) [OverView](#) [Parts](#) [Accessories](#) [Installation](#) [Search U-Value](#) [Search DP/PG](#) [Specialty Prod.](#)

1 / U-Value = R-Value

ENERGY STAR Map

Window Efficiency				UFactor	SHGC	VT	CR
Model	GlassPack	GlassThickness	Description				
3001	Climatech SF ThermD + Grid	Double Strength	3/4" IG, DS LE-S4, Argon, ThermD, Grids < 1"	0.24	0.25	0.46	48
3001	Climatech SF ThermD + Grid	Triple Strength	3/4" IG, TS LE-S4, Argon, ThermD, Grids < 1"				

Composite Reinforcement

### Mull Configurations & Limitations

#### Structural Test Results

Model	Width	Height	DP/PG	Air	Water	Load	FBC	TDI	Description	Report No.
3001	41	60	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	36	65	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	48	78	25	0.17	5.43	+/- 37.59			Composite Reinforcement	I0241.01
3001	48	84	20	0.17	5.43	+/- 30.08			Composite Reinforcement - Two Locks	I0241.01
3001	48	84	15	0.17	5.43	+/- 22.5			Composite Reinforcement - One Lock	I0241.01

\*\*Ratings are for stand-alone units and not for combination of mullled units\*\*

#### Acoustical Test Results

Glass Package	STC	OITC
3/4" IG (1/8" Annealed, 1/2" Air space, 1/8" Annealed)	28	23
3/4" IG (1/8" Annealed, 3/8" Air space, 1/4" Laminated)	34	28

#1-19

Select a Model

(Model 3001)	3001
4000 Series Double Hung	
Top Sash Width	25.5000
Top Sash Height	27.3750
Bottom Sash Width	26.5000
Bottom Sash Height	28.3750
Top Glass Width	23.8125
Top Glass Height	25.7500
Bottom Glass Width	24.3125
Bottom Glass Height	26.2500
Screen Width	25.1250
Screen Height	27.8750
Top Sash Weight (Plus 5 lb)	22 lb
Top Balance Size (C.F.)	56BU
Bottom Sash Weight	18 lb
Bottom Balance Size (C.F.)	3NAT
Egress Opening Width	24.3750
Egress Opening Height	21.3750
Egress Opening Area (sq.ft.)	3.6180

		Exact Size	
Width:	29 5/8	29.625	
Height:	57 5/8	57.625	
Reinforce:	Select Reinforcement	<< Must Select	
Opening:	Exact size		
Type:	Standard		
Screen:	Half		
Glass:	Double Strength (3 mm)		

Add Grid for Weight Calculation

AC Sash Calculator

BEDROOM WINDOWS

# 7 & 8

Select a Model

(Model 3001)	3001
4000 Series Double Hung	
Top Sash Width	23.5000
Top Sash Height	26.4375
Bottom Sash Width	24.5000
Bottom Sash Height	26.4375
Top Glass Width	21.8125
Top Glass Height	23.8125
Bottom Glass Width	22.3125
Bottom Glass Height	24.3125
Screen Width	23.1250
Screen Height	26.9375
Top Sash Weight (Plus 5 lb)	20 lb
Top Balance Size (C.F.)	10PK
Bottom Sash Weight	15 lb
Bottom Balance Size (C.F.)	8LG
Egress Opening Width	22.3750
Egress Opening Height	19.4375
Egress Opening Area (sq.ft.)	3.0200

		Exact Size	
Width:	27 5/8	27.625	
Height:	63 3/4	63.75	
Reinforce:	Select Reinforcement	<< Must Select	
Opening:	Exact Size		
Type:	Standard		
Screen:	Half		
Glass:	Double Strength (3 mm)		

Add Grid for Weight Calculation

AC Sash Calculator

**BEDROOM WINDOWS**

**# 14 & 15**

Select a Model

(Model 3001)	3001
4000 Series Double Hung	
Top Sash Width	23.5000
Top Sash Height	25.3750
Bottom Sash Width	24.5000
Bottom Sash Height	26.3750
Top Glass Width	21.8125
Top Glass Height	23.7500
Bottom Glass Width	22.3125
Bottom Glass Height	24.2500
Screen Width	23.1250
Screen Height	25.4750
Top Sash Weight (Plus 5 lb)	19 lb
Top Balance Size (C.F.)	10PK
Bottom Sash Weight	15 lb
Bottom Balance Size (C.F.)	8LG
Egress Opening Width	22.3750
Egress Opening Height	19.3750
Egress Opening Area (sq.ft.)	3.0110

		Exact Size	
Width:	27 5/8	27.625	
Height:	43 5/8	53.625	
Reinforce:	Select Reinforcement	<< Must Select	
Opening:	Exact Size		
Type:	Standard		
Screen:	Half		
Glass:	Double Strength (3 mm)		

Add Grid for Weight Calculation

AC Sash Calculator

**BEDROOM WINDOWS**  
**# 16 & 17**



#15 #14

#2 #1

#13 #12

1069

SAFE SPACE

IN OUR LOVE WINS  
AMERICA PLEASE CELEBRATE  
OUR DIFFERENCES & RESPECT  
ALL PEOPLE & PRIDE IS  
CELEBRATED



#19

#9

#11

#10

#8



#19

#10

#9

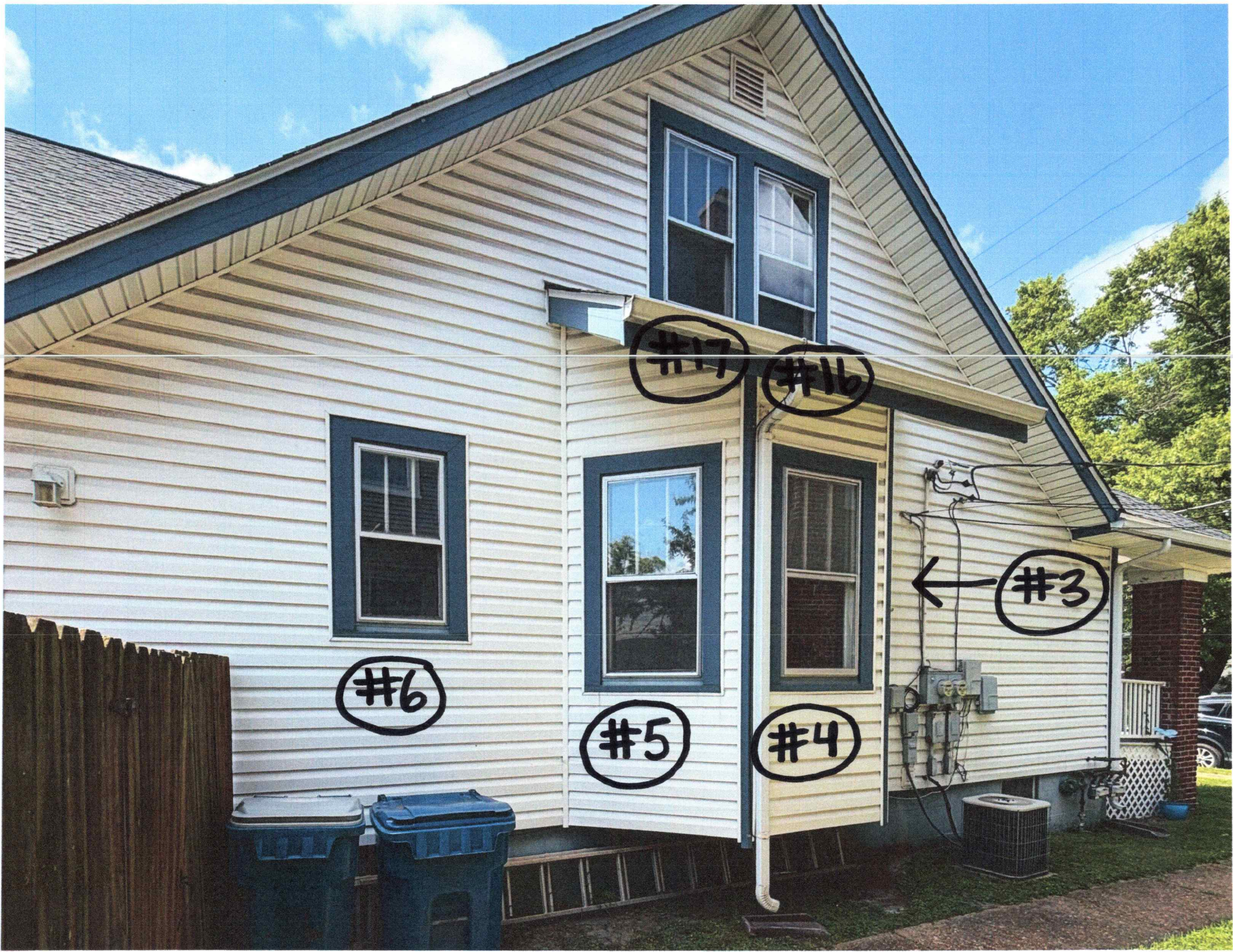
#8



#18

#7

Walmart



#6

#5

#4

← #3

#17

#16



#17 #16

#4 #3



**AGENDA ITEM #6G**

**STAFF REPORT  
RETAINING WALL  
809 NORTH 3RD STREET  
CASE NO. EC-2025-056**

**BY TAYLOR MOORE**

---

**APPLICANT:** Greener Designs  
12103 Belaire Place  
Maryland Heights, MO 63043

**OWNER:** Kristianna Kelly  
808 North 3<sup>rd</sup> Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 809 North Third Street

**ZONING:** R-1E—Single-Family Residential District  
FPD – Frenchtown Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Built circa 1870, the subject property is a 1½-story vernacular house with Federal influenced styling, located in the Frenchtown Preservation District. The applicant is requesting to replace an existing retaining wall that shares the property line with 805 North 3<sup>rd</sup> Street to the south and wraps around the rear portion of the subject property. The retaining wall was cited by the City as dangerous and in need of replace and/or repairs. Attached to this application are photos of the existing retaining wall and a site plan for the proposed replacement.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT**

*C. Architectural Review for Contributing Properties.*

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.

2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

## **ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT**

### **Chapter III: Guidelines for All Historic Properties**

#### Site Planning & Site Features

- 3.3 Retaining walls shall be maintained and in good repair.
- a. Reconstructed retaining walls shall replicate the original or be consistent with the time period. Other reconstructions may be considered with a model example.

#### **STAFF RECOMMENDATION**

The removal of the existing deteriorated concrete retaining wall and the installation of a new versa-lock retaining wall will vastly improve the appearance of the property. The new retaining wall will be the same height as the existing, and will be a grey color to closely match the flat concrete wall that is being removed. While the retaining wall is between 805 and 809 North 3<sup>rd</sup> Street, it does not appear on either property's survey. The homeowner of 809 North 3<sup>rd</sup> is taking the responsibility for the wall and complying with the City's request to fix or replace the current one. The project is compliant with the design guidelines for the Frenchtown District, and will amend the existing safety hazard. Therefore, Staff recommends approval of the new retaining wall, as submitted.

#### **Recommended Motion:**

**Motion to approve the removal and replacement of a retaining wall at 809 North Third Street, as submitted.**



**Figure 1: Location of retaining wall between properties.**



**Figure 2: Retaining wall's current state.**



Figure 3: Example of blocks to be utilized.



Figure 4: Retaining wall example.





Figure 6: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 809 N 3rd St

BUSINESS NAME (if applicable): Greener Designs

APPLICANT: Greener Designs  
(Name)

12103 Belaire Pl Maryland Heights, MO 63043  
(Address)

314 497 6021 greenerdesignsllc@gmail.com  
(Phone & Email Address)

PROPERTY OWNER: Kristiana Kelly  
(Name)

809 N 3rd St  
(Address)

636 279 5547 kkel03@gmail.com  
(Phone & Email Address)

#### HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: N/A

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Wall is failing and the city cited  
owners to have it replaced

**PROJECT DESCRIPTION** (mark and explain each that may apply):

- Rehabilitate or restore: Replace Retaining Wall
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): \_\_\_\_\_
- Other (briefly explain): \_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

Remove failing concrete wall and replace with Verse-loh  
wall.

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 8/27/25

Signature of the property owner:  Date: 8/27/25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>

# BOUNDARY SURVEY

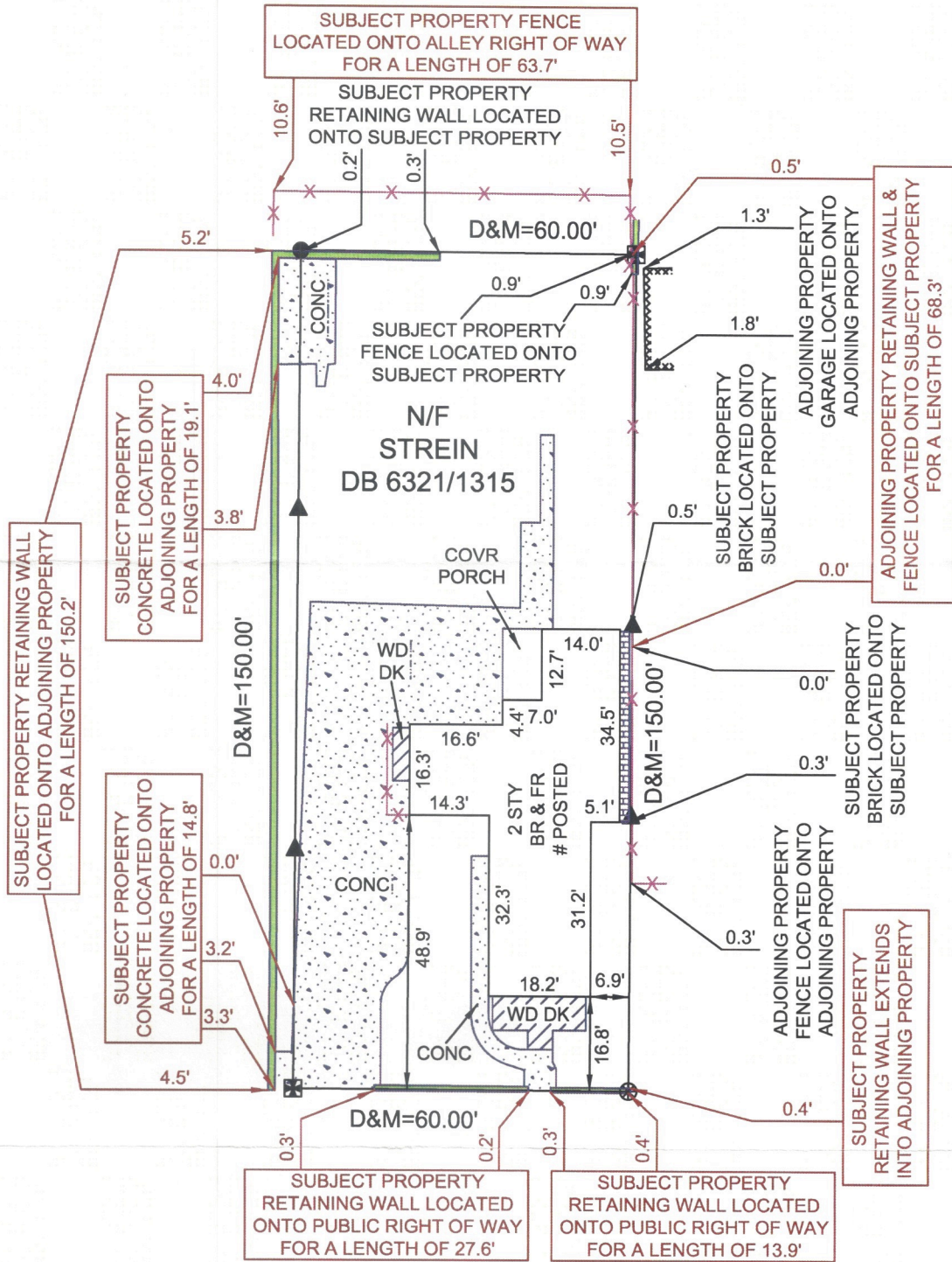
## A LOT OF GROUND, PART OF BLOCK NUMBERED 97 OF THE CITY OF ST CHARLES, DB 6321 PG 1315 ST CHARLES COUNTY, MO

1" = 30'



- X — FENCE
- D DEEDED DISTANCE
- M MEASURED DISTANCE
- SET REBAR
- ▲ SET POINT ON LINE
- ⊠ SET CROSS
- ⊗ FOUND COTTON SPINDLE

ALLEY



#809 NORTH 3RD STREET (38.5' W) SHEET 1 OF 2



PO BOX 278  
COTTLEVILLE, MO 63338  
PHONE: 636.922.1001  
Corp # 2005000229  
www.CardinalSurveying.com

JOB #1803001  
FB 462:43  
FIELD WORK BY: CBA/AJZ  
DRAWN BY: WJB  
REVIEWED BY:  
WILLIAM JACOB CLARK  
LS# 2002014101

THIS IS TO CERTIFY THAT ON  
FEBRUARY 12, 2018 A REQUEST  
BY CONTINENTAL TITLE COMPANY  
WAS MADE FOR A BOUNDARY  
SURVEY AND TO LOCATE THE  
IMPROVEMENTS ON THE ABOVE  
NAMED TRACT AND THAT THE  
RESULTS ARE, TO THE BEST OF  
MY KNOWLEDGE, CORRECTLY  
REPRESENTED HEREON.

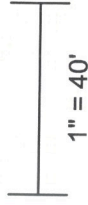


# BOUNDARY SURVEY

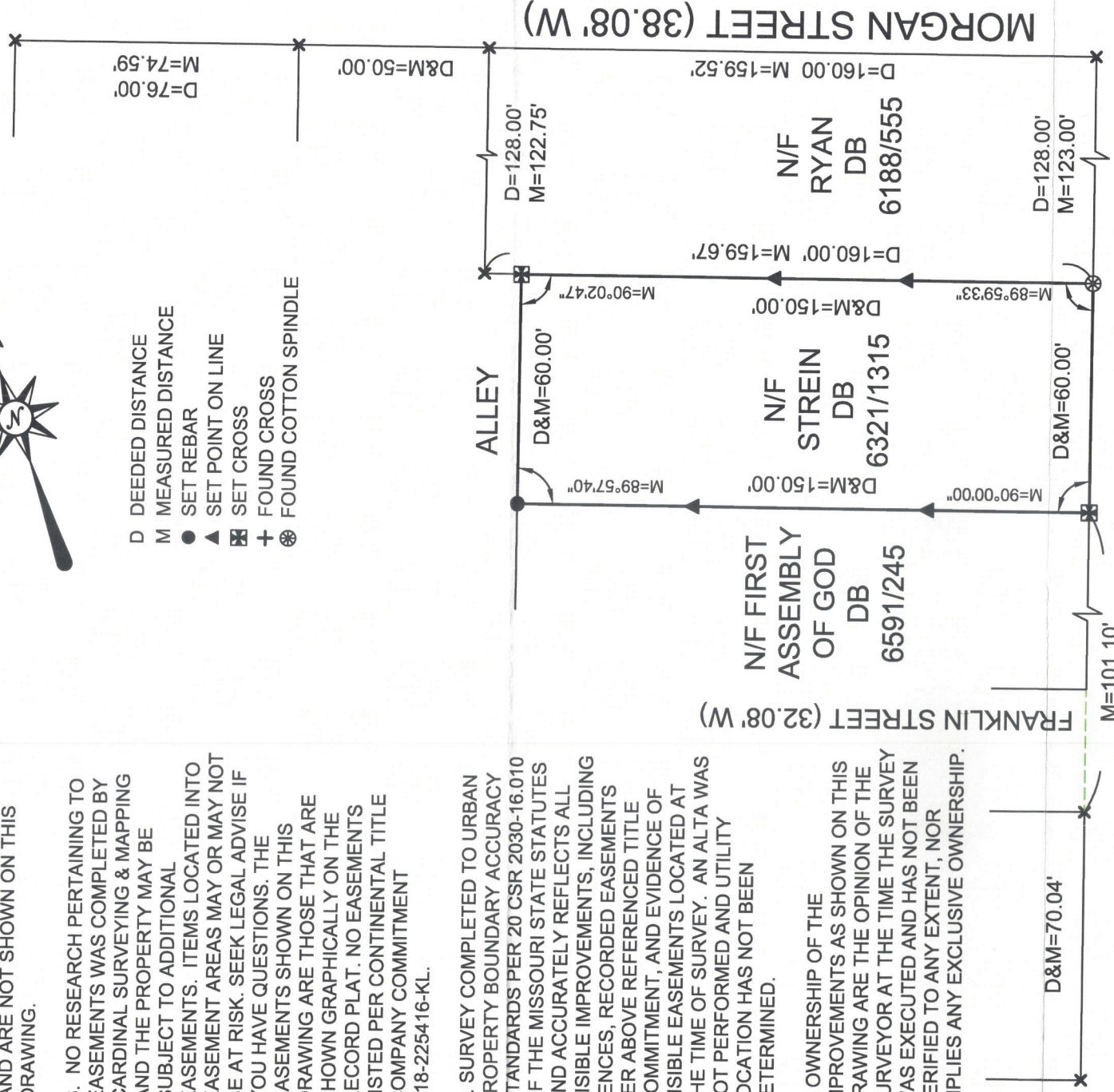
## A LOT OF GROUND, PART OF BLOCK NUMBERED 97 OF THE CITY OF ST CHARLES, DB 6321 PG 1315 ST CHARLES COUNTY, MO

**SURVEYORS NOTES:**

1. BASIS OF SURVEY PER RECORD DEED BOOK 6321 PAGE 1315 OF THE ST CHARLES COUNTY RECORDS.
2. BUILDING LINES SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT. SETBACK AND SIDEYARD REQUIREMENTS MAY EXIST ACCORDING TO CURRENT ORDINANCE AND ZONING STANDARDS AND ARE NOT SHOWN ON THIS DRAWING.
3. NO RESEARCH PERTAINING TO EASEMENTS WAS COMPLETED BY CARDINAL SURVEYING & MAPPING AND THE PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS. ITEMS LOCATED INTO EASEMENT AREAS MAY OR MAY NOT BE AT RISK. SEEK LEGAL ADVICE IF YOU HAVE QUESTIONS. THE EASEMENTS SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT. NO EASEMENTS LISTED PER CONTINENTAL TITLE COMPANY COMMITMENT #18-225416-KL.
4. SURVEY COMPLETED TO URBAN PROPERTY BOUNDARY ACCURACY STANDARDS PER 20 CSR 2030-16.010 OF THE MISSOURI STATE STATUTES AND ACCURATELY REFLECTS ALL VISIBLE IMPROVEMENTS, INCLUDING FENCES, RECORDED EASEMENTS PER ABOVE REFERENCED TITLE COMMITMENT, AND EVIDENCE OF VISIBLE EASEMENTS LOCATED AT THE TIME OF SURVEY. AN ALTA WAS NOT PERFORMED AND UTILITY LOCATION HAS NOT BEEN DETERMINED.
5. OWNERSHIP OF THE IMPROVEMENTS AS SHOWN ON THIS DRAWING ARE THE OPINION OF THE SURVEYOR AT THE TIME THE SURVEY WAS EXECUTED AND HAS NOT BEEN VERIFIED TO ANY EXTENT, NOR IMPLIES ANY EXCLUSIVE OWNERSHIP.



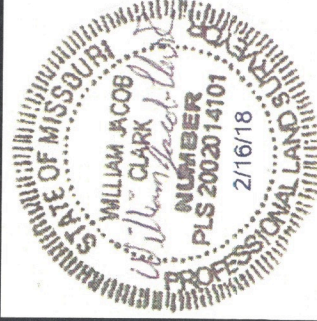
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- M MEASURED DISTANCE
- SET REBAR
- ▲ SET POINT ON LINE
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PHONE: 636.922.1001  
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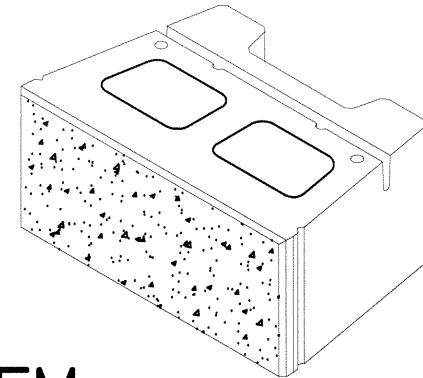
JOB #1803001  
FB 462:43  
FIELD WORK BY: CBA/AJZ  
DRAWN BY: WJB  
REVIEWED BY:  
WILLIAM JACOB CLARK  
LS# 2002014101

THIS IS TO CERTIFY THAT ON FEBRUARY 12, 2018 A REQUEST BY CONTINENTAL TITLE COMPANY WAS MADE FOR A BOUNDARY SURVEY AND TO LOCATE THE IMPROVEMENTS ON THE ABOVE NAMED TRACT AND THAT THE RESULTS ARE, TO THE BEST OF MY KNOWLEDGE, CORRECTLY REPRESENTED HEREON.



# VERSA-LOK<sup>®</sup>

## Square Foot Unit



A VERSA-LOK RETAINING WALL SYSTEM

### ST. LOUIS COUNTY MASTERPLAN

#### Index of Drawings:

Sheet 1	Title and Index
Sheet 2	Applications and Design Information
Sheet 3	Specifications
Sheet 4,5,6,7	Typical Details
Sheet 8	Standard Design - Horizontal Backfill
Sheet 9	Standard Design - Sloping Backfill
Sheet 10	Standard Design - Tiered Wall

Aspen Consultants  
Edward T. Austin, P.E.  
293 Northwest Blvd  
Fenton, MO 63026  
636/349-2225

**VERSA-LOK**  
**Square Foot Unit**

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

**COVER SHEET**

Sheet 1 of 10

Date: May 2008

## APPLICATION

The Versa-lok Square Foot retaining wall system is a reinforced soil structure combining an architecturally attractive concrete facing block with geogrid reinforcement. The geogrid reinforcement interlocks with the Versa-lok Square Foot block units and fill soil to create a stable gravity retaining wall. Design of these reinforced soil structures uses well established guidelines that are readily available. The following specifications and details provide a design to incorporate geogrid reinforcement into the soil for the purposes of constructing retaining walls. Consult Kirchner Block and Brick for additional details regarding design, appearance, and aesthetic considerations.

## STANDARD DESIGN PROCEDURE

The following design tables established for the construction of soil reinforced walls are based upon generally accepted soil parameters in the St. Louis County, Missouri area. An engineer shall review the site conditions and the soil present at the proposed location of the soil reinforced walls to determine if the actual conditions match the assumed parameters. All soil parameters assumed in the design are well drained, long term strength conditions. High plastic silts, and clays should be avoided without specific design recommendations from local geotechnical engineers. Frost heave and settlement need to be addressed if warranted by conditions. Also, special precautions are necessary for walls constantly in contact with water, i.e. near or at rivers, lakes, and ponds.

Three typical geometric cases were selected for these tables. The first case is a typical retaining wall with horizontal backfill, the second case is a 3:1 sloping backfill, and the third case is a tiered wall. The horizontal backfill layout is designed with 100 lb per sf surcharge. The following is a summary of the design parameters used and the minimum factors of safety which the tables are based on.

### SOIL PROPERTIES:

	Friction Angle (degrees)	Unit Weight (#/cf)	Cohesion (#/sf)
Wall fill	28	120	0
Retained Backfill	28	120	0
Foundation Soil	28	120	0

Friction Angle - degrees  
Unit Weight - lbs per cf  
Cohesion - lbs per sf

### MINIMUM FACTORS OF SAFETY CALCULATED

Reinforcement Pullout = 1.5  
Reinforcement Rupture = 1.5  
External Sliding = 1.5  
Overturning = 2.0  
Overall for Unknowns = 1.5  
Bearing Capacity = 2000 psf

**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

**APPLICATION**

Sheet 2 of 10

Date: May 2008

**SPECIFICATIONS - St. Louis County Masterplan**

**Materials**

**Retaining wall units** shall be Versa-lok Square Foot block units as manufactured by Kirchner Block and Brick. The units are 8" tall x 18" wide x 12" deep. Concrete wall units shall meet the requirements of ASTM C1372-01 with the maximum water absorption shall be limited to 8.0 percent. The concrete shall have adequate freeze thaw resistance in accordance with ASTM C666-90.

**The reinforced wall backfill** material shall be compacted soil from on-site. The soil shall be free of clumps, free of rocks larger than 4", and free of organic materials. Do not use high plastic soils that have a PI>20 or LL>40.

**Geogrids** shall be Miragrid 2XT, or 3XT as manufactured by Ten Cate Mirafi or Stratagrid SG150 or SG200 as manufactured by Strata Systems. These geogrid designations meet the strength requirements of the design calculations. The **geotextile filter fabric** shall be a nonwoven fabric with a minimum weight of 3.5 oz/sy.

**The leveling pad** shall be constructed of well graded crushed limestone similar to 1" minus.

**The drainage rock** shall be free draining rock such as 3/4" clean crushed limestone.

**The perforated pipe** shall be HDPE coil pipe.

**Wall Foundation**

Foundation soil shall be excavated as required for the leveling pad and the reinforced fill zone to the depths and locations shown on the plan sheet. The exposed foundation soil shall be observed prior to construction to verify that the exposed material is suitable for a net design bearing pressure of 2000 psf and that the base of the excavation is free of loose soil, uncompacted fill, water, or frozen material. Undercut any unsuitable soil. Undercut areas shall be filled with crushed limestone and compacted to at least 95% of the material's standard Proctor maximum dry density.

Construct the crushed rock leveling pad to lines and grades shown on the plans.

Construct the horizontal drainage layer at the lines and grades shown on the plans. The 6" of drainage rock shall be separated from the rock with a filter fabric. Place the perforated pipe behind the base unit and in the drainage layer. Slope the pipe to the low point in the wall and daylight the pipe through the wall face.

**Wall Construction**

Install the first course of units on the leveling pad. Install the next course in a running bond stack. Pull unit forward. Units may need to be cut to maintain the running bond around curved sections. A minimum of 4" of the unit shall overlap the unit below it. Backfill units and continue construction. Cap units shall be glued in place at the top of the wall.

Drainage rock shall be directly behind the wall units a minimum 12" thick.

**Geogrid Reinforcing**

The geogrids shall be cut to design lengths and placed between the blocks at the elevations shown on the plans. The geogrid's primary strength direction will be directed perpendicular to the wall face (into the fill.) The geogrids placed outside a plus or minus 4" zone of the geogrid design elevation will not be accepted. The geogrid shall be placed horizontally and lay flat on the reinforced fill soil. The geogrid shall be placed so that a minimum of 8" of grid is between the block layers. Slack in the geogrid shall be removed prior to placing additional backfill.

**Wall Backfill**

Wall backfill material shall be placed in maximum 8" loose lifts and compacted to at least 95% of the material's maximum dry density as determined by the standard Proctor method. Backfill shall be placed, spread, and compacted in such a manner that minimizes wrinkles and movement of the geogrid. Field density testing shall be conducted by a qualified soils technician to verify that at least the minimum degree of compaction is being obtained.

Place 12" of drainage rock behind units. Separate drainage rock and soil with the filter fabric.

During backfill placement the 3 foot zone directly behind the wall shall be limited to the use of hand operated compaction equipment only.

Construction equipment shall not be operated directly on the geogrid.

**Protection of Work**

The surface of the wall backfill shall be graded at the end of each day of work to provide positive surface drainage away from the wall. Grading shall include proper contouring of fills in adjacent areas to prevent the flow of surface water into the reinforced earth zone.

The design of the walls are based on conditions and loads imposed on the wall at completion of the project. Prior to project completion, the wall is vulnerable to damages caused by construction activity adjacent to the wall. Of particular concern is the of grading and pavement construction equipment on the retained backfill at the top of the wall. Only equipment with a weight not exceeding one ton can be used in the 3 foot zone directly behind the back of the wall face.

The soil in front of the walls shall be protected from future erosion.

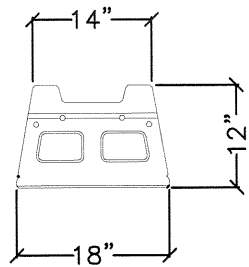
**VERSA-LOK**  
**Square Foot Unit**

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

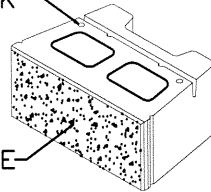
**SPECIFICATIONS**

Sheet 3 of 10

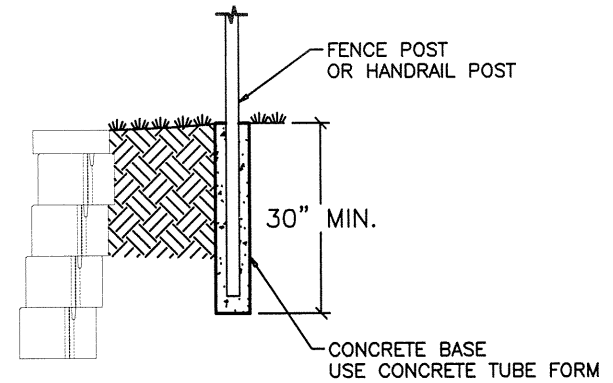
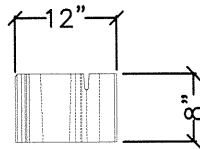
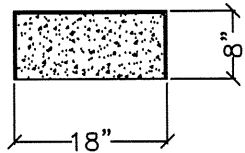
Date: May 2008



PIN HOLES FOR  
1" SETBACK

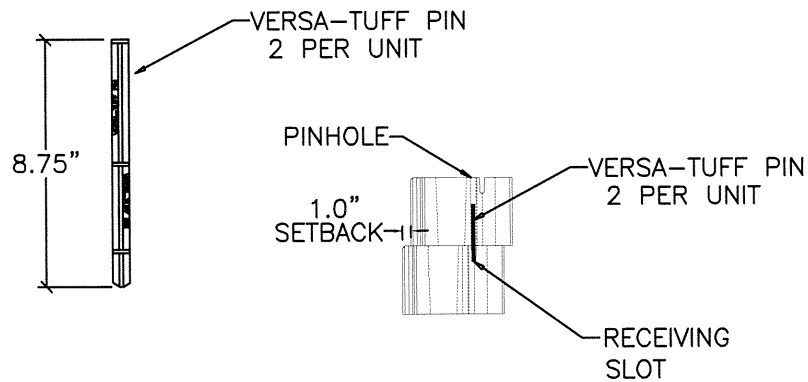


STRAIGHT SPLIT FACE



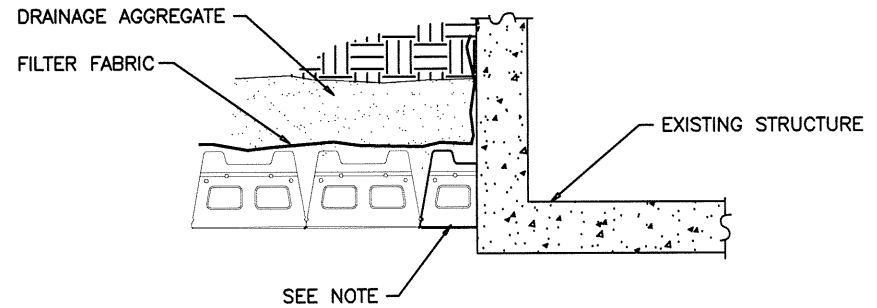
### FENCE DETAIL

NOT TO SCALE



### BLOCK DETAIL

NOT TO SCALE



SEE NOTE

NOTE:

1. AT ABUTMENT, ALTERNATE FULL UNIT WITH HALF UNIT EVERY OTHER COURSE
2. START AT FIXED POINTS AND WORK INTO MIDDLE PART OF WALL.
3. DO NOT ATTATCH VERSA-LOK S.F. UNITS TO OTHER STRUCTURES.

### ABUTMENT DETAIL

NOT TO SCALE

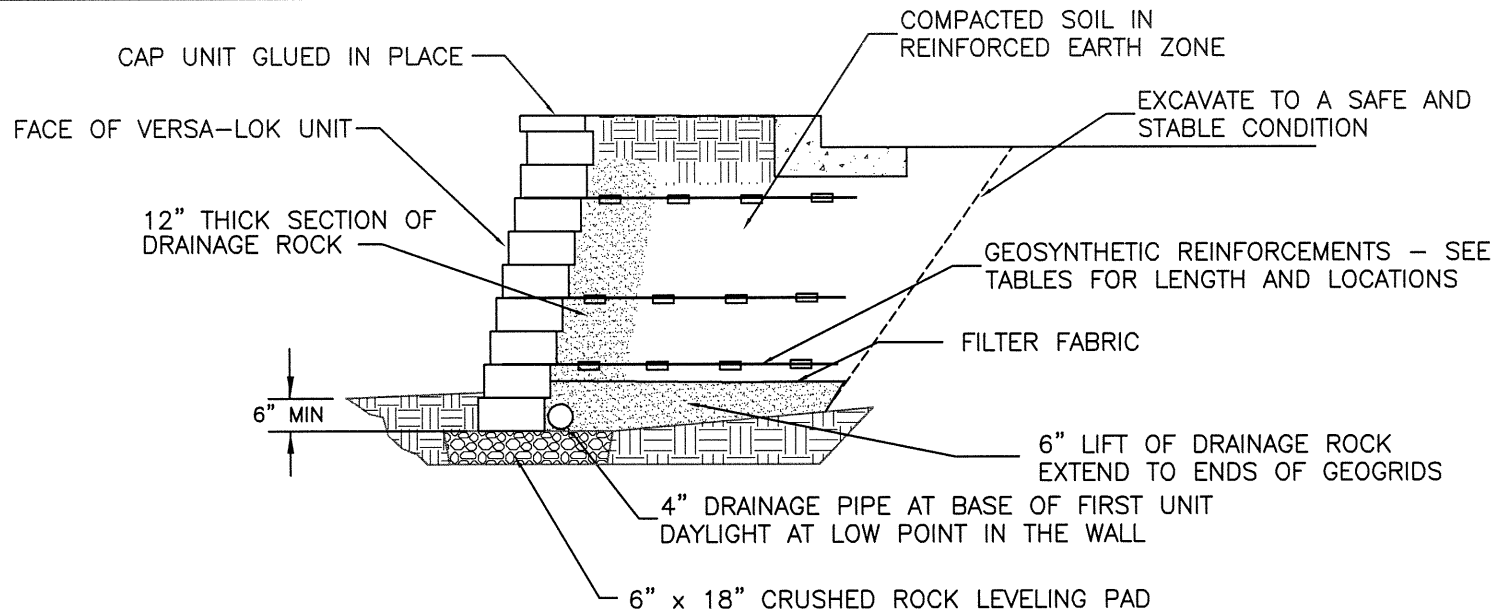
**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

**DETAILS**

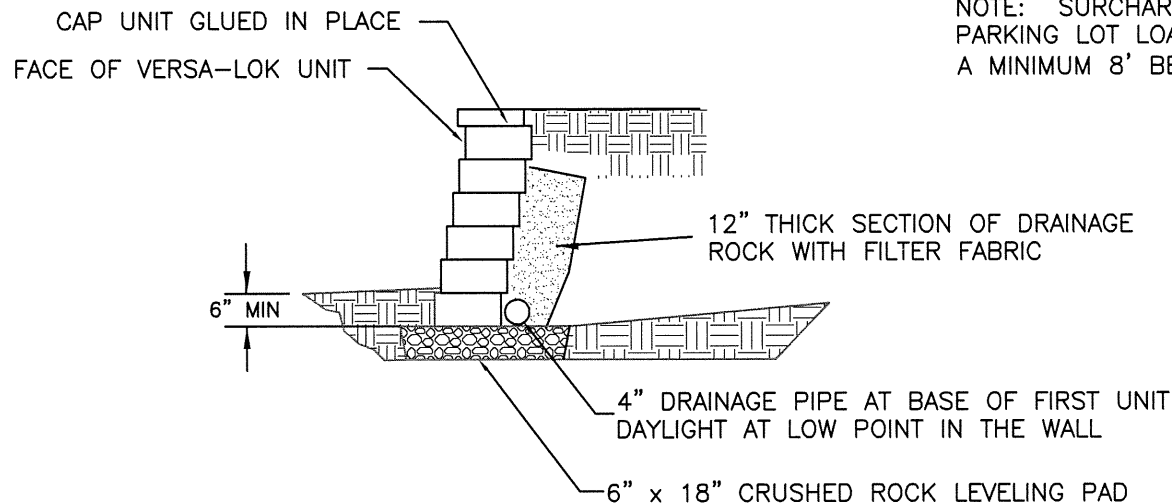
Sheet 4 of 10

Date: May 2008



**TYPICAL SECTION - WITH REINFORCEMENT**

NOT TO SCALE



NOTE: SURCHARGE LOADS OTHER THAN PARKING LOT LOADS MUST BE LOCATED A MINIMUM 8' BEHIND THE WALL FACE.

**TYPICAL SECTION - WITHOUT REINFORCEMENT**

NOT TO SCALE

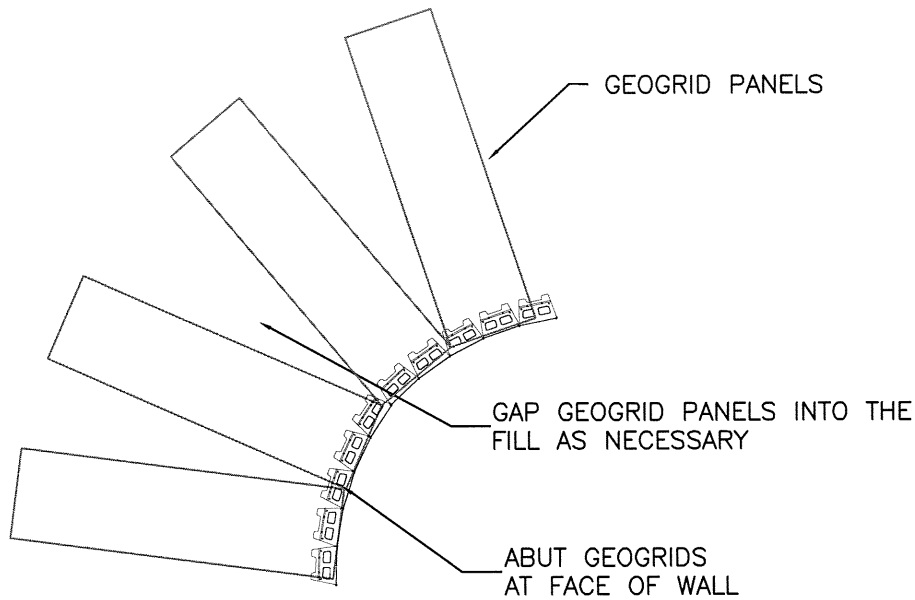
**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

**TYPICAL SECTIONS**

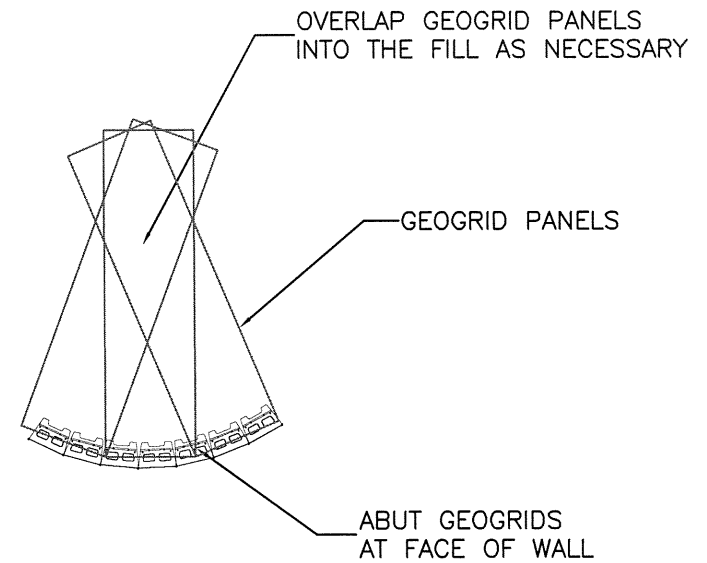
Sheet 5 of 10

Date: May 2008



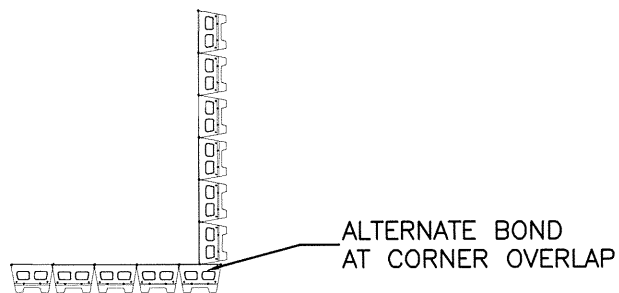
**INSIDE RADIUS DETAIL**

NOT TO SCALE



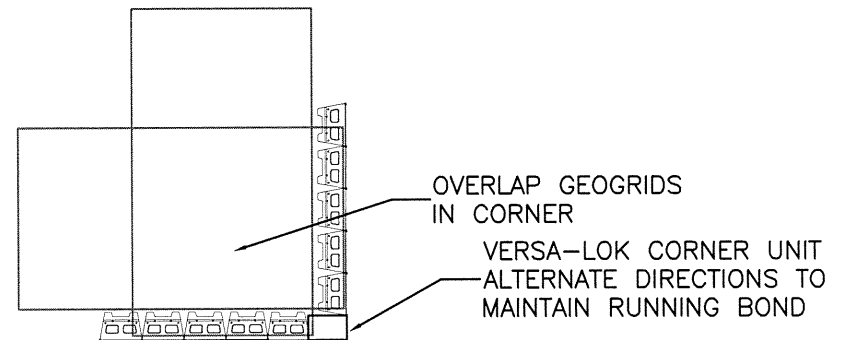
**OUTSIDE RADIUS DETAIL**

NOT TO SCALE



**INSIDE CORNER DETAIL**

NOT TO SCALE



**OUTSIDE CORNER DETAIL**

NOT TO SCALE

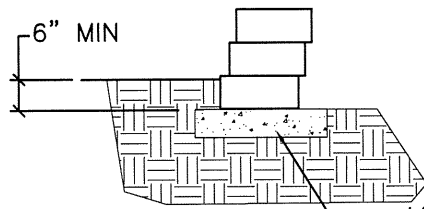
**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

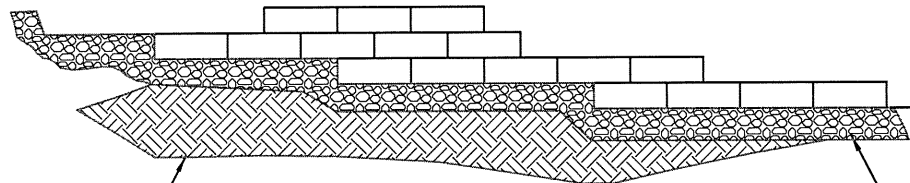
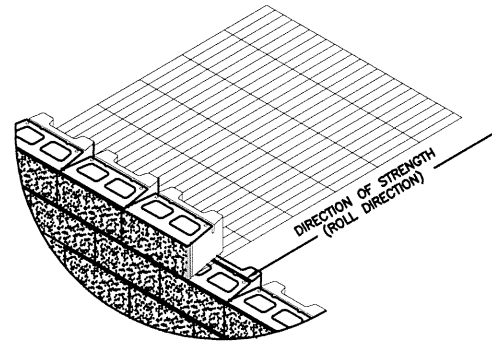
**DETAILS**

Sheet 6 of 10

Date: May 2008

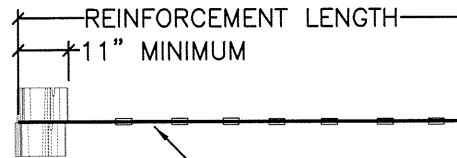


LEVELING PAD MADE FROM  
CRUSHED ROCK OR CONCRETE  
MINIMUM SIZE 6" X 18"



NATIVE SOIL

6" MINIMUM COMPACTED  
GRANULAR BASE



PULL OUT SLACK IN REINFORCEMENT

**LEVELING PAD DETAIL**

NOT TO SCALE

**CONNECTION DETAIL**

NOT TO SCALE

**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

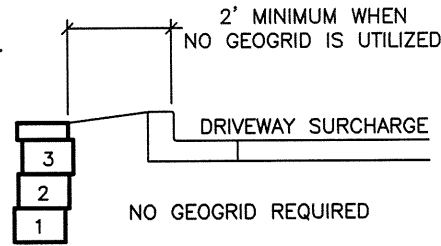
**DETAILS**

Sheet 7 of 10

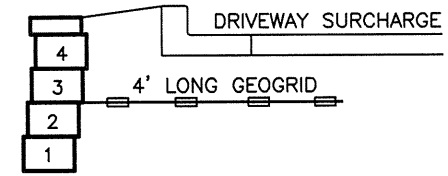
Date: May 2008

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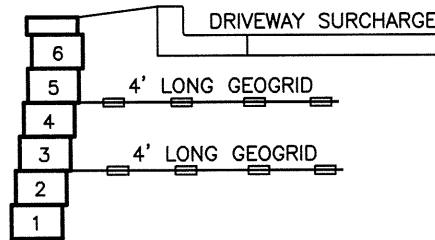
1. GEOGRID LENGTH MEASURED FROM FACE OF WALL.
2. GEOGRIDS ARE MIRAGRID 2XT OR 3XT OR STRATAGRID SG150 OR SG200.
3. WALL HEIGHT MEASURED FROM TOP OF LEVELING PAD.
4. SEE TYPICAL SECTION DETAIL FOR BACKFILL REQUIREMENTS AND CONSTRUCTION NOTES.



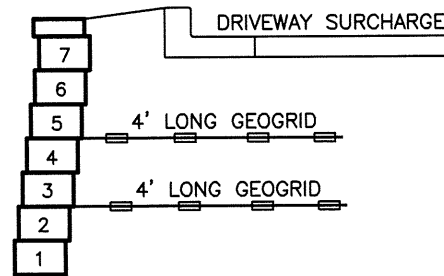
2' TALL WALL



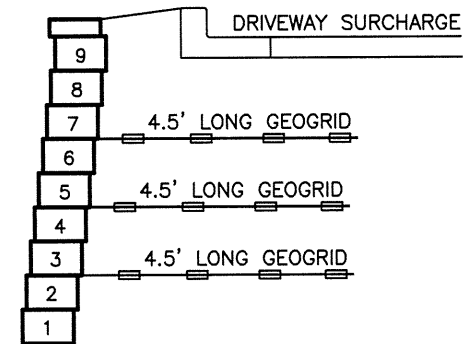
3' TALL WALL



4' TALL WALL



5' TALL WALL



6' TALL WALL

TYPICAL SECTION – DRIVEWAY SURCHARGE

NOT TO SCALE

**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

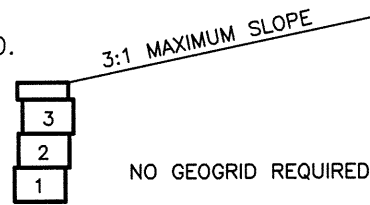
**HORIZONTAL GRADE**

Sheet 8 of 10

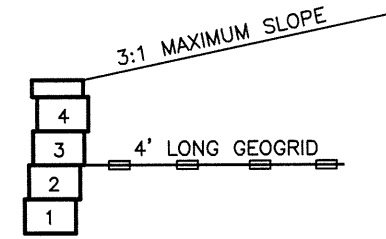
Date: May 2008

NOTES:

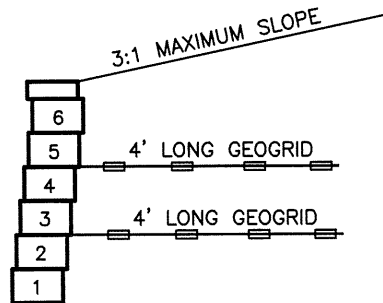
1. GEOGRID LENGTH MEASURED FROM FACE OF WALL.
2. GEOGRIDS ARE MIRAGRID 2XT OR 3XT OR STRATAGRID SG150 OR SG200.
3. WALL HEIGHT MEASURED FROM TOP OF LEVELING PAD.
4. SEE TYPICAL SECTION DETAIL FOR BACKFILL REQUIREMENTS AND CONSTRUCTION NOTES.



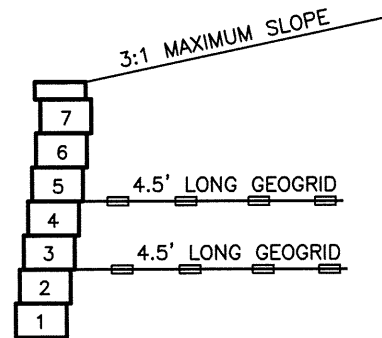
2' TALL WALL



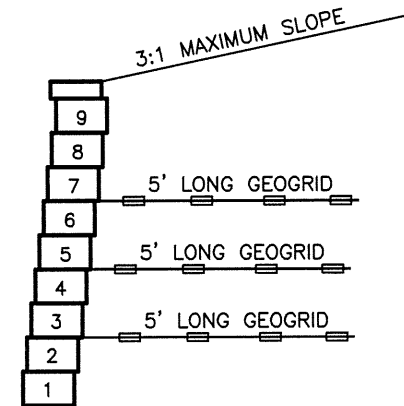
3' TALL WALL



4' TALL WALL



5' TALL WALL



6' TALL WALL

**TYPICAL SECTION – SLOPING FILL**

NOT TO SCALE

**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

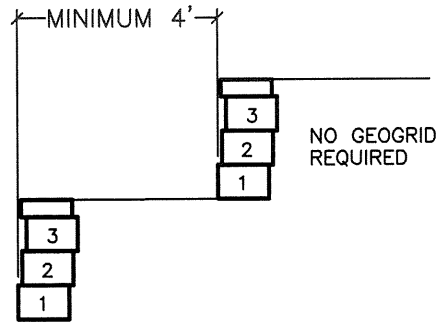
**SLOPING GRADE**

Sheet 9 of 10

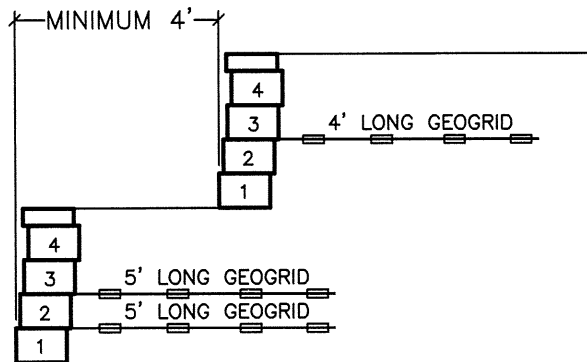
Date: May 2008

NOTES:

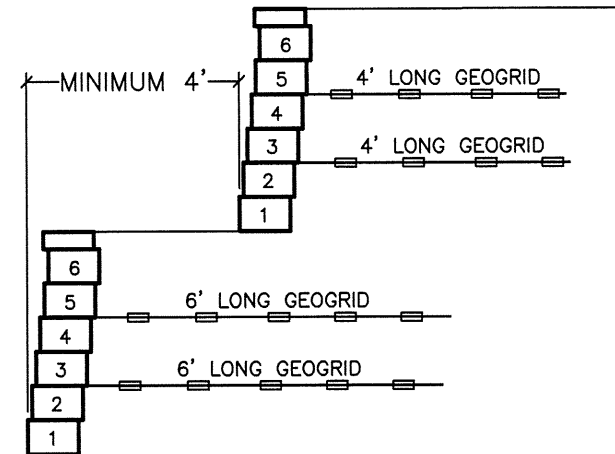
1. GEOGRID LENGTH MEASURED FROM FACE OF WALL.
2. GEOGRIDS ARE MIRAGRID 2XT OR 3XT OR STRATAGRID SG150 OR SG200.
3. WALL HEIGHT MEASURED FROM TOP OF LEVELING PAD.
4. SEE TYPICAL SECTION DETAIL FOR BACKFILL REQUIREMENTS AND CONSTRUCTION NOTES.



**2' TIERED WALLS**



**3' TIERED WALLS**



**4' TIERED WALLS**

**TYPICAL SECTION – TIERED WALLS**

NOT TO SCALE

COMPACTED ROCK BACKFILL  
REQUIRED ON BOTTOM WALL TO  
ENDS OF GEOGRIDS TO REDUCE  
SETTLEMENTS OF UPPER WALL

**VERSA-LOK**  
Square Foot Unit

Kirchner Block and Brick  
12901 St. Charles Rock Rd  
Bridgeton, MO 63044  
314/291-3200  
314/291-0265 fax

**TIERED WALL**

Sheet 10 of 10

Date: May 2008



**STAFF REPORT**  
**PERGOLA**  
**1112 NORTH 4<sup>TH</sup> STREET**  
**CASE NO. EC-2025-057**

**BY TAYLOR MOORE**

---

**APPLICANT:** Jean Giacchi  
1112 North 4th Street  
St. Charles, MO 63301

**OWNER:** Same

**ADDRESS/LOCATION:** 1112 North 4th Street

**ZONING:** R-1E—Single-Family Residential District  
FPD—Frenchtown Preservation District

**USE:** Single-Family Residence

**MEETING DATE:** September 22, 2025

**BACKGROUND**

Built in 1875, the subject property is the 1½, brick French Colonial/Federal influenced styled house located at 1112 North 4<sup>th</sup> Street in the Frenchtown Preservation District. The owners are seeking after-the-fact approval to construct an 8' x 10' pergola on the property. Currently, the subject pergola sits adjacent to the home on an outdoor patio, and was installed last month. Photographs of the pergola, as well as the property, accompany this report.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT**

*C. Architectural Review for Contributing Properties.*

2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

**ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT**

**Chapter IV: Guidelines for Additions**

**Form, Mass and Scale of an Addition**

- 4.7 A new addition shall be subordinate to the historic structure in scale and character.
- 4.8 The addition shall be built in the style and character of other historic additions.
- 4.9 Maintain the historic solid-to-void ratio seen traditionally in the district.

Materials

- 4.17 Materials shall appear similar in character to those used historically.
- a. Using materials that are the same as those employed historically is preferred.
  - b. Substitute materials may be used for replacing individual building elements but shall not be used for the primary building material. For instance, brick should be similar in size to that used historically.
  - c. New materials must have a demonstrated durability in this setting.
  - d. Materials should be used in a manner similar to that used traditionally.
- 4.18 Simple material finishes are required.

**STAFF RECOMMENDATION**

As an accessory structure, the new pergola is required to maintain a minimum setback of 10' from the primary structure. Currently, the pergola is located directly adjacent to the rear elevation of the house but is not physically attached. To comply with district setback requirements, the pergola must either be removed, securely attached to the rear elevation of the dwelling or a variance to the ten (10) foot setback be issued by the Board of Adjustment (as well as proper building code compliance for fire separation). Staff notes that a horizontal trim located on the rear elevation, just below the second-story windows and parallel to the pergola roofline, could serve as a logical location for attachment. This would allow the pergola to be structurally tied to the residence in a manner consistent with the guidelines. Furthermore, a second accessory structure is located within the rear yard. If the pergola becomes attached to the primary structure, this accessory structure will also need to comply with the 10' setback from the edge of the pergola. The materials are appropriate for accessory structures and the pergola is only visible from the alley between North 4<sup>th</sup> and North 3<sup>rd</sup> Streets. Therefore, Staff recommends approval of the pergola, subject to the following conditions:

1. The pergola must either be removed or securely attached to the dwelling.
2. The additional accessory structure must be 10' from the pergola to comply with setback requirements or variance issued for a lessor setback.

**Recommended Motion:**

**Motion to approve the after-the-fact pergola accessory structure at 1112 North 4th Street, subject to the conditions recommended by Staff.**



**Figure 1: Subject property seen from North 4<sup>th</sup> Street.**



**Figure 2: Subject after-the-fact pergola in the rear of property.**



**Figure 3: Pergola and additional accessory structure seen from alley**



Figure 4: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 1112 North 4th Street, Saint Charles MO 63301

**BUSINESS NAME** (if applicable): \_\_\_\_\_

**APPLICANT:**

Joan Giacchi  
(Name)

1112 North 4th Street Saint Charles MO 63301 United States  
(Address)

(917) 674-2836  
(Phone & Email Address)

**PROPERTY OWNER:**

Joan Giacchi  
(Name)

(917) 674-2836  
1112 North 4th Street Saint Charles MO 63301 United States  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

- |   |  |
|---|--|
| <input type="checkbox"/> Commons Preservation District    | <input type="checkbox"/> Extended Historic Preservation District |
| <input type="checkbox"/> Frenchtown Preservation District | <input type="checkbox"/> Historic Downtown Preservation District |
| <input type="checkbox"/> South Main Preservation District |  |

**DATE OF ORIGINAL CONSTRUCTION:** \_\_\_\_\_

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Backyard concrete patio  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: \_\_\_\_\_  
 Construct a new structure: \_\_\_\_\_  
 Demolish or move structure: \_\_\_\_\_  
 Construct a new addition: \_\_\_\_\_  
 New sign or awning: \_\_\_\_\_  
 Site work (patio, fence, etc.): \_\_\_\_\_  
 Other (briefly explain): Pergola kit Cedar, for back patio barbecue grill cover  
\_\_\_\_\_  
\_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

Cedar pergola kit covering barbecue grill not attached to house  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: \_\_\_\_\_  \_\_\_\_\_ Date: 8-26-2025

Signature of the property owner: \_\_\_\_\_  \_\_\_\_\_ Date: \_\_\_\_\_

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

**Site Plan: \$200.00**

**Exterior Changes & Demolitions: \$50.00**

**LANDMARKS BOARD - MINUTES**  
**August 18, 2025**  
**City Council Chambers, Fourth Floor City Hall**  
**200 North Second Street**  
**St. Charles, MO 63301**

**MEMBERS PRESENT**

Steve Martin, Chair  
Jill Ryan, Vice Chair  
Michelle Beucke  
John Donnelly  
Christi Tennyson  
Steve Hollander, Council Liaison

**STAFF PRESENT**

Taylor Moore, Preservation Planner  
John Boyer, Assistant Director of CD

**Absent:** Dave Settle, Tom Smith

On Monday, August 18, 2025, at 6:00 p.m., the City of St. Charles Landmarks Board held its regular monthly meeting in the Council Chambers on the fourth floor of City Hall.

**1. Call to order and call the roll.**

*Chairman Steve Martin called the meeting to order at 6:00 p.m. Secretary Christi Tennyson called the roll. Those in attendance are listed above.*

**2. The Pledge of Allegiance**

**3. Consent Agenda**

- (A) Case No. EC-2025-038 123 North Main Street. John P. Jurgiel. The applicant is requesting approval to install new windows on the rear and side of the building [Historic Downtown District, Ward 1].
- (B) Case No. EC-2025-039 301 First Capitol Drive. Steve Hollander. The applicant is requesting approval to install a new awning on the structure [Extended Historic Preservation District, Ward 2].
- (C) Case No. EC-2025-040 720 South Main Street. Steve Hollander. The applicant is requesting approval to install a dormer on the entryway of the outbuilding on the property [South Main Preservation District, Ward 2].
- (D) Case No. EC-2025-041 814 North 7<sup>th</sup> Street. Scott Doughman. The applicant is requesting approval to replace one window on the dwelling [Commons Preservation District, Ward 1].
- (E) Case No. EC-2025-043 218 Tompkins Street. Jean Crinean. The applicant is requesting approval to replace the existing fence with a new vinyl fence [Extended Historic Preservation District, Ward 2].
- (F) Case No. EC-2025-045 508 Jefferson Street. Steve Hollander. The applicant is requesting to minimize one window on the structure [Extended Historic Preservation District, Ward 2].
- (G) Case No. EC-2025-046 1124 South Benton Avenue. Jones Home Improvement. The applicant is requesting to construct a new deck on the rear of the dwelling [Extended Historic Preservation District, Ward 2].

*Michelle Beucke made a motion to approve the consent agenda. Jill Ryan seconded the motion. Five were in favor, none opposed, one abstained (5-0-1).*

#### 4. Removed Consent Agenda Items

#### 5. Sign Permit Applications

- (A) Sign Permit No. 2025-3445 812 South Main Street. Brittany Smith. The applicant is requesting permission to install a projecting sign for the business “Kairos’s Studios” [South Main Preservation District, Ward 2]. ***Brittany Smith was present to answer questions for the Board. Steve Hollander made a motion to approve the proposed sign. John Donnelly seconded the motion. All were in favor (6-0).***

#### 6. Structure Review

- (A) Case No. EC-2025-035 1114 Lindenwood Avenue. David Capp. The applicant is requesting approval to construct a dormer on the second floor [Extended Historic Preservation District, Ward 1]. ***The applicant was not present to answer questions for the Board. Steve Hollander made a motion to table the application. Michelle Beucke seconded the motion. All were in favor (6-0). The application was tabled to the September 22, 2025 Meeting.***

- (B) Case No. EC-2025-042 1116 North 2<sup>nd</sup> Street. Brandon Eckardt. The applicant is requesting approval to make several exterior alterations to the structure [Frenchtown Preservation District, Ward 1]. ***Brandon Eckardt was present to answer questions for the Board. Christi Tennyson made a motion to approve the exterior alterations. John Donnelly seconded the motion. Five were in favor, none were opposed, one abstained (5-0-1).***

- (C) Case No. EC-2025-044 216 North 10<sup>th</sup> Street. Mason Petrov. The applicant is requesting approval to make several exterior improvements to the dwelling [Extended Historic Preservation District, Ward 2]. ***Mason Petrov was present to answer questions for the Board. The application required four separate motions.***

***Christi Tennyson made a motion to approve the after-the-fact approval of the removal of a full-width porch to a smaller stoop. Steve Hollander seconded the motion. All were in favor (6-0).***

***Steve Hollander made a motion approve the after-the-fact approval of new siding, front door, rear door, and windows on the dwelling. John Donnelly seconded the motion. All were in favor (6-0).***

***Steve Hollander made a motion to approve the installation of a new front façade window and removal of the inappropriate side entry door. Jill Ryan seconded the motion. All were in favor (6-0).***

***Michelle Beucke made a motion to approve the removal of interior chimney. Christi Tennyson seconded the motion. All were in favor (6-0).***

- (D) Case No. SP-2025-08 808 South 6<sup>th</sup> Street. Adam Friend. The applicant is requesting approval to construct a garage addition off the side of the dwelling [Extended Historic Preservation District, Ward 2]. ***Adam Friend was present to answer questions for the Board. Michelle Beucke made a motion to table the application in order to allow the applicant to discuss suggestions with the home owner. Steve Hollander seconded the motion. All were in favor (6-0). The application was tabled till revisions are submitted.***

(E) Case No. SP-2025-09 300 South 5<sup>th</sup> Street. Peter Schwartz. The applicant is requesting approval for the redesigned site plan for First Capitol Place Apartments [Extended Historic Preservation District, Ward 2]. *Peter Schwartz, Robert Mangelsdorf, and Keith Kramer were present to answer questions for the Board. Michelle Beucke made a motion to approve the project updates subject to the conditions recommended by Staff. Jill Ryan seconded the motion. Five were in favor, none opposed, one abstained (5-0-1).*

**7. Announcements/Reports from Officers**

- *Steve Hollander discusses the Project Cumulus withdraw from City Council.*

**8. Staff Reports – N/A**

**9. Approval of July 21, 2025 regular meeting minutes**

*Michelle Beucke made a motion to approve the minutes, Steve Hollander seconded the motion. Five were in favor, none were opposed, and one abstained (5-0-1).*

**10. Adjournment**

*Michelle Beucke made a motion to adjourn, Steve Hollander seconded. All were in favor (6-0). The meeting was adjourned at 7:02p.m.*

\_\_\_\_\_  
SECRETARY

\_\_\_\_\_  
DATE