



# LANDMARKS BOARD

## AGENDA FOR REGULAR MEETING

December 15, 2025

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### LANDMARKS BOARD:

Steve Martin, Chair  
Jill Ryan, Vice Chair  
Michelle Beucke  
Dave Settle  
John Donnelly  
Tom Smith  
Christi Tennyson  
Steve Hollander, Council Liaison

Mesdames and Gentlemen:

On Monday, December 15, 2025, at 6:00 p.m., the City of St. Charles Landmarks Board will hold its regular monthly meeting in the **Council Chambers on the fourth floor of City Hall**, 200 North Second Street, St. Charles, Missouri. The agenda for this meeting is as follows:

- 1. Call to order and call the roll**
- 2. Pledge of Allegiance**
- 3. Consent Agenda**

(A) Case No. EC-2025-065 1400 North 5<sup>th</sup> Street. Dave Dietiker. The applicant is requesting permission to install two new decks off the side and rear of the dwelling [Extended Historic Preservation District, Ward 1].

- 4. Removed Consent Items**
- 5. Sign Permit Applications**
- 6. Structure Review**

(A) Case No. SP-2025-019 571 First Capitol Drive. Steve Hollander. The applicant is requesting permission to construct a new addition and make exterior alterations to the property [Extended Historic Preservation District, Ward 2].

(B) Case No. D-2025-021 1112 Madison Street. Harold Sinn. The applicant is requesting permission to remove an existing garage in rear the property [Extended Historic Preservation District, Ward 2].

(C) Case No. SP-2025-022 1112 Madison Street. Harold Sinn. The applicant is requesting permission to construct a new two-car garage in the rear of the property [Extended Historic Preservation District, Ward 2].

(D) Case No. D-2025-023 2205 North 5<sup>th</sup> Street. Corey Geroski. The applicant is requesting permission to remove the existing dwelling on the property [Extended Historic Preservation District, Ward 1].

- (E) Case No. SP-2025-024 2205 North 5<sup>th</sup> Street. Corey Geroski. The applicant is requesting permission to construct a new single-family dwelling on the property [Extended Historic Preservation District, Ward 1].

7. **Announcements/Report of Officers**
8. **Administrative Item**
9. **Approval of November 17, 2025 regular meeting minutes**
10. **Adjournment**

*The next regular meeting of the Landmarks Board is scheduled for*

*Monday, January 26, 2026 at 6:00pm*

*The submittal deadline for the January 26, 2026 meeting is December 15, 2025.*

*(January 5, 2026 for signs)*

**INCLEMENT WEATHER:** In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

*The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY – for the hearing impaired).*

*The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk's Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.*

**Agenda posted on 12/9/2025 @ 3pm by TRM**



**STAFF REPORT  
CONSTRUCT NEW DECKS  
1400 NORTH 5<sup>TH</sup> STREET  
CASE NO. EC-2025-065**

**BY TAYLOR MOORE**

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**APPLICANT:** Dave Dietiker  
911 Lindmark Drive  
Wentzville, MO 63385

**OWNER:** Andrew Kuhlmann  
1400 North 5<sup>th</sup> Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 1400 North 5th Street

**ZONING:** R-1E—Single-Family Residential District  
EHP—Extended Historic Preservation District

**PROPOSED USE:** Single-Family Residential

**MEETING DATE:** December 15, 2025

**BACKGROUND**

Located at the northeast corner of North Fifth and Wood Streets, the subject property is the 1-story, framed home with an exposed CMU foundation walk-out basement at 1400 North Fifth Street. The dwelling was constructed in 1940, and is located within the Extended Historic Preservation District. The applicant is requesting approval to construct two decks off the dwelling, one located on the side elevation and one on the rear elevation. The property previously contained decks in these same locations, however, they were removed due to significant deterioration. A site plan, elevation drawings, material specifications, and photographs of the property have been provided in support of this application.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340:“EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.**

- A. *Purposes.* The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the city or the state, and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from incongruous development or uses of land.
- B. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**  
**Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

1. Relationship of Buildings to Site
  - d. Without restricting the permissible limits of the application zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relationship of Buildings and Site to Adjoining Area
  - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
  - c. Harmony in texture, lines and masses is required. Monotony shall be avoided.
3. Building Design
  - a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
  - b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
  - c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
  - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
  - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
  - a. Conformance to ordinances and the Appearance Code.
  - b. Logic of design.
  - c. Exterior space utilization.
  - d. Architectural character
  - e. Attractiveness
  - f. Material selection
  - g. Harmony and compatibility
  - i. Maintenance aspects.

### **STAFF RECOMMENDATION**

The proposed decks will closely match the size and placement of the previous deck structures. The deck on the south elevation is proposed to be 14' x 12', while the rear (east elevation) deck will measure 14' x 14'. Both decks will be constructed using composite lumbar decking and will feature black aluminum Westbury Tuscany railings. The most significant modification from the former deck configuration is the addition of a new staircase connecting the side elevation deck to both the driveway and rear deck. This feature will allow the two decks to function cohesively as an interconnected outdoor space. The applicant has also indicated they intend to install a matching aluminum railing along the retaining walls to the driveway, which will be adjacent to the two decks. Staff finds the proposed improvements to be compliant with all applicable setback and zoning requirements, as well as consistent with the design guidelines for the Extended Historic Preservation District. Therefore, Staff recommends approval of the project, as submitted.

### **Recommended Motion:**

**Motion to approve the construction of two new decks at 1400 North 5<sup>th</sup> Street, as submitted.**



**Figure 1: Subject property seen currently from the corner of North 5<sup>th</sup> & Wood Streets**



Figure 2: South Elevation showcasing proposed decks and stairs.

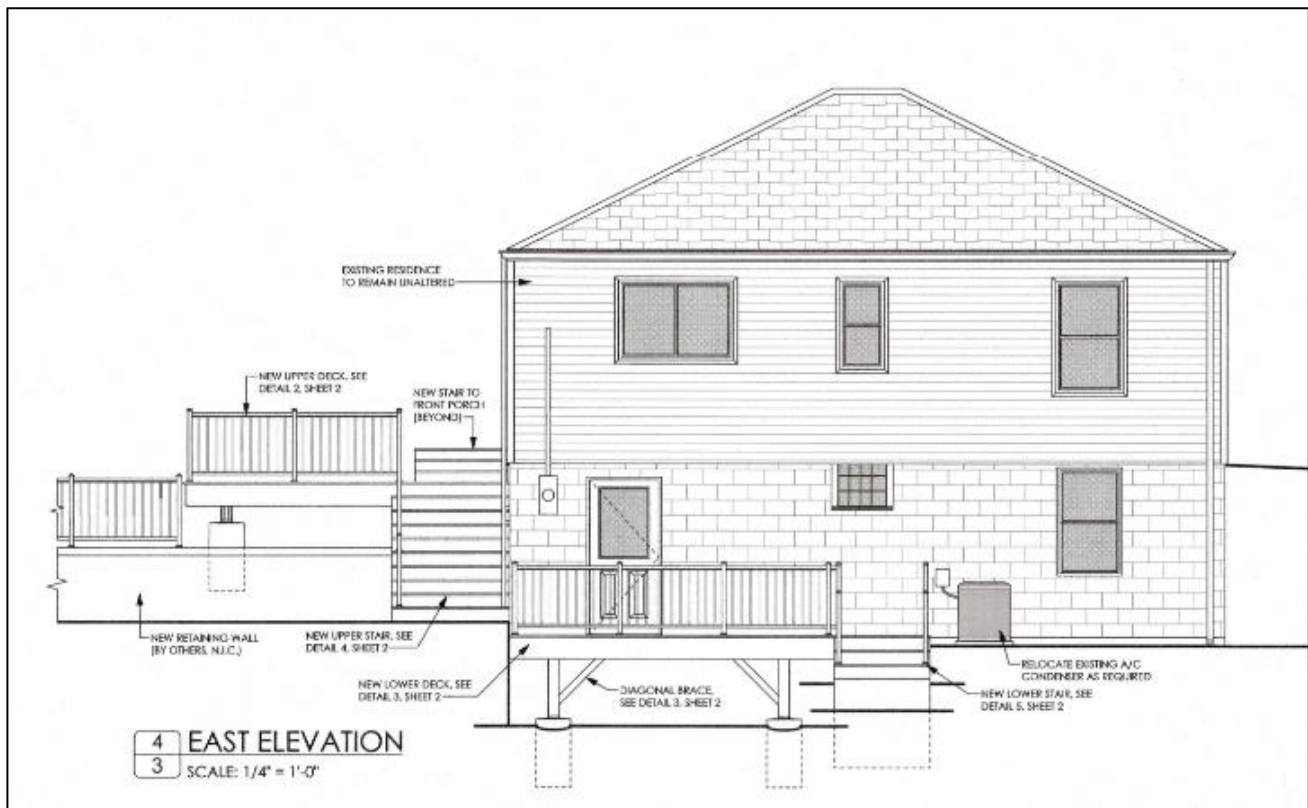


Figure 3: East elevation showcasing new decks and stairs.



Figure 4: North elevation (not visible from North 5<sup>th</sup> Street).

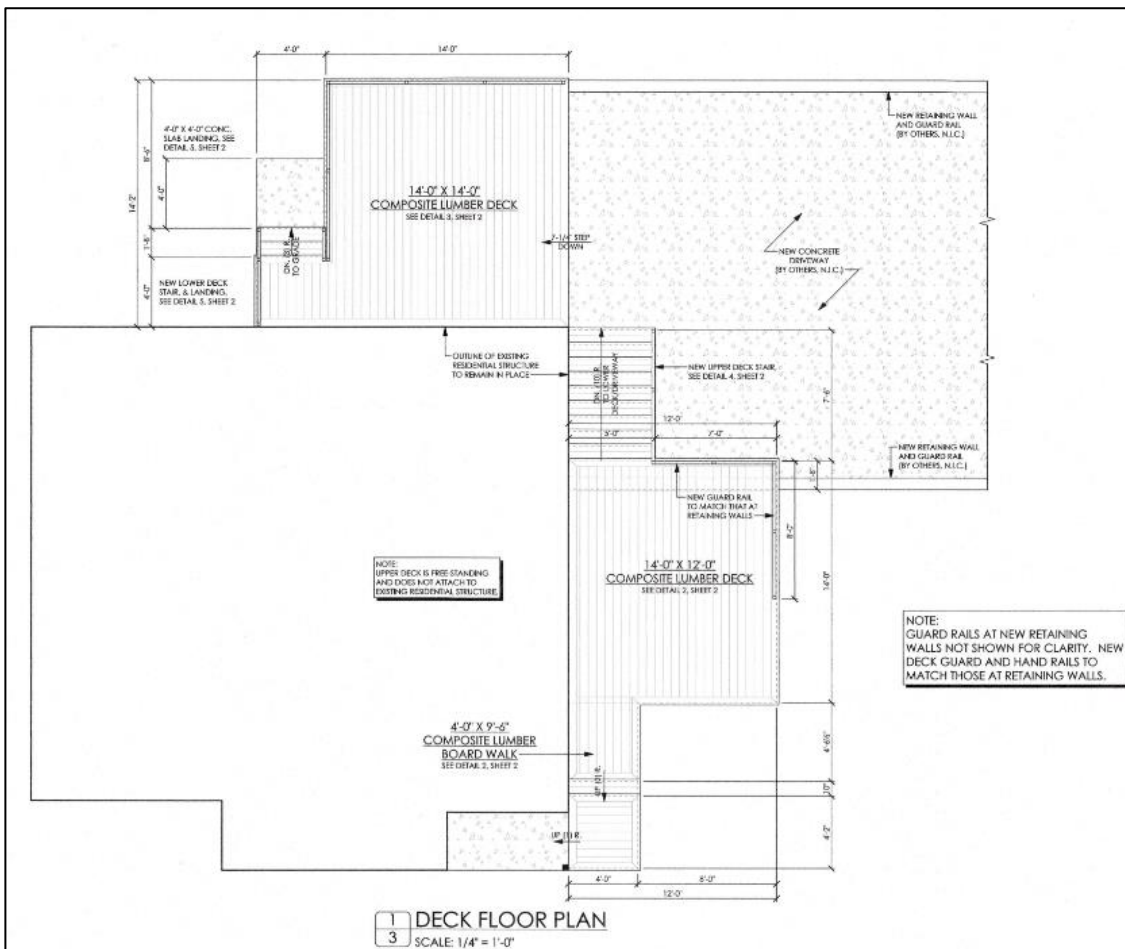


Figure 5: Site plan for new decks and stairs.



**Figure 6: Property viewed from Wood Street looking west.**



**Figure 7: View of property from south side currently.**



Figure 8: Material examples for decks.



Figure 9: Previous decks seen on the property.



Figure 10: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



# DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

## CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1400 N. 5th St. St. Charles MO, 63301

BUSINESS NAME (if applicable): \_\_\_\_\_

**APPLICANT:**

Dave Dietiker  
(Name)

911 Lindmark DR  
(Address)

(Phone & Email Address)

**PROPERTY OWNER:**

Andrew Kuhlmann  
(Name)

1400 North 5th St. St. Charles, MO 63301  
(Address)

(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

- Commons Preservation District
- Frenchtown Preservation District
- South Main Preservation District
- Extended Historic Preservation District
- Historic Downtown Preservation District

DATE OF ORIGINAL CONSTRUCTION: \_\_\_\_\_

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

~~the~~ The Property has a Deck on side and Back. We are just updating with new material.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

- Rehabilitate or restore: \_\_\_\_\_
- Construct a new structure: \_\_\_\_\_
- Demolish or move structure: \_\_\_\_\_
- Construct a new addition: \_\_\_\_\_
- New sign or awning: \_\_\_\_\_
- Site work (patio, fence, etc.): We are replacing the deck and adding a new
- Other (briefly explain): \_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

We are putting new deck on the side and Back same foot print.

Trex Decking and Handrails

**APPLICATION SUBMITTAL:**


Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 11-10-25

Signature of the property owner: 

Date: 11-10-25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>

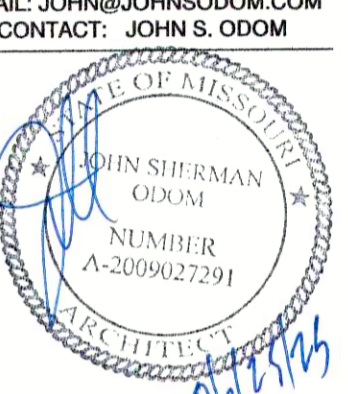


**SPECIAL NOTICES**  
IN THE EVENT THE CLIENT CONSENTS TO, OR ALLOWS, AMENDMENTS OR CHANGES TO ANY DRAWING, SPECIFICATION OR OTHER CONSTRUCTION DOCUMENTS, THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR THE DESIGN PROFESSIONAL'S LIABILITY. THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE DESIGN PROFESSIONAL'S LIABILITY FROM ANY LIABILITY ARISING FROM THE CONSTRUCTION OF THE PROJECT. IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW TO HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE) ARISING FROM SUCH CHANGES.

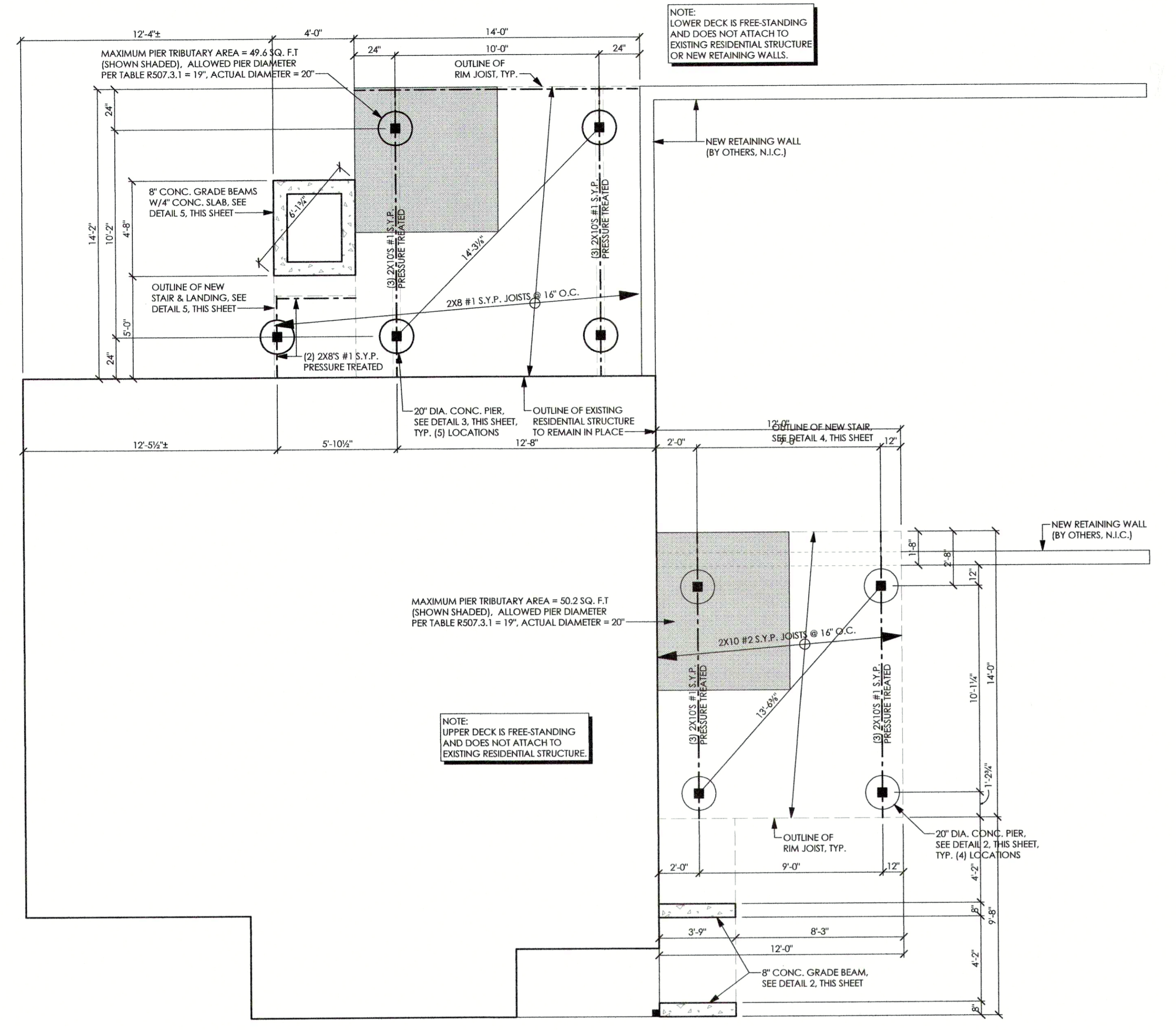
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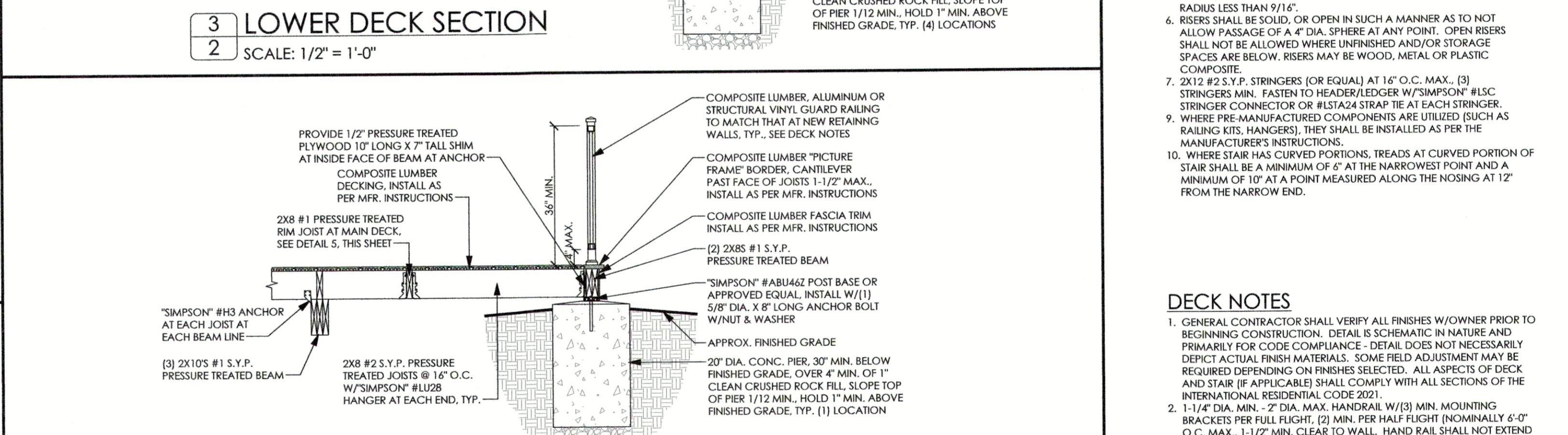
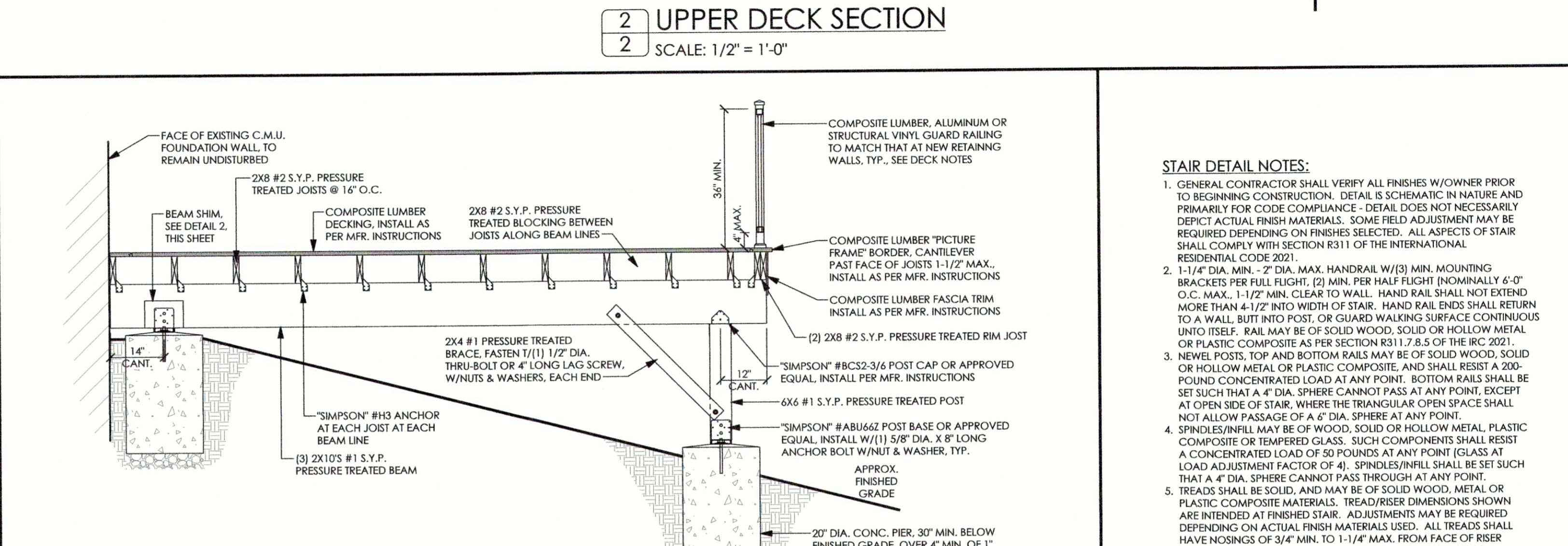
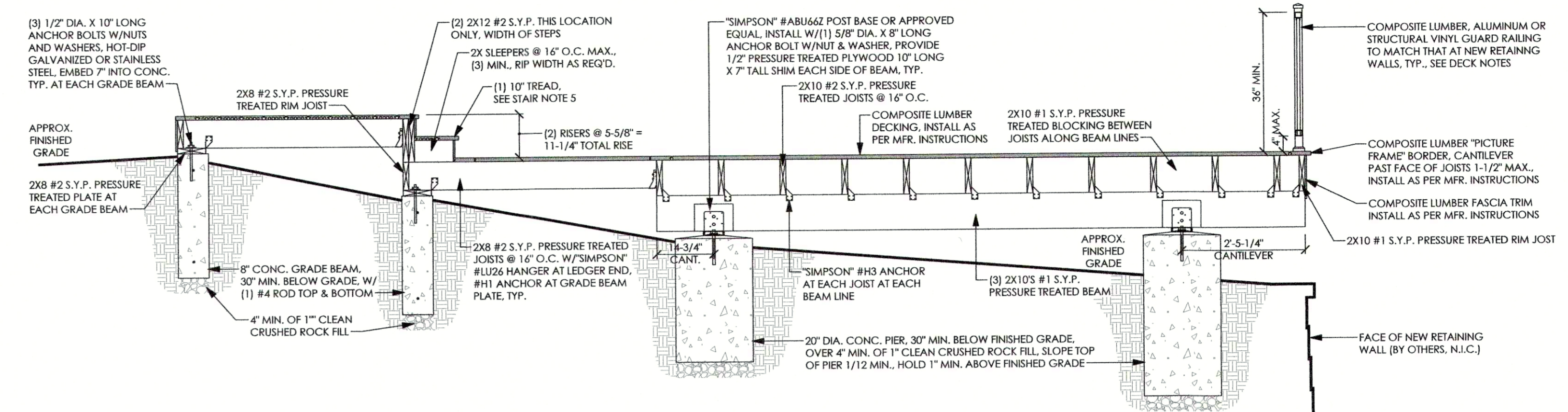
JOHNSODOM.COM  
P.O. BOX 41084  
ST. LOUIS, MISSOURI 63141  
PH. 1.417.343.2912  
WWW.JOHNSTODOM.COM  
EMAIL: JOHN@JOHNSTODOM.COM  
CONTACT: JOHN S. ODUM



MISSOURI LICENSE NUMBER:  
A-200902291  
THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

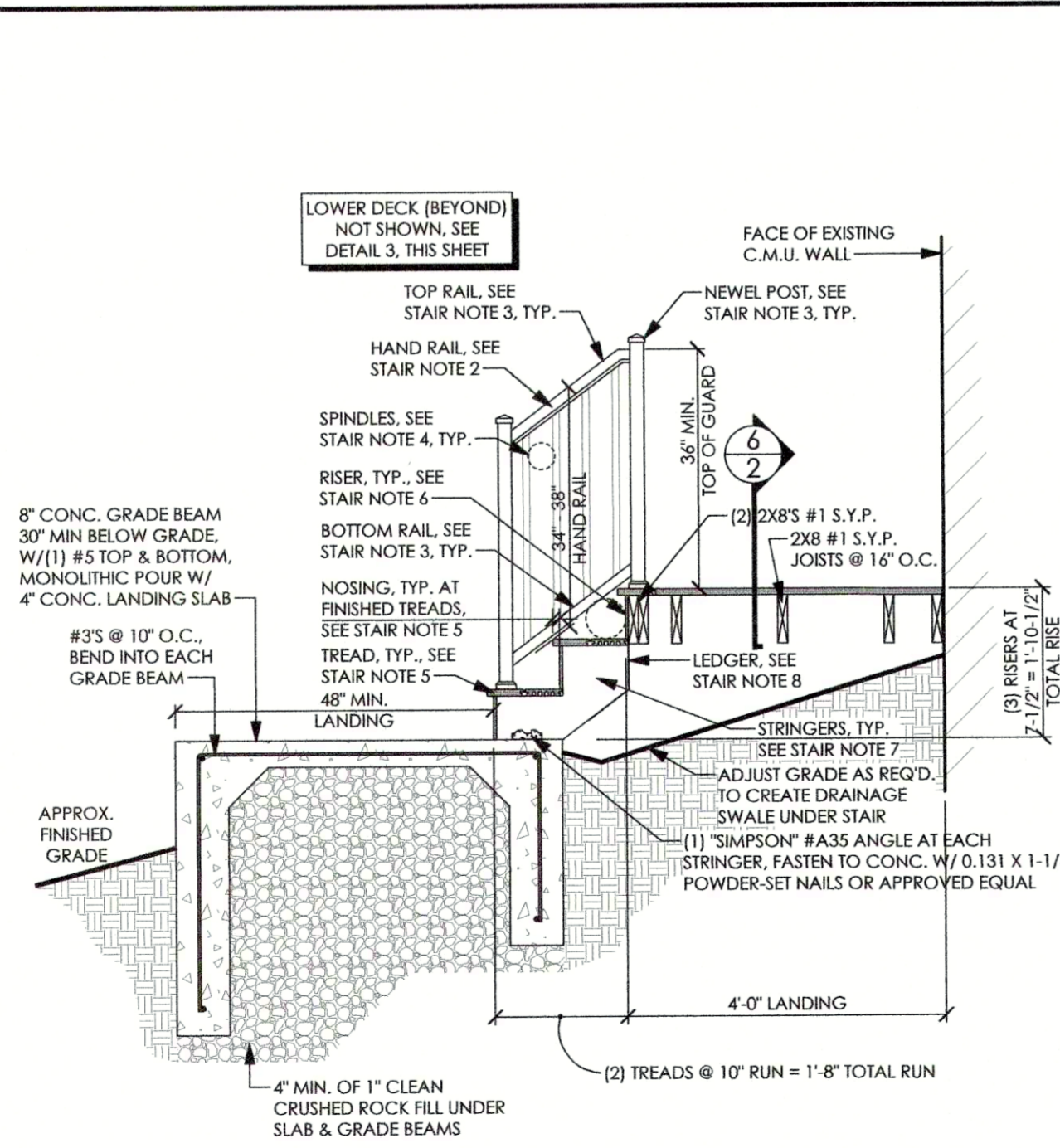
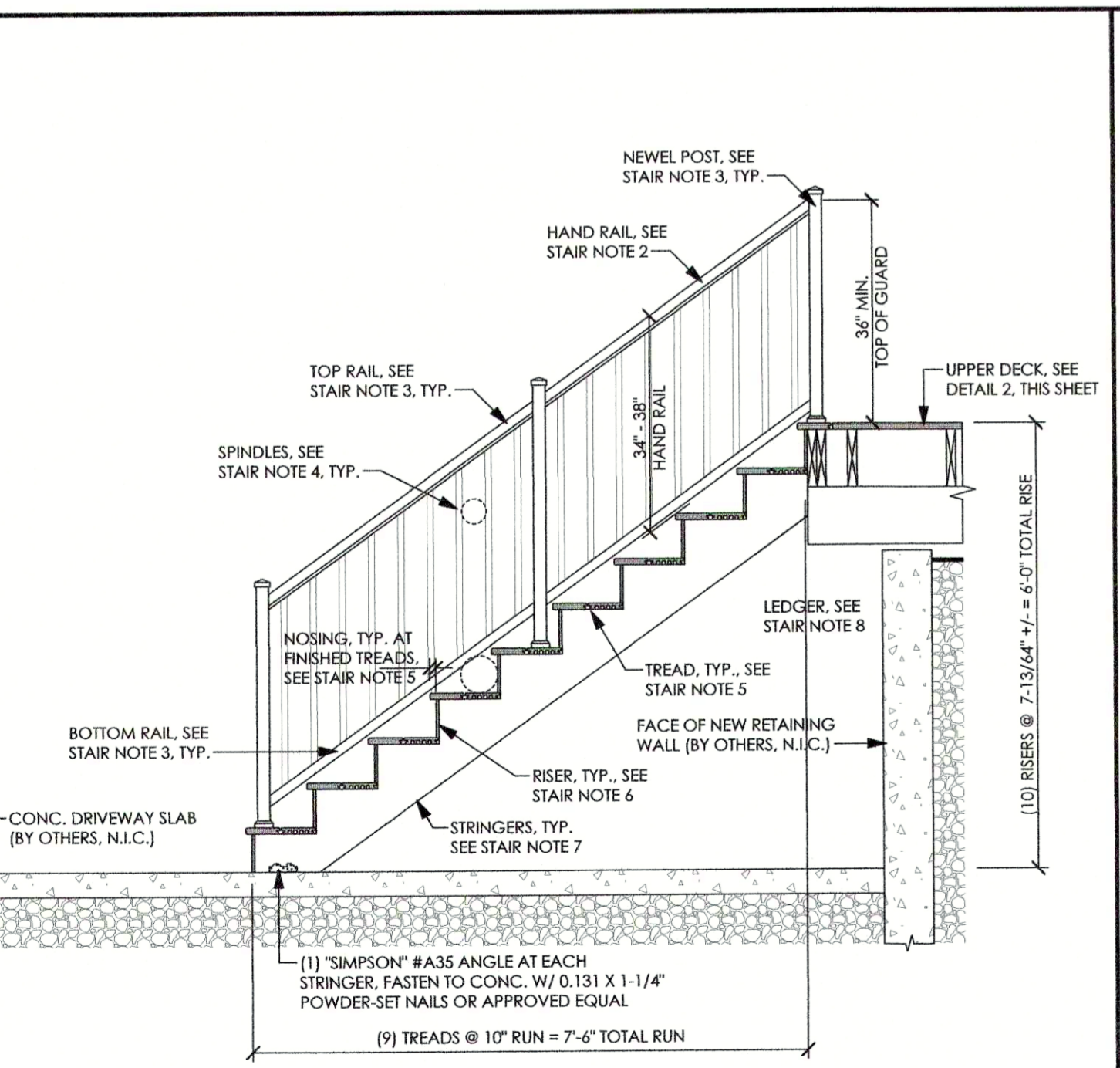


**1 DECK FOUNDATION PLAN**  
**2 SCALE: 1/4" = 1'-0"**



- STAIR DETAIL NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL FINISHES W/OOWNER PRIOR TO BEGINNING CONSTRUCTION. DETAIL IS SCHEMATIC IN NATURE AND PRIMARILY FOR CODE COMPLIANCE. DETAIL DOES NOT NECESSARILY REFLECT ACTUAL FINISH MATERIALS. SOME FIELD ADJUSTMENT MAY BE REQUIRED DEPENDING ON FINISHES SELECTED. ALL ASPECTS OF STAIR SHALL COMPLY WITH SECTION R311 OF THE INTERNATIONAL RESIDENTIAL CODE 2021.
  - 1-1/4" DIA. MIN. - 2" DIA. MAX. HANDRAIL W/ (3) MIN. MOUNTING BRACKETS PER FULL FLIGHT. (2) MIN. PER HALF FLIGHT (NOMINALLY 6'-0" O.C. MAX., 1-1/2" MIN. CLEAR TO WALL. HAND RAIL SHALL NOT EXTEND MORE THAN 4-1/2" INTO WIDTH OF STAIR. HAND RAIL ENDS SHALL RETURN TO A WALL, BUTT INTO POST, OR GUARD WALKING SURFACE CONTINUOUS UNTO ITSELF. RAIL MAY BE OF SOLID WOOD, SOLID OR HOLLOW METAL OR PLASTIC COMPOSITE AS PER SECTION R311.7.8.5 OF THE IRC 2021.
  - NEWEL POSTS, TOP AND BOTTOM RAILS MAY BE OF SOLID WOOD, SOLID OR HOLLOW METAL OR PLASTIC COMPOSITE, AND SHALL RESIST A 200-POUND CONCENTRATED LOAD AT ANY POINT. BOTTOM RAILS SHALL BE SET SUCH THAT A 4" DIA. SPHERE CANNOT PASS AT ANY POINT, EXCEPT AT OPEN SIDE OF STAIR, WHERE THE TRIANGULAR OPEN SPACE SHALL NOT ALLOW PASSAGE OF A 4" DIA. SPHERE AT ANY POINT. OPEN RISERS SHALL NOT BE ALLOWED WHERE UNFINISHED AND/OR STORAGE SPACES ARE BELOW. RISERS MAY BE WOOD, METAL OR PLASTIC COMPOSITE.
  - RISERS SHALL BE SOLID, OR OPEN IN SUCH A MANNER AS TO NOT ALLOW PASSAGE OF A 4" DIA. SPHERE AT ANY POINT. OPEN RISERS SHALL NOT BE ALLOWED WHERE UNFINISHED AND/OR STORAGE SPACES ARE BELOW. RISERS MAY BE WOOD, METAL OR PLASTIC COMPOSITE.
  - TREADS SHALL BE SOLID, AND MAY BE OF SOLID WOOD, METAL OR PLASTIC COMPOSITE MATERIALS. TREAD/RISER DIMENSIONS SHOWN ARE INTENDED AT FINISHED STAIR. ADJUSTMENTS MAY BE REQUIRED DEPENDING ON ACTUAL FINISH MATERIALS USED. ALL TREADS SHALL HAVE NOSINGS OF 3/4" MIN. TO 1-1/4" MAX. FROM FACE OF RISER BELOW. NOSING PROFILE SHALL BE A BEVEL LESS THAN 1/2" OR A RADIUS LESS THAN 9/16".
  - RISERS SHALL BE SOLID, OR OPEN IN SUCH A MANNER AS TO NOT ALLOW PASSAGE OF A 4" DIA. SPHERE AT ANY POINT. OPEN RISERS SHALL NOT BE ALLOWED WHERE UNFINISHED AND/OR STORAGE SPACES ARE BELOW. RISERS MAY BE WOOD, METAL OR PLASTIC COMPOSITE.
  - 2X12 #2 S.Y.P. STRINGERS (OR EQUAL) AT 16" O.C. MAX. (3) STRINGERS MIN. FASTEN TO HEADER/LEDGER W/ SIMPSON #15C STRINGER CONNECTOR OR #15A24 STRAP 1E AT EACH STRINGER.
  - WHERE PRE-MANUFACTURED COMPONENTS ARE UTILIZED (SUCH AS RAILING KITS, HANGERS), THEY SHALL BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
  - WHERE STAIR HAS CURVED PORTIONS, TREADS AT CURVED PORTION OF STAIR SHALL BE A MINIMUM OF 6" AT THE NARROWEST POINT AND A MINIMUM OF 10" AT A POINT MEASURED ALONG THE NOSING AT 1/2" FROM THE NARROW END.

- DECK NOTES**
- GENERAL CONTRACTOR SHALL VERIFY ALL FINISHES W/OOWNER PRIOR TO BEGINNING CONSTRUCTION. DETAIL IS SCHEMATIC IN NATURE AND PRIMARILY FOR CODE COMPLIANCE. DETAIL DOES NOT NECESSARILY REFLECT ACTUAL FINISH MATERIALS. SOME FIELD ADJUSTMENT MAY BE REQUIRED DEPENDING ON FINISHES SELECTED. ALL ASPECTS OF DECK AND STAIR (IF APPLICABLE) SHALL COMPLY WITH ALL SECTIONS OF THE INTERNATIONAL RESIDENTIAL CODE 2021.
  - 1-1/4" DIA. MIN. - 2" DIA. MAX. HANDRAIL W/ (3) MIN. MOUNTING BRACKETS PER FULL FLIGHT. (2) MIN. PER HALF FLIGHT (NOMINALLY 6'-0" O.C. MAX., 1-1/2" MIN. CLEAR TO WALL. HAND RAIL SHALL NOT EXTEND MORE THAN 4-1/2" INTO WIDTH OF STAIR. HAND RAIL ENDS SHALL RETURN TO A WALL, BUTT INTO POST, OR GUARD WALKING SURFACE CONTINUOUS UNTO ITSELF. RAIL MAY BE OF SOLID WOOD, SOLID OR HOLLOW METAL OR PLASTIC COMPOSITE AS PER SECTION R311.7.8.5 OF THE IRC 2021.
  - NEWEL POSTS, TOP AND BOTTOM RAILS MAY BE OF SOLID WOOD, SOLID OR HOLLOW METAL OR PLASTIC COMPOSITE, AND SHALL RESIST A 200-POUND CONCENTRATED LOAD AT ANY POINT. BOTTOM RAILS SHALL BE SET SUCH THAT A 4" DIA. SPHERE CANNOT PASS AT ANY POINT, EXCEPT AT OPEN SIDE OF STAIR, WHERE THE TRIANGULAR OPEN SPACE SHALL NOT ALLOW PASSAGE OF A 4" DIA. SPHERE AT ANY POINT.
  - SPINDLES/INFL MAY BE OF WOOD, SOLID OR HOLLOW METAL, PLASTIC COMPOSITE OR TEMPERED GLASS. SUCH COMPONENTS SHALL RESIST A CONCENTRATED LOAD OF 50 POUNDS AT ANY POINT (GLASS AT LOAD ADJUSTMENT FACTOR OF 4). SPINDLES/INFL SHALL BE SET SUCH THAT A 4" DIA. SPHERE CANNOT PASS THROUGH AT ANY POINT.
  - TREADS SHALL BE SOLID, AND MAY BE OF SOLID WOOD, METAL OR PLASTIC COMPOSITE MATERIALS. TREAD/RISER DIMENSIONS SHOWN ARE INTENDED AT FINISHED STAIR. ADJUSTMENTS MAY BE REQUIRED DEPENDING ON ACTUAL FINISH MATERIALS USED. ALL TREADS SHALL HAVE NOSINGS OF 3/4" MIN. TO 1-1/4" MAX. FROM FACE OF RISER BELOW. NOSING PROFILE SHALL BE A BEVEL LESS THAN 1/2" OR A RADIUS LESS THAN 9/16".
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  - 2X12 #2 S.Y.P. STRINGERS (OR EQUAL) AT 16" O.C. MAX. (3) STRINGERS MIN. FASTEN TO HEADER/LEDGER W/ SIMPSON #15C STRINGER CONNECTOR OR #15A24 STRAP 1E.
  - WHERE PRE-MANUFACTURED COMPONENTS ARE UTILIZED (SUCH AS RAILING KITS, HANGERS), THEY SHALL BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
  - WHERE STAIR HAS CURVED PORTIONS, TREADS AT CURVED PORTION OF STAIR SHALL BE A MINIMUM OF 6" AT THE NARROWEST POINT AND A MINIMUM OF 10" AT A POINT MEASURED ALONG THE NOSING AT 1/2" FROM THE NARROW END.
  - DECKING SHALL BE 2X6 MINIMUM DIMENSIONAL LUMBER OR WOOD/PLASTIC COMPOSITE LUMBER. COMPOSITES SHALL BE INSTALLED AS PER MFR. INSTRUCTIONS. DIMENSIONAL LUMBER SHALL BE S4S AT ALL WALKING SURFACES AND EITHER NATURALLY RESISTANT TO ROT OR TREATED TO RESIST ROT. FOR DECKING PLANKS SET AT ANGLES NOT PERPENDICULAR TO DECK FLOOR JOISTS, JOIST SPACING SHALL BE ADJUSTED AS PER COMPOSITE MANUFACTURER INSTRUCTIONS OR 12" O.C. (WHICHEVER IS LESS) REGARDLESS OF WHAT MAY BE CALLED OUT ELSEWHERE ON THESE DRAWINGS.



PROJECT:  
**STRUCTURE SOLUTIONS, L.L.C.**  
**NEW DECKS AT**  
**KUHLMANN RES.**

LOCATION:  
1400 N. 5TH STREET  
ST. CHARLES  
MISSOURI 63301

SHEET NAME:  
PIER PLAN & DETAILS

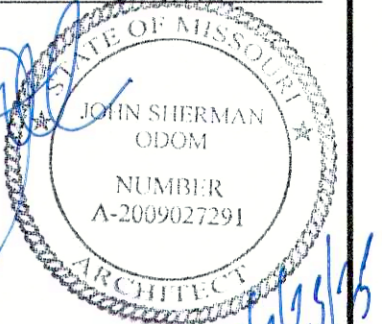
REVISION	DATE	BY

SHEET: **2** PROJECT NO: 25-013  
DATE: 6/25/2025  
Designed By: VEG  
Drawn By: VEG  
Checked By: VEG

**SPECIAL NOTICES**  
IN THE EVENT THE CLIENT CONSENTS TO ALLOW, ALTERATIONS OR APPROVES CHANGES TO ANY PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS, AND THESE CHANGES ARE NOT APPROVED IN WRITING BY THE DESIGN PROFESSIONAL, THE CLIENT RECOGNIZES THAT SUCH CHANGES ARE NOT APPROVED BY THE DESIGN PROFESSIONAL AND THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF SERVICE) ARISING FROM SUCH CHANGES.  
IN ADDITION, THE CLIENT AGREES TO RELEASE THE DESIGN PROFESSIONAL FROM ANY LIABILITY ARISING FROM THE PROFESSIONAL'S NEGLIGENCE OR FROM ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF SERVICE) ARISING FROM SUCH CHANGES.  
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**JSO SERVICES, L.L.C.**  
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ST. LOUIS, MISSOURI 63141  
PH. 1.417.343.2802  
WWW.JOHNSDODOM.COM  
EMAIL: JOHN@JOHNSDODOM.COM  
CONTACT: JOHN S. ODOM



MISSOURI LICENSE NUMBER:  
A-2009027291  
THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

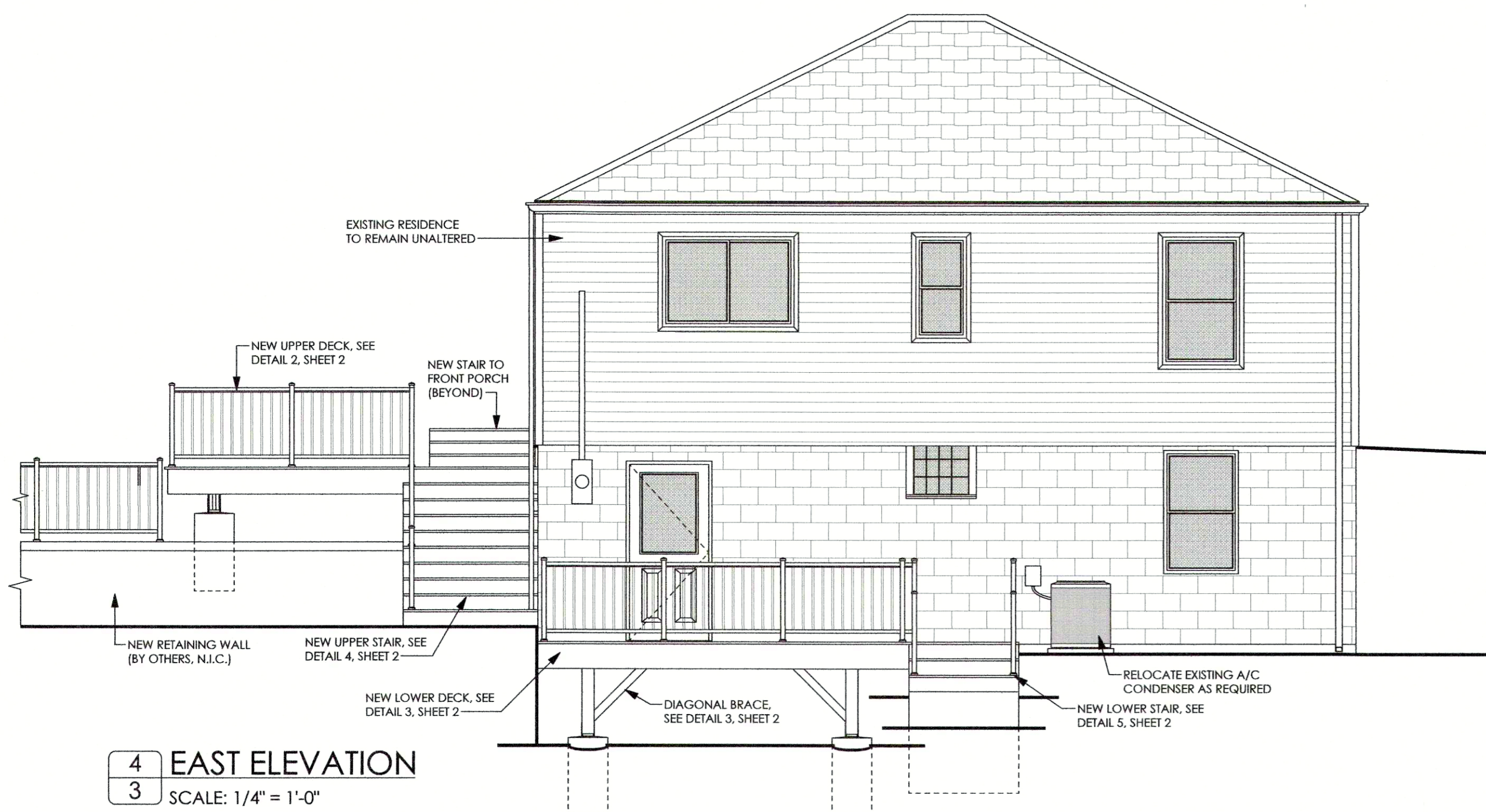
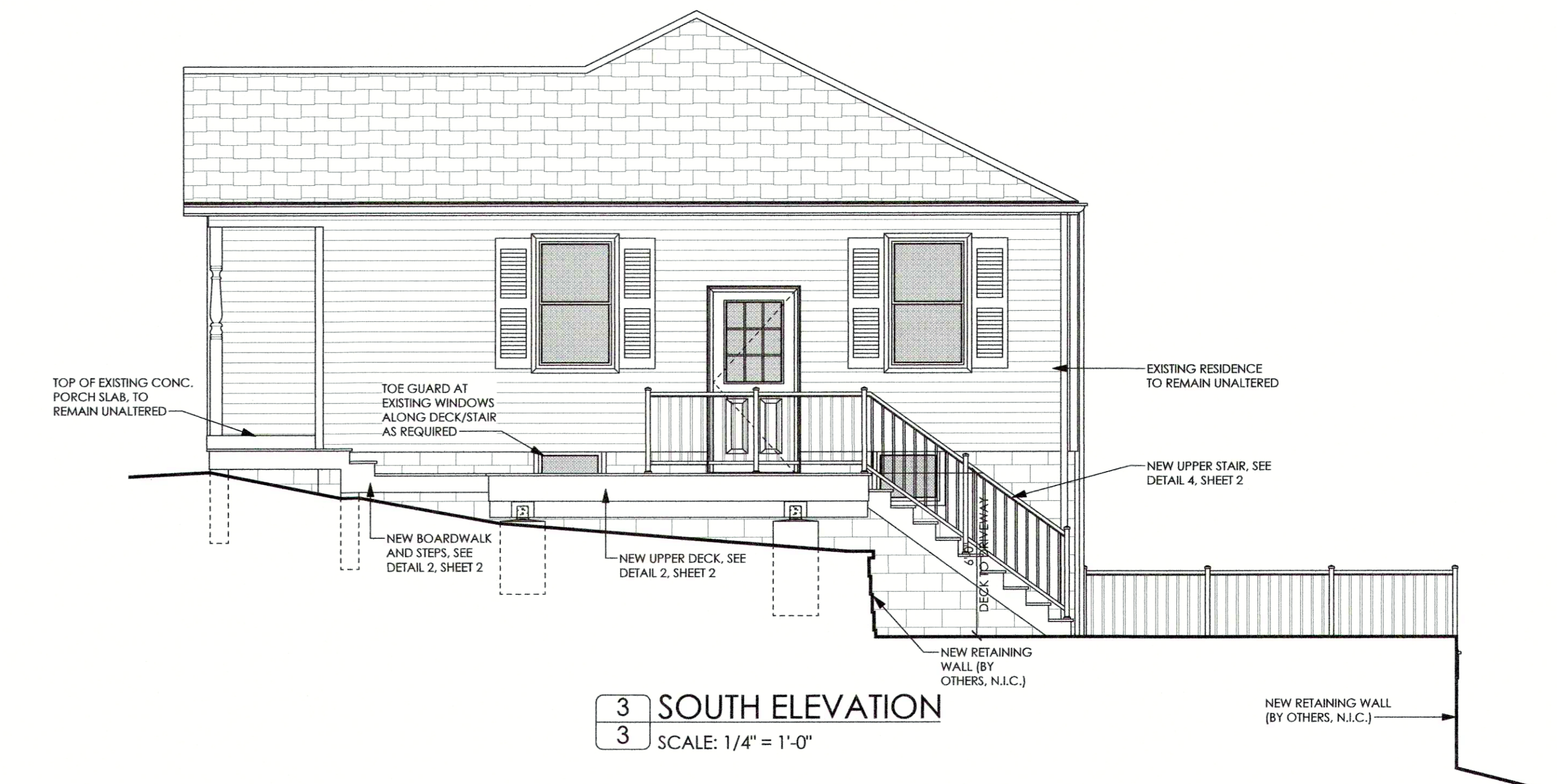
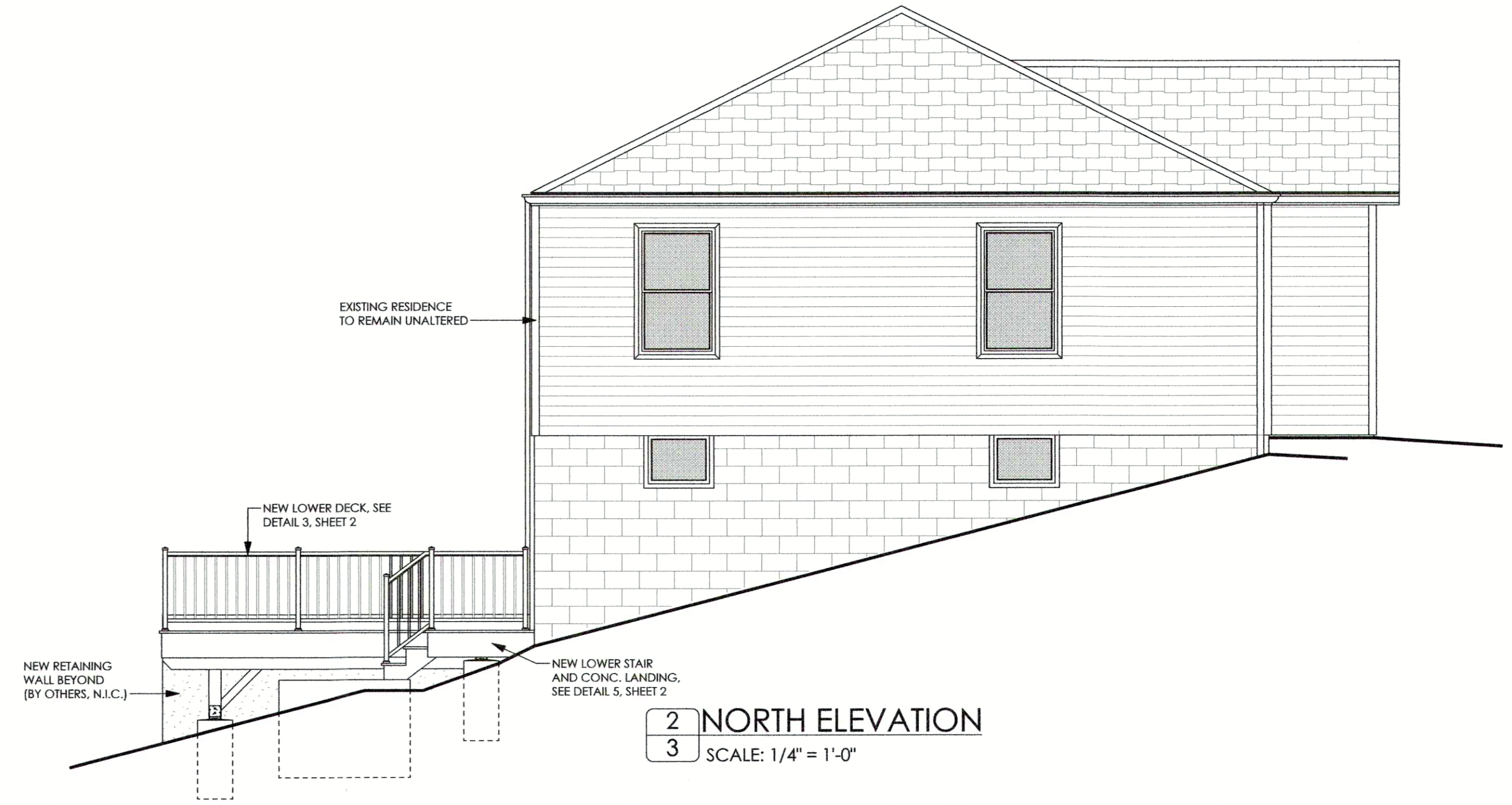
PROJECT:  
**STRUCTURE SOLUTIONS, L.L.C.  
NEW DECKS AT  
KUHLMANN RES.**

LOCATION:  
1400 N. 5TH STREET  
ST. CHARLES  
MISSOURI 63301

SHEET NAME:  
**PRELIMINARY  
DECK PLAN AND  
ELEVATIONS**

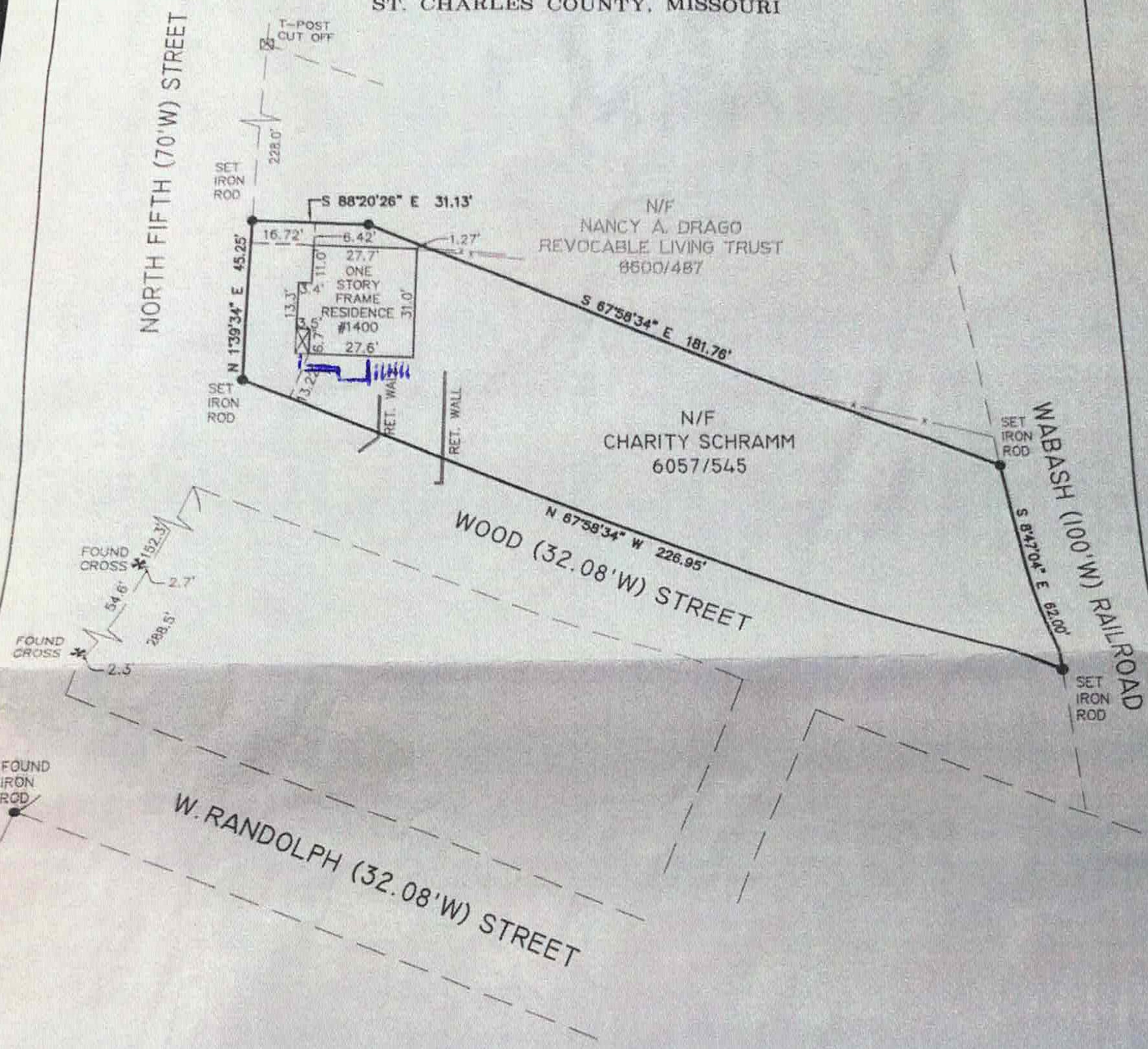
REVISION	

SHEET	PROJECT NO: 25-013
<b>3</b>	DATE: 6/23/2025
	Designed By: VEG
	Drawn By: VEG
	Checked By:



170245.DWG

# PART OF CITY BLOCK 114 CITY OF ST. CHARLES D.B. 6057, PG. 545 ST. CHARLES COUNTY, MISSOURI



## Boundary and Improvement Survey

This is to certify that at the request of CHARITY SCHRAMM, we have during JULY, 2017 executed a Boundary and Improvement Survey on PART OF CITY BLOCK 114. The results reflect the conditions found at the time of the survey, are correctly shown above, and conform to the Current Minimum Standards for Urban Class Property Boundary Surveys as issued by the Missouri Department of Natural Resources and the Missouri Board of Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects. This survey was conducted under the immediate personal supervision of the undersigned Professional Land Surveyor. The easements, restrictions, and building lines shown are based on record plat information or on information supplied by the client. No investigation has been made by St. Charles Engineering and Surveying, Inc. as to the present status of any easements, restrictions, or building lines, shown or not shown, affecting the tract surveyed.

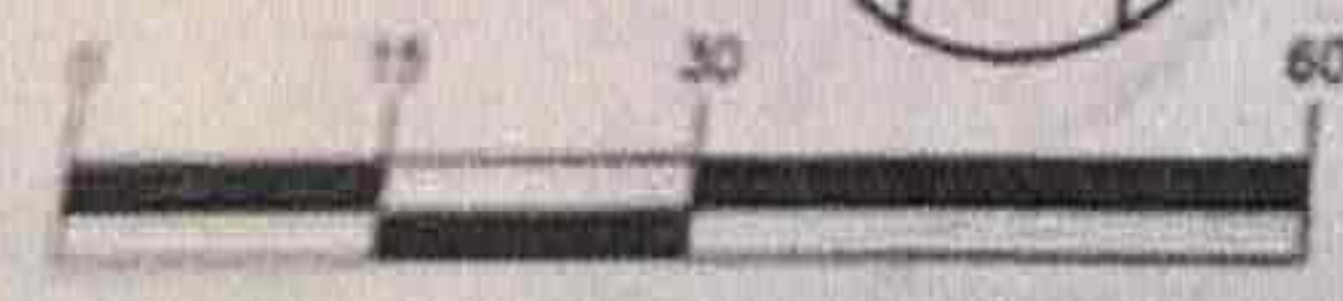
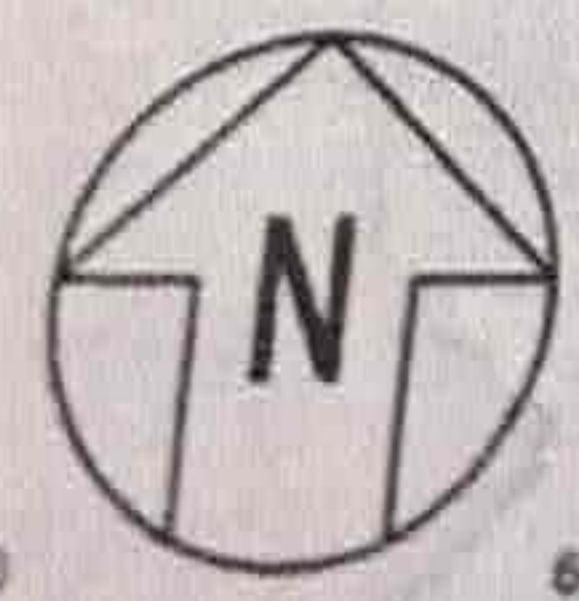


7-28-17

RICHARD KEITH SIECKMANN, MO. P.L.S. 2002014094 DATE

SCALE

1" = 30'



REVISED



ST. CHARLES ENGINEERING & SURVEYING, INC.  
801 S. FIFTH STREET, SUITE 202  
ST. CHARLES, MO 63301  
TEL:(636) 947-0607 FAX:(636) 947-2448

SHEET 1 OF 1

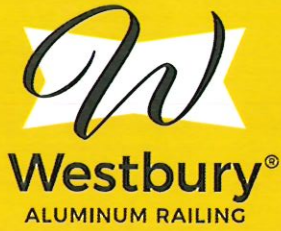
ORDER NO. 17-0245

DATE 7/28/2017









*Welcome Home*



**Digger  
Specialties  
Inc.**

*Transforming the Outdoor Living Experience™*



# Tuscany Aluminum Railing



**Tuscany (C10)**  
3/4" x 3/4" Square Baluster



**Tuscany (C101)**  
3/4" Round Baluster

CCRR-0163 Complies with IBC, IRC, and FBC. Miami-Dade County Approved for 4' through 6' Sections.  
For code compliance information visit [westburyrailing.com](http://westburyrailing.com)

## Tuscany Series Boxed Kit Specifications

Boxed Kits Include: Rails, Balusters, Mounts (4), and Installation Instructions.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight	•	•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair	•	•	•	•	•	•	•

## Tuscany (C10) Assembled Specifications

Sections Include: Factory Assembled Section (Compatible with Assembled Posts) and Installation Instructions.

Sections are available in four Powdered Coated Colors: Black Fine Texture, Bronze Fine Texture, White Fine Texture, and Gloss White.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight		•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair			•		•	•	•



3' x 3' Welded Corner



Special Order Radius Sections

# POSTS WITH PLATES



	Residential 2" Post (.090" wall)	Residential 2" Crossover Post (.090" wall)	Residential 2" Corner Crossover Post (.090" wall)	2" Heavy Duty Post (.093" wall)	2" Heavy Duty Crossover Post (.093" wall)
Heights	37", 43", 47", 53"	36", 42"	36", 42"	37", 43", 47", 53"	36", 42"
Post Kit Available	•	•	•	•	•
Code Compliance				IRC Approved	IRC Approved



	2" Heavy Duty Corner Crossover Post (.093" wall)	2-1/2" Post (.125" wall)	2-1/2" Power Post (.125" wall)	2-1/2" Crossover Power Post (.125" wall)	2-1/2" Corner Crossover Power Post (.125" wall)
Heights	36", 42"	37", 43", 47", 53"	37", 43", 47", 53"	36", 42"	36", 42"
Post Kit Available	•		•	•	•
Code Compliance	IRC Approved		IRC, IBC, and Miami Dade Approved	IRC, IBC, and Miami Dade Approved	



	3" Post (.095" wall)	4" Post (.125" wall)	4" Deco Post (.090" wall)	6" Post (.110" wall)	6" Deco Post (.090" wall)
Heights	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"
Post Kit Available	•	•			
Code Compliance	IRC Approved	IRC and IBC Approved		IRC Approved	

Products / Decking / Enhance® / Trex Enhance® Composite Deck Samples



*Decking*



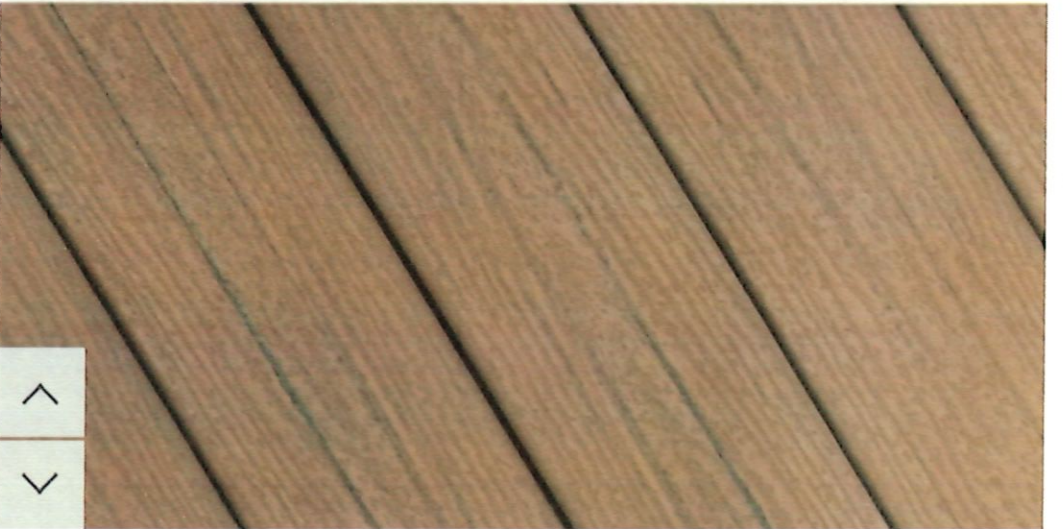
FEATURES

GALLERY

PROFILES

INSPIRATION

Shop Now



Foschia







**STAFF REPORT  
COVERED PATIO ADDITION &  
EXTERIOR ALTERATIONS  
571 FIRST CAPITOL DRIVE  
CASE NO. SP-2025-019**

**BY TAYLOR MOORE**

---

**APPLICANT:** S J Hollander Architect  
Steve Hollander  
519 First Capitol Drive  
St. Charles, MO 63301

**OWNER:** RLJB LLC  
3029 Flamingo Drive  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 571 First Capitol Drive

**ZONING:** CBD—Central Business District  
EHP—Extended Historic Preservation District  
FSC/HD – Fifth Street Corridor/Hospital District  
T5-CBD – Central Business District

**USE:** Commercial—The Corner Bar

**MEETING DATE:** December 15, 2025

**BACKGROUND**

The subject property is 571 First Capitol Drive in the Extended Historic Preservation District. The 2½-story, painted brick building has a side-gabled roof with parapetted end walls. Constructed circa 1860, the building was known as The Washington House, and was used as a military school during the Civil War. The property is also located within the Fifth Street Corridor/Hospital District (FSD/HD) overlay. The applicant is requesting approval to make several alterations to the property, including the construction of a new outdoor patio space, new bathroom, and reconfigure the rear deck and stairs. Additional work includes tuckpointing and repainting the structure where needed, but these are considered maintenance rather than alterations to the property. Accompanying this report are photographs of the building, a site plan, and building elevations for the proposed addition.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340:“EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.**

C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

- D. *Architectural Review for Properties Constructed after 1945.* Every application for a building permit for construction of, additions to, and exterior alterations of, any building in the district shall be submitted to the HLPARB for review and approval. In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

## **REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

### **Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

1. Relationship of Buildings to Site
  - d. Without restricting the permissible limits of the application zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relationship of Buildings and Site to Adjoining Area
  - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
  - c. Harmony in texture, lines and masses is required. Monotony shall be avoided.
3. Building Design
  - a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
  - b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
  - c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
  - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
  - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
  - a. Conformance to ordinances and the Appearance Code.
  - b. Logic of design.
  - c. Exterior space utilization.
  - d. Architectural character
  - e. Attractiveness

- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

### **STAFF RECOMMENDATION**

The proposed addition and exterior changes to the structure will significantly modify the appearance of the property, particularly along First Capitol Drive. The applicant has based the design of the new addition on a historic photograph that depicts a former structure with similar architectural features once located adjacent to the existing building. By utilizing this documented historic image, the project will effectively restore a portion of the once original streetscape of First Capitol. The applicant intends to remove the existing chain-link fence and block wall to accommodate the new addition extending into the current parking area. The addition will be approximately 1,084 sq. ft., and include a covered patio area and an ADA accessible restroom.

The façade of the addition facing First Capitol Drive will feature new brickwork matching the color and style of the existing building. The front elevation will incorporate a central opening with a black iron gate flanked by new six-over-six white vinyl windows. Decorative brick corbeling is proposed along the roofline to be consistent with the existing architectural character of the property. The elevation facing the parking area will be largely open-air and will include black aluminum Westbury Tuscan railing along the patio, topped with a standing seam metal roof. Metal roofing is permitted with the FSC/HD overlay for structures in the T5-CBD zoning district. The applicant has indicated that a metal roof is preferred to allow for a lower roof pitch that will avoid overlapping the front façade of the addition, as no roof is visible in the historic image behind the front parapet. The rear portion of the addition, containing the ADA restroom, will be clad with new wood horizontal 6" SmartSide siding that matches the color of the existing structure.

Alterations to the rear of the primary structure include reconfiguring the existing staircase leading to the second-floor balcony. The new stairs will utilize a switchback configuration and will be constructed with Azek coast line decking and black aluminum Westbury Tuscan railings. The second-floor balcony/porch will be reconstructed using the same materials. These improvements will enhance the appearance and safety of the upper porch and stairway, replacing the existing deteriorated materials.

Additional improvements include tuckpointing, repainting, and repairing the existing front balcony railing and decking on the existing structure. These items are considered general maintenance, and do not require formal approval. Although several parking stalls will be removed to accommodate the new addition, the site will retain twenty one (21) parking spaces, meeting applicable requirements.

The proposed addition and site alterations comply with the design guidelines for the Extended Historic Preservation District and meet the standards of the Fifth Street Corridor/Hospital District overlay Smart Code. Staff also notes the applicant's attention to architectural details and utilization of historic imagery, ensuring that the addition remains harmonious with the existing structure given its historic significance. Therefore, Staff recommends approval of the project, as submitted.

**Recommended Motion:**

**Motion to approve the construction of an addition and exterior alterations to the building at 571 First Capitol Drive, as submitted.**



**Figure 1: Existing north and east elevation of the structure.**



**Figure 2: Existing south and west elevation of the structure.**

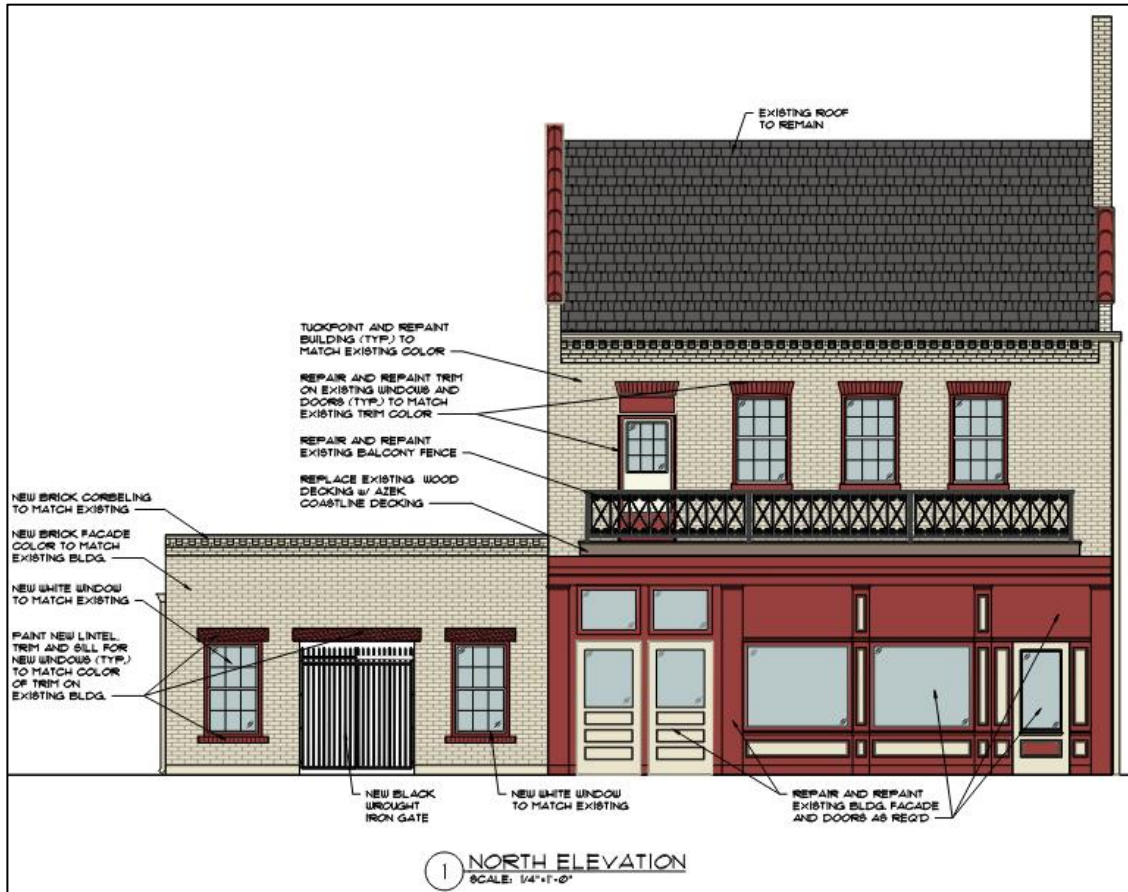


Figure 3: North elevation showcasing addition and alterations.

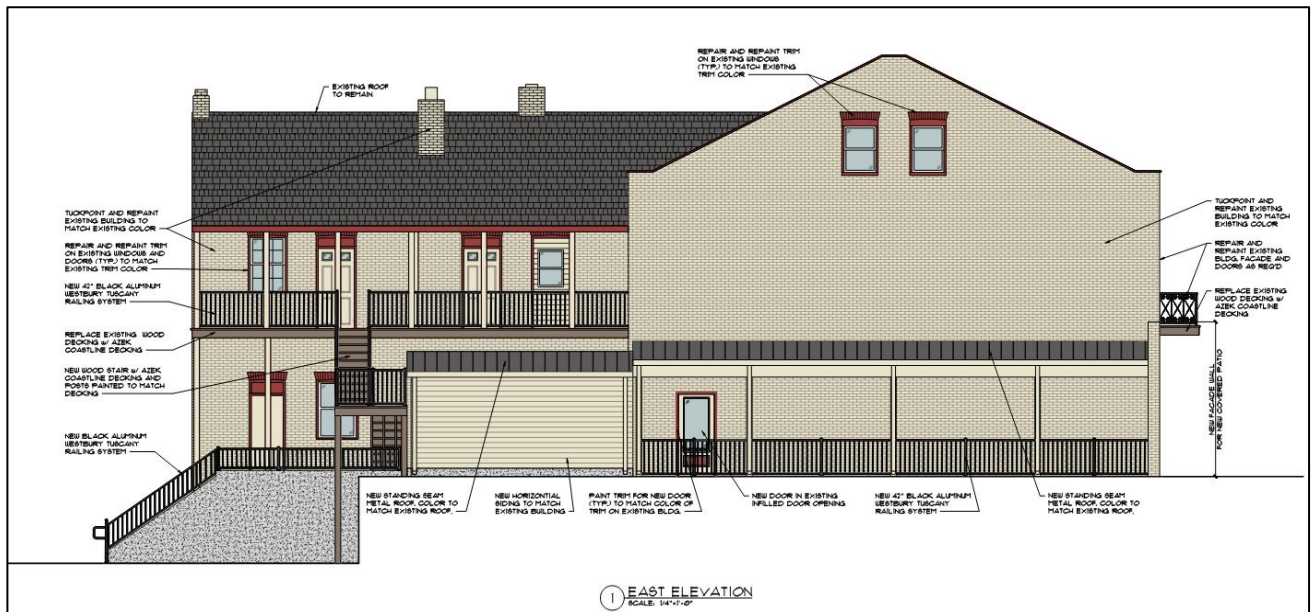


Figure 4: East elevation showcasing addition and rear alterations.

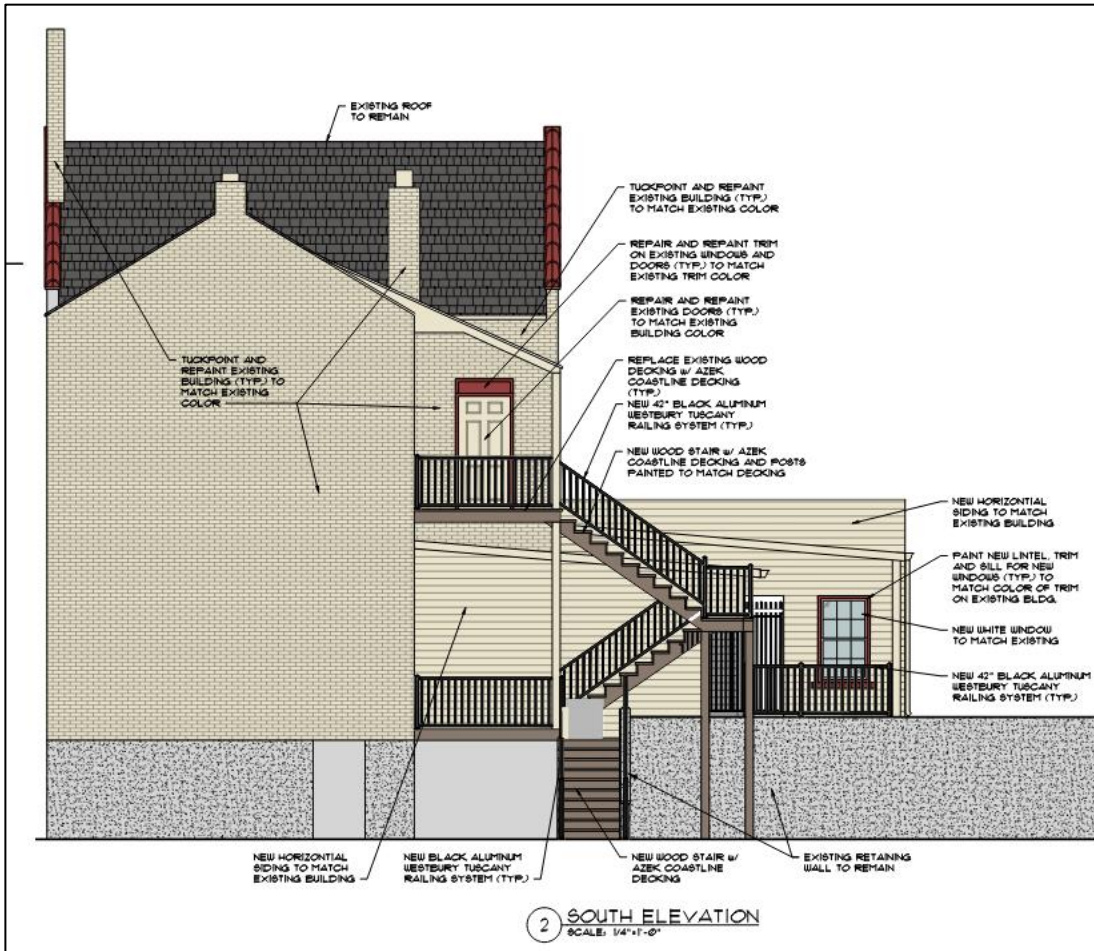


Figure 5: South elevation showcasing the rear of the addition and the proposed alterations to existing stairs/upper porch.

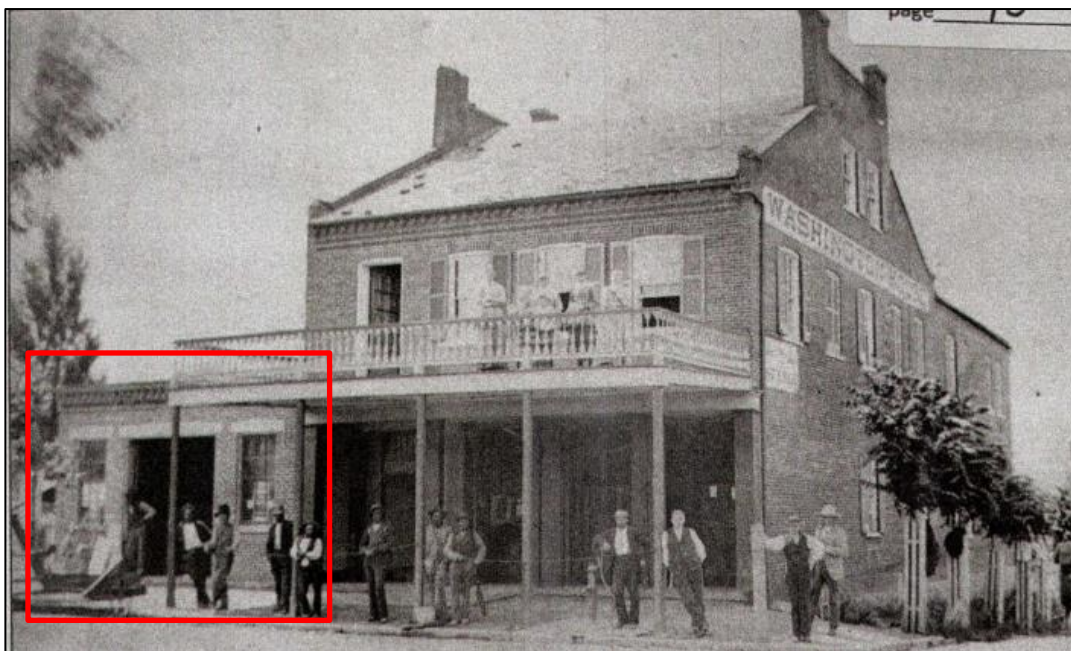


Figure 6: Historic photograph showing former structure.

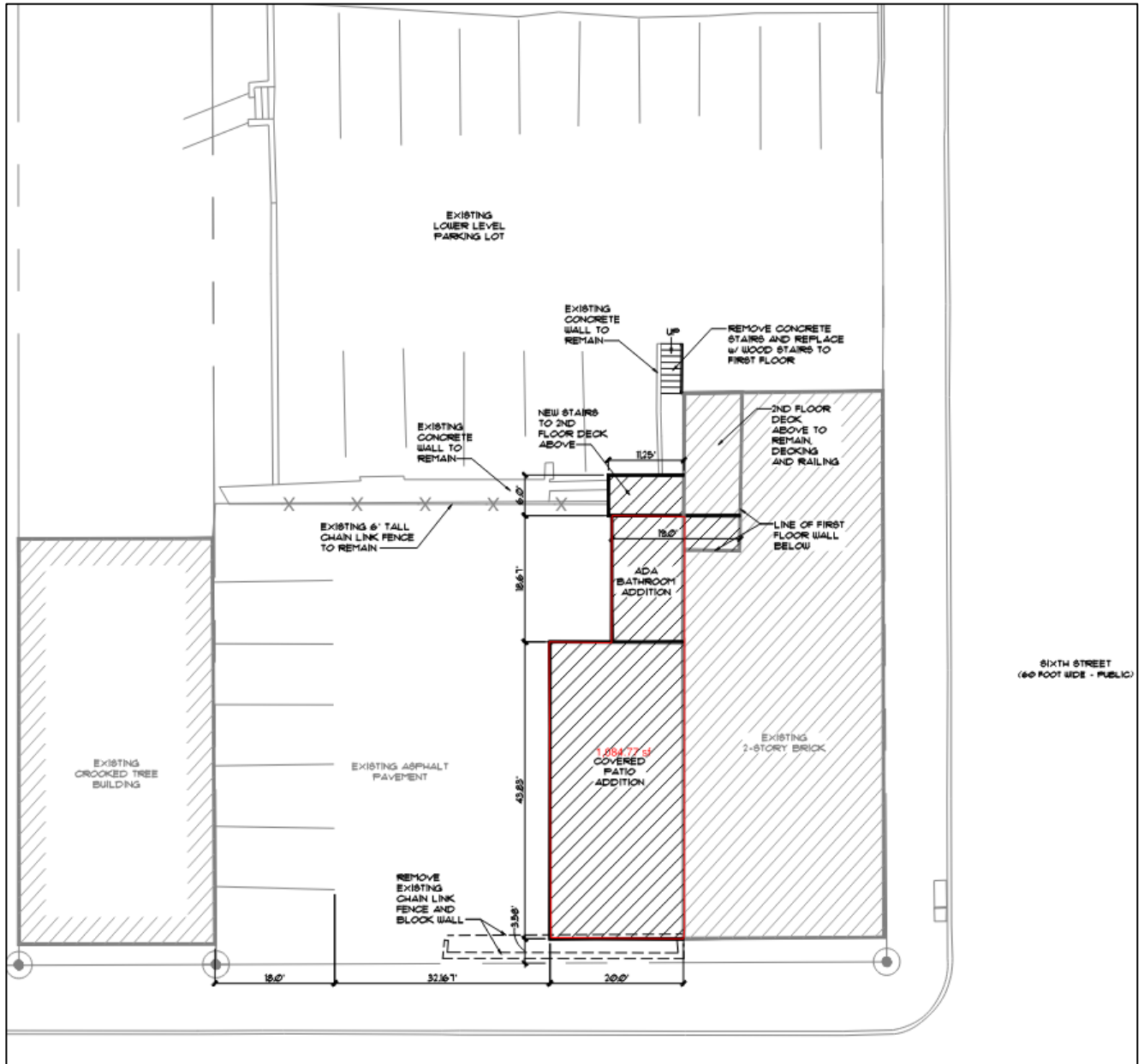


Figure 7: Site plan for proposed addition.



**Figure 8: Subject property's location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 571 First Capitol Drive

BUSINESS NAME (if applicable): Corner Bar

**APPLICANT:**

S J Hollander Architect - Steve Hollander  
(Name)

519 First Capitol Drive, Saint Charles, MO 63301  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

**PROPERTY OWNER:**

RLJB LLC  
(Name)

3029 Flamingo Dr., St. Charles, MO 63301  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

- |   |   |
|---|---|
| <input type="checkbox"/> Commons Preservation District    | <input checked="" type="checkbox"/> Extended Historic Preservation District |
| <input type="checkbox"/> Frenchtown Preservation District | <input type="checkbox"/> Historic Downtown Preservation District            |
| <input type="checkbox"/> South Main Preservation District | <input checked="" type="checkbox"/> Fifth Street Corridor Historic District |

DATE OF ORIGINAL CONSTRUCTION: 1860

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

Bar Tavern with residential units above

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**PROJECT DESCRIPTION** (mark and explain each that may apply):

Rehabilitate or restore: Tuck point and repaint structure using same color scheme

Construct a new structure: \_\_\_\_\_

Demolish or move structure: \_\_\_\_\_

Construct a new addition: Outdoor patio, new toilet rooms and rework deck

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): \_\_\_\_\_

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**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

The existing structure will be tuck pointed and repainted using the existing color scheme. There will be an addition on the East side for an outdoor patio area and handicap accessible men & women toilet rooms. The stairs to the upper deck & resident access will be reconfigured. The stairs & second floor decking will be replaced with Azek coast line decking the guardrail & handrail will be black aluminum Tuscany railing. The intent of the addition is to replicate the original construction in 1860.

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**APPLICATION SUBMITTAL:**


Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

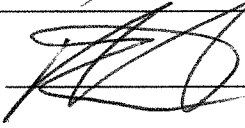
1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 11/17/2025

Signature of the property owner: 

Date: 12/9/25

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

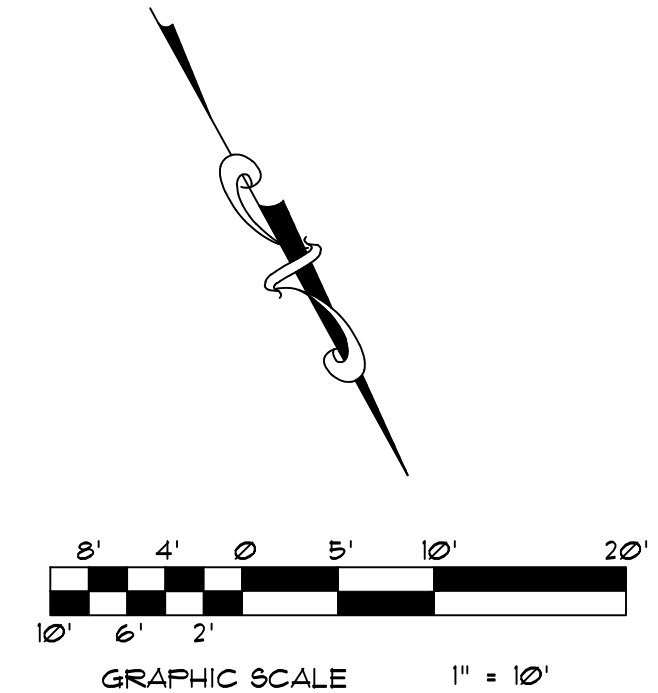
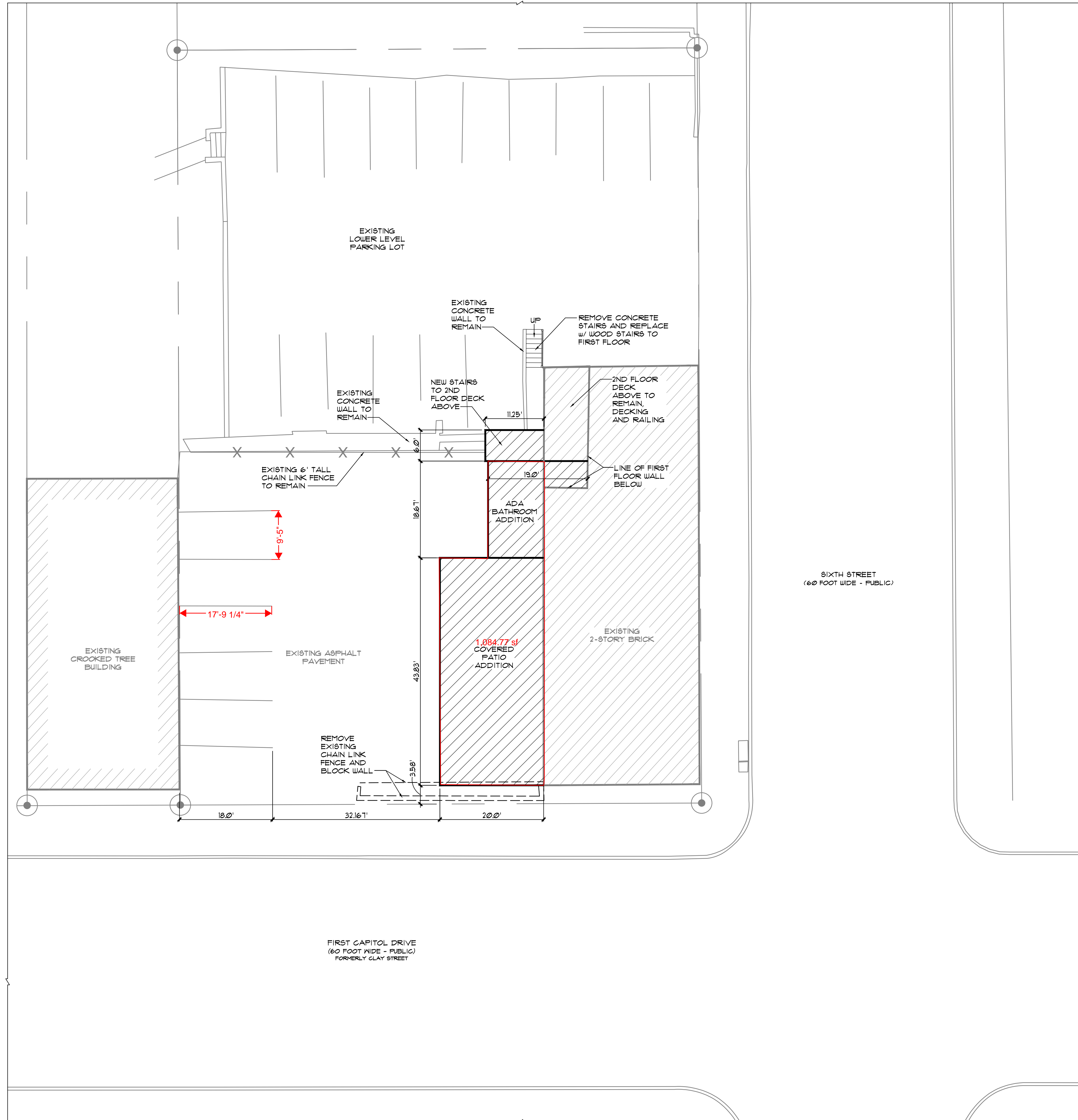
<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>







The Washington House is located on the southeast corner of First Capitol Drive and Sixth Street. The house was built in 1860 and was used as a military school during the Civil War. After the school closed, the building became the Washington House Hotel, owned by Herman D. Bruns. Later it was the home of Earl F. Klippel. Today the main floor is home to the Corner Bar and Grill. The Coked Hat Bowling Alley is located in the basement.



SITE INFORMATION TAKEN FROM LAND SURVEY PERFORMED BY COLE, ENGINEERING DATED 5/02/2025

1 SITE PLAN SCALE: 1" = 10'

STEPHEN J. HOLLANDER  
MO Architect No. A-6126

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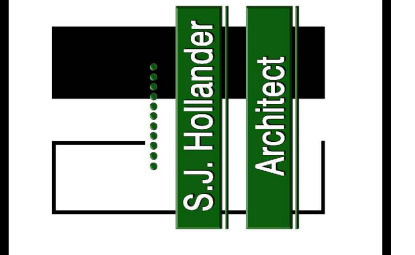
© S.J. HOLLANDER  
2025 ARCHITECT

Interior Remodel For:  
Corner Bar  
571 1st Capitol Drive  
St Charles, MO 63301

PROJECT NO.  
225047

REVISIONS NO.	DATE	ITEM

S.J. Hollander Architect  
Stephen J. Hollander, AIA  
571 First Capitol Drive  
St. Charles, Missouri 63301  
Phone (636) 947-4140  
Missouri Architectural Corporation #000801

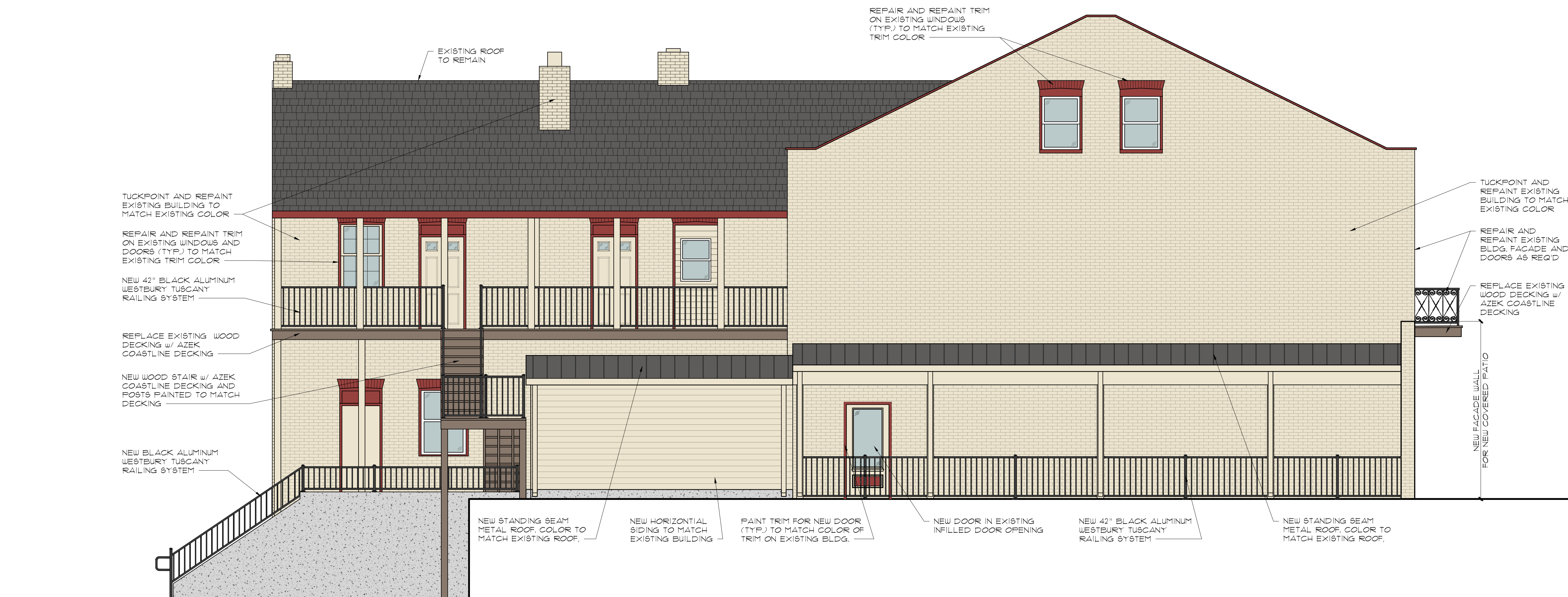


DATE  
November 18, 2025

SHEET TITLE  
Site Plan

SHEET NO.  
A1

Progress Print 11-18-2025 Progress Set - NOT FOR CONSTRUCTION



1 EAST ELEVATION  
SCALE: 1/4"=1'-0"

STEPHEN J. HOLLANDER  
MO Architect No. A-6126

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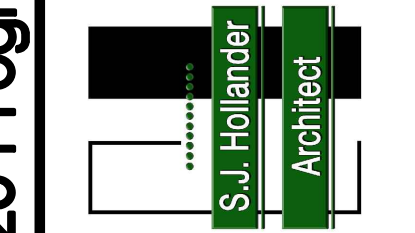
© S.J. HOLLANDER  
2025 ARCHITECT

Interior Remodel For:  
Corner Bar  
571 1st Capitol Drive  
St Charles, MO 63301

PROJECT NO.  
225047

REVISIONS	NO.	DATE	ITEM

S.J. Hollander Architect  
Stephen J. Hollander, AIA  
519 First Capitol Drive  
St. Charles, Missouri 63301  
Phone (636) 947-4140  
Missouri Architectural Corporation #000801



DATE  
November 18, 2025

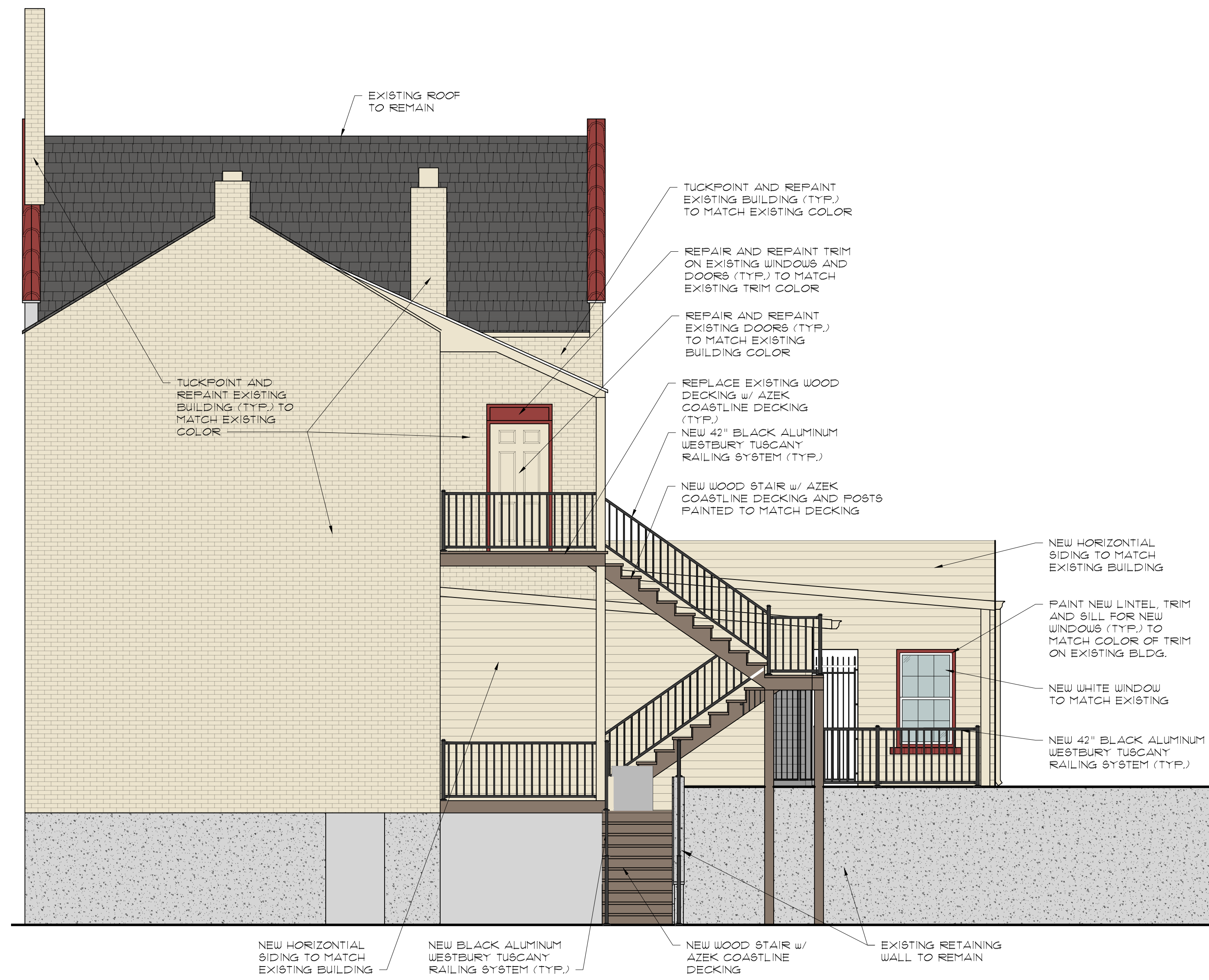
SHEET TITLE  
Exterior Elevations

SHEET NO.  
A2

Progress Print 11-18-2025 Progress Set - NOT FOR CONSTRUCTION



1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

STEPHEN J. HOLLANDER  
MO Architect No. A-6126

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2025 ARCHITECT

Interior Remodel For:  
Corner Bar  
571 1st Capitol Drive  
St Charles, MO 63301

PROJECT NO.  
225047

REVISIONS NO.	DATE	ITEM

Progress Print 11-18-2025 Progress Set - NOT FOR CONSTRUCTION

S.J. Hollander Architect  
Stephen J. Hollander, AIA  
519 First Capitol Drive  
St. Charles, Missouri 63301  
Phone (636) 947-4140  
Missouri Architectural Corporation #000801



DATE  
November 18, 2025

SHEET TITLE  
Exterior Elevations

SHEET NO.

A3



**STAFF REPORT  
REMOVE EXISTING GARAGE  
1112 MADISON STREET  
CASE NO. D-2025-021**

**BY TAYLOR MOORE**

---

**APPLICANT:** Harold Sinn  
11 Fox Drive  
St. Peters, MO 63376

**OWNER:** Allison Sinecki  
1112 Madison Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 1112 Madison Street

**ZONING:** R-1E—Single-Family Residential District  
EHP – Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** December 15, 2025

**BACKGROUND**

The subject property is located at 1112 Madison Street in the Extended Historic Preservation District. This 1½ story, frame, Folk Victorian house was built at the turn of the twentieth century, and is considered a non-contributing resource to the Midtown Neighborhood National Historic District. At the rear of the lot is a one-story, one-car, framed front-gabled garage, and to the east of the garage is a concrete parking area with a carport over it. The garage is also considered a non-contributing resource to the district within the National Register listing. The applicant is requesting approval to remove the carport and garage in order to create space for a new two-car garage in the same location. Accompanying the application is the required Historical/Architectural Report, for the garage structure, and existing photos of the property.

The City’s Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "The subject property is located within the Midtown Neighborhood Historic District and the district has been listed on the National Register of Historic Places since 2014. However, according to the nomination submittal made to the National Parks Service, the garage structure at 1112 Madison St. is listed as "Noncontributing" to the district and described in the report as "appears to be modern". As a noncontributing structure, it does not add value to the district as a whole and its demolition would have no impact on the current status of the historic district."
- **Staff:** *Staff concurs with this analysis. The structure has already been determined to be a non-contributing to the Midtown Neighborhood District.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "Although part of the Midtown Neighborhood Historic District, research does not indicate that the current property has been the site of any specific significant event. When the City of St. Charles was incorporated in 1809 its westernmost boundary was Fifth Street. The land west of Fifth Street, which would include the property at 1112 Madison St. were the "common fields" and "commons." Midtown Neighborhood Historic District is composed of part of the original town and part of the common fields. The common field was a group of long, linear agricultural tracts. Holders of common field lots farmed their parcel, but after the harvest the common fields became a commons on which all of the inhabitants were allowed to graze animals until the following spring. By the late 1890s when this area was annexed into the city limits, the area west of Seventh Street but south of Monroe was largely vacant including the subject parcel of land, except for a few houses, a tobacco factory and a woolen mill."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** "The current structure is utilitarian in construction. It is a one-story wood framed structure constructed over a concrete slab on grade. It has

- no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction.”
- **Staff:** *Staff concurs with this analysis, as the design is not distinguishing to a specific architectural style.*

Criterion 5: *The property’s identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant:** “The architect or builder of the current building is unknown.”
- **Staff:** *Staff concurs with this analysis. No record of the structures designer is noted.*

Criterion 6: *The property’s embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant:** “The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant. It is clad in board & batten siding which is common for outbuildings.”
- **Staff:** *Staff concurs with this analysis, the structure does not embody any significant characteristics.*

Criterion 7: *The property’s embodiment of design elements that make it structurally or architecturally innovative.*

- **Applicant:** “The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative. It is clad in board & batten siding which is common for outbuildings.”
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: *The property’s unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.*

- **Applicant:** “The structure is located at the rear of the property and is not visible from Madison Street due to its location on the site behind the primary structure. It can be seen from the alley and minimally from Jefferson St. to the north. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district.”
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on the property for at least 50 years, it is not significant or visible enough to become a familiar visual feature to the community.*

Criterion 9: *The property’s character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.*

- **Applicant:** “The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it

**architecturally significant.”**

- **Staff: Staff concurs with this analysis.**

*Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.*

- **Applicant: “The building was constructed as a garage, storage building, or shed. It has not and is not likely to yield any information important to history.”**
- **Staff: Staff concurs with this analysis.**

#### **SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL**

- Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.

- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
  2. Its location as a site of a significant local, county, state or national event;
  3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
  4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
  5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
  6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
  7. Its embodiment of design elements that make it structurally or architecturally innovative;
  8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
  9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
  10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
  2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
  3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real

- estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
4. Assessed value of the property according to the two (2) most recent assessments;
  5. Real estate taxes of the previous two (2) years;
  6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
  7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

**STAFF RECOMMENDATION – HISTORICAL SIGNIFICANCE**

After reviewing the subject one-story garage against the applicable standards for review, Staff has determined that the structure holds no historic value to the property, district, or the City. The age of the garage was not listed on the National Register nomination, but it is likely this structure was built sometime prior to 1975 and is greater than fifty years old. The simple board and batten cladding and asphalt shingles are similar to many other accessory structures throughout the district and the City as a whole. Its visual appearance and location is not significant enough to be considered an important structure to the neighborhood. The proposed demolition for both the garage and carport (which does not need review due to its age) will have no adverse impact on the Midtown Neighborhood District or the surrounding streetscape. Therefore, Staff does not recommend the garage be found historically significant.

**Recommended Motion:**

**Motion to find the 1-car garage in the rear at 1112 Madison Street historically significant. (Staff believes the garage is not historically significant, and should be allowed to be removed.)**



**Figure 1: Primary structure on the subject property.**



**Figure 2: Subject garage and carport seen currently from alley.**



**Figure 3: Additional photograph of subject structures.**

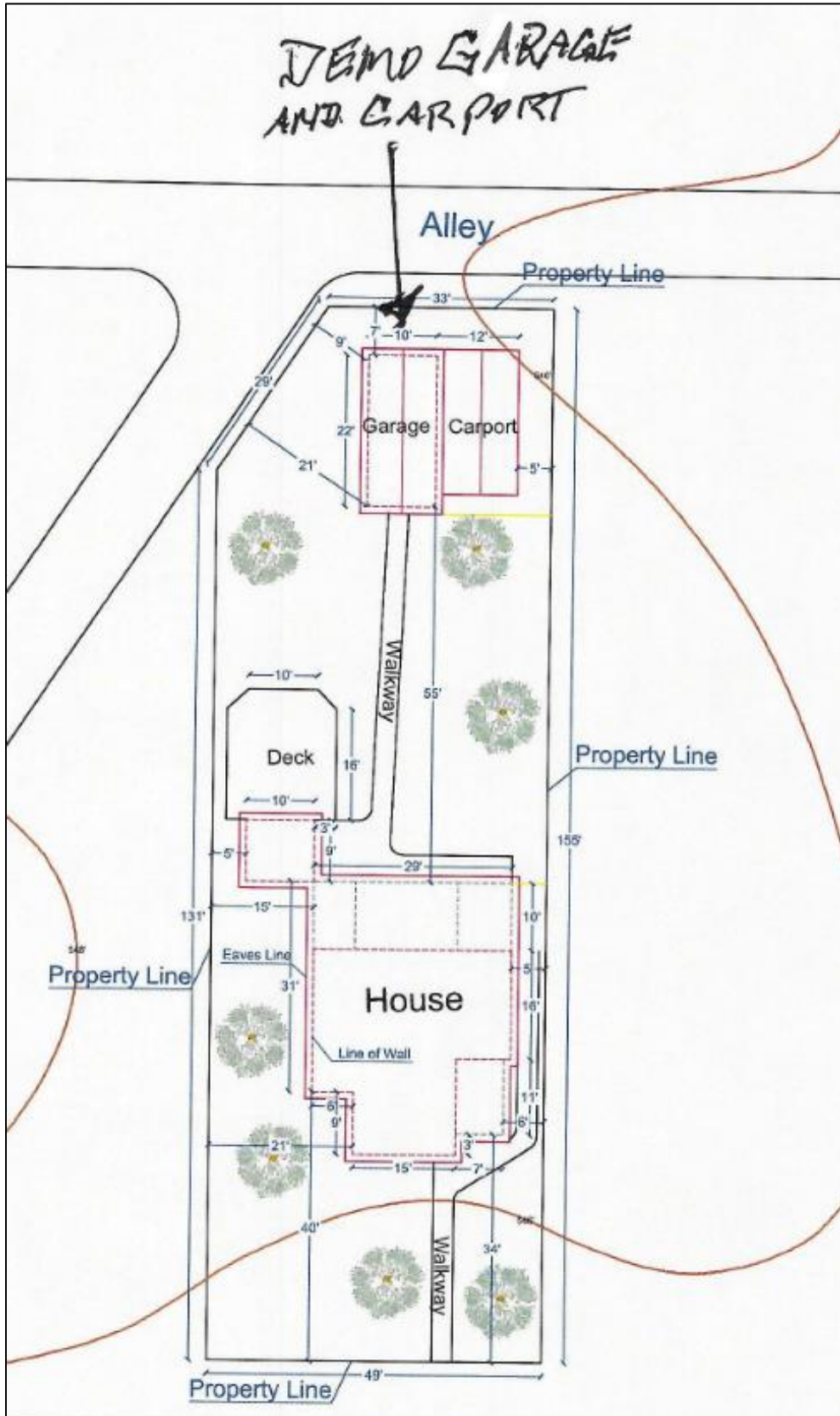
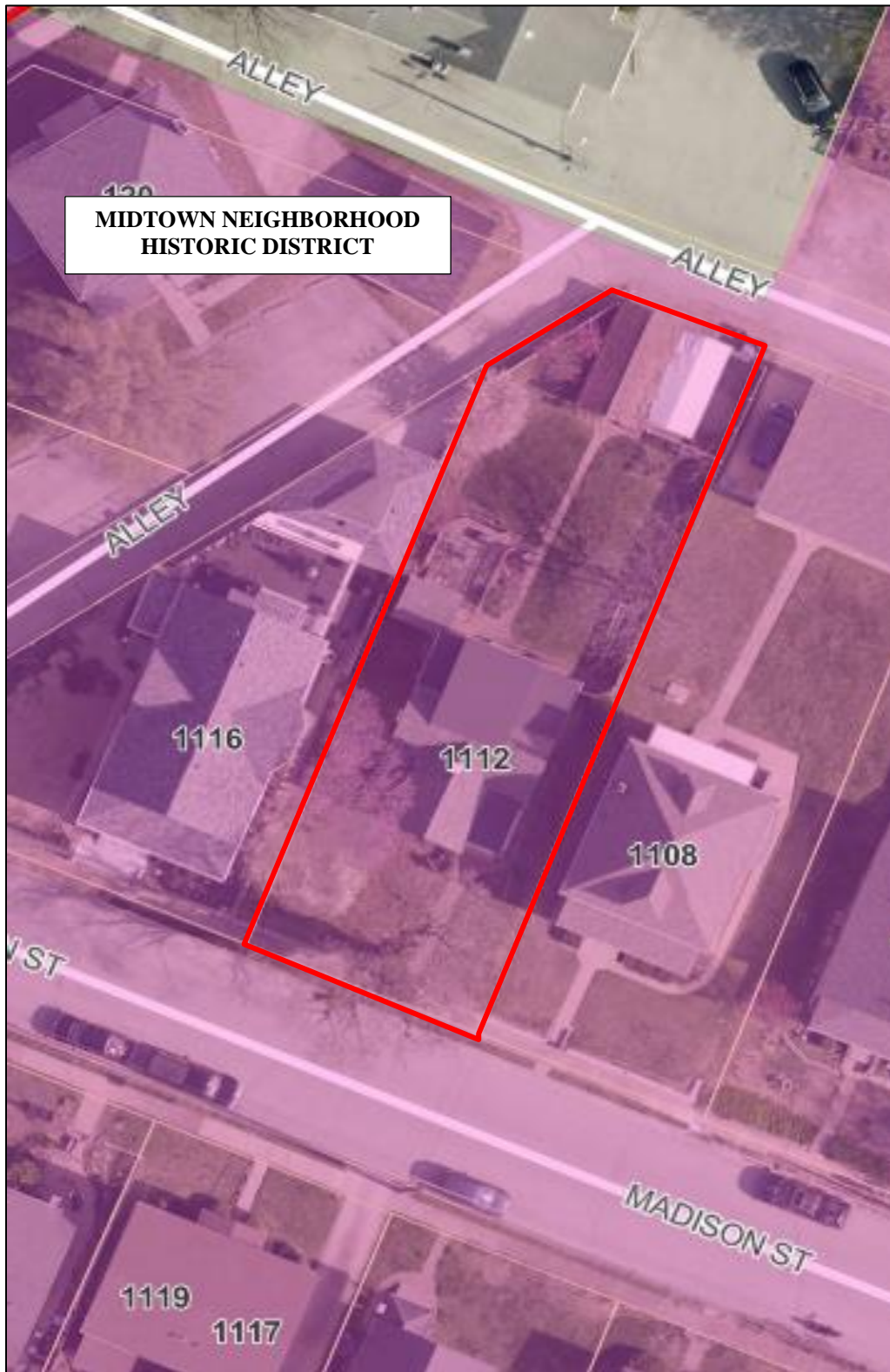


Figure 4: Site plan showing current location of garage and carport.



**Figure 5: Subject property's location.**

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
 Saint Charles, MO 63301  
 636-949-3222  
 FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 1112 Madison St. St. Charles, 63301

**BUSINESS NAME** (if applicable): Bri-Co Construction, LLC

**APPLICANT:**

Harold Sinn  
(Name)

11 Fox Drive St. Peters, MO 63376  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

**PROPERTY OWNER:**

Allison L Sinecki  
(Name)

1112 Madison St. St. Charles, MO 63301  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

**DATE OF ORIGINAL CONSTRUCTION:** 1910

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

The Property features a 12-foot by 18-foot aluminum carport designed for one vehicle, attached to a single -car garage measuring approximately 10 feet by 22 feet built with wood and hardboard siding.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: \_\_\_\_\_

Demolish or move structure: Demolish the existing one-car garage and attached aluminum carport.

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

Remove the existing 12' x 18' aluminum carport designed for one vehicle, attached to a single car garage measuring approx. 10' x 22' in their entirety, including demolition and removal of all concrete flooring and foundation walls associated with the garage.

**APPLICATION SUBMITTAL:**

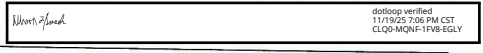
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via [Landmarks@stcharlescymogov](mailto:Landmarks@stcharlescymogov)). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:**

1. A complete application.
  2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
    - a. The actual shape and dimension of the lot.
    - b. Any existing or proposed building, accessory building, and their locations upon the lot.
    - c. Photos of existing structures.
    - d. Colored elevations of proposed structures or modifications.
  3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
  4. Proposed colors of any sign or structure (must be from approved color chart if applicable)
- \* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 11/19/25

Signature of the property owner:  Date: 11/19/2025

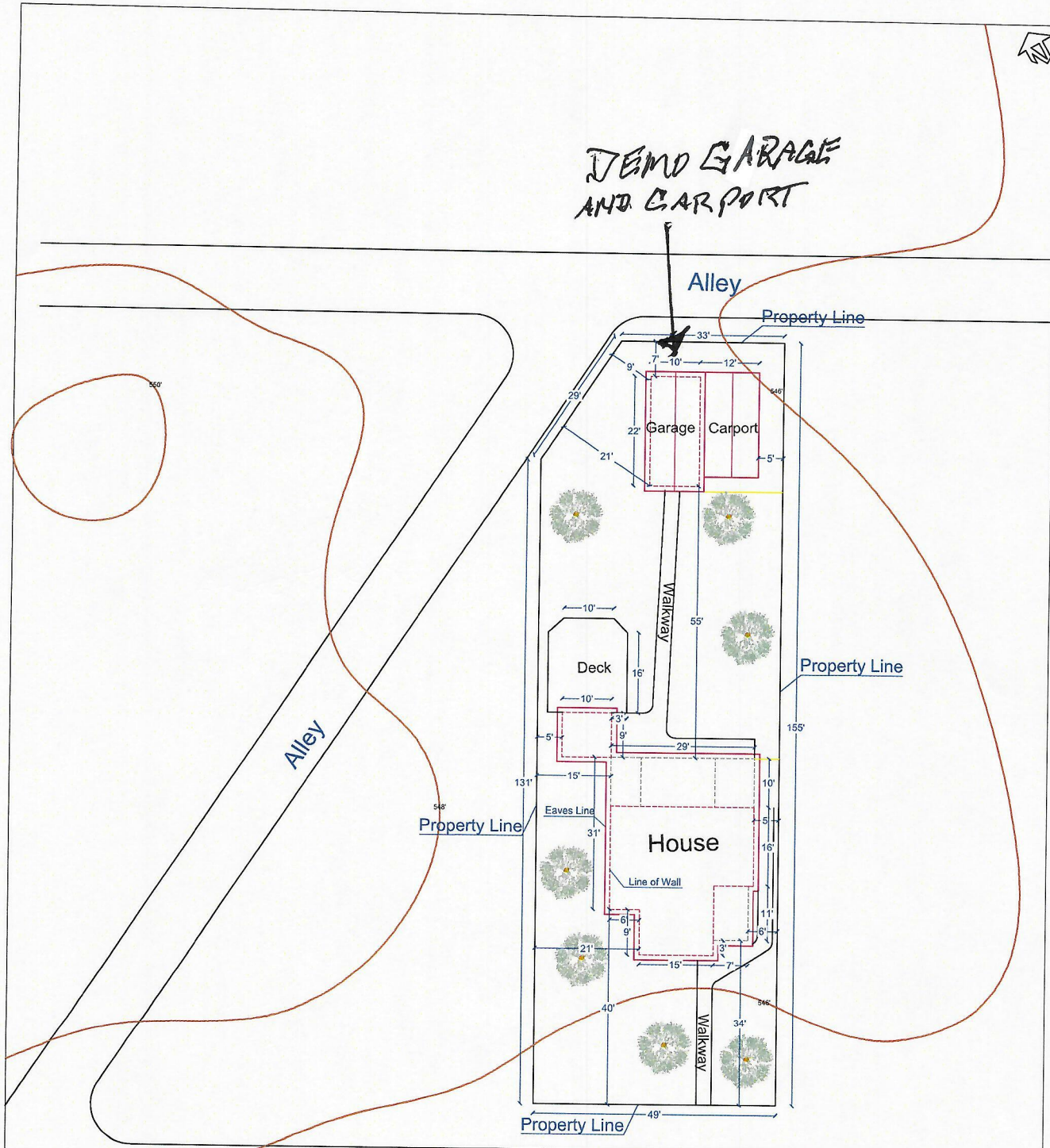
*Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>



**DEMO GARAGE  
AND CARPORT**



**Madison St**

ADDRESS: 1112 Madison St, St Charles, MO 63301, USA  
Scale: 1"=20'

Land: 0.17 AC	THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.
House: 1446 SF	





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
10/22/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> K Flynn Ins Agy 112 Professional Pkwy Troy MO 63379		<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): 636-528-6363      FAX (A/C, No): 636-528-6381 E-MAIL ADDRESS: CL@kflynnins.com																						
<b>INSURED</b> BRI-CO Construction LLC Harold Sinn 11 Fox Dr. St. Peters MO 63376		BRI-CON-01 <table border="1"> <tr><th colspan="2">INSURER(S) AFFORDING COVERAGE</th><th>NAIC #</th></tr> <tr><td>INSURER A : Acuity</td><td></td><td>14184</td></tr> <tr><td>INSURER B :</td><td></td><td></td></tr> <tr><td>INSURER C :</td><td></td><td></td></tr> <tr><td>INSURER D :</td><td></td><td></td></tr> <tr><td>INSURER E :</td><td></td><td></td></tr> <tr><td>INSURER F :</td><td></td><td></td></tr> </table>		INSURER(S) AFFORDING COVERAGE		NAIC #	INSURER A : Acuity		14184	INSURER B :			INSURER C :			INSURER D :			INSURER E :			INSURER F :		
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INSURER D :																								
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INSURER F :																								

**COVERAGES**      **CERTIFICATE NUMBER:** 826079046      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			ZV7902	6/8/2025	6/8/2026	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ 5,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident)	\$
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
A	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			ZV7902	6/8/2025	6/8/2026	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER	
							E.L. EACH ACCIDENT	\$ 1,000,000
							E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
							E.L. DISEASE - POLICY LIMIT	\$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  The City of St. Charles/Community Development 200 N 2nd Street 3rd Floor, Room 303 St. Charles MO 63301	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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602 N. Benton Ave.  
St. Charles, MO 63301

Project Name: **Historical/Architectural Report – Existing Garage**

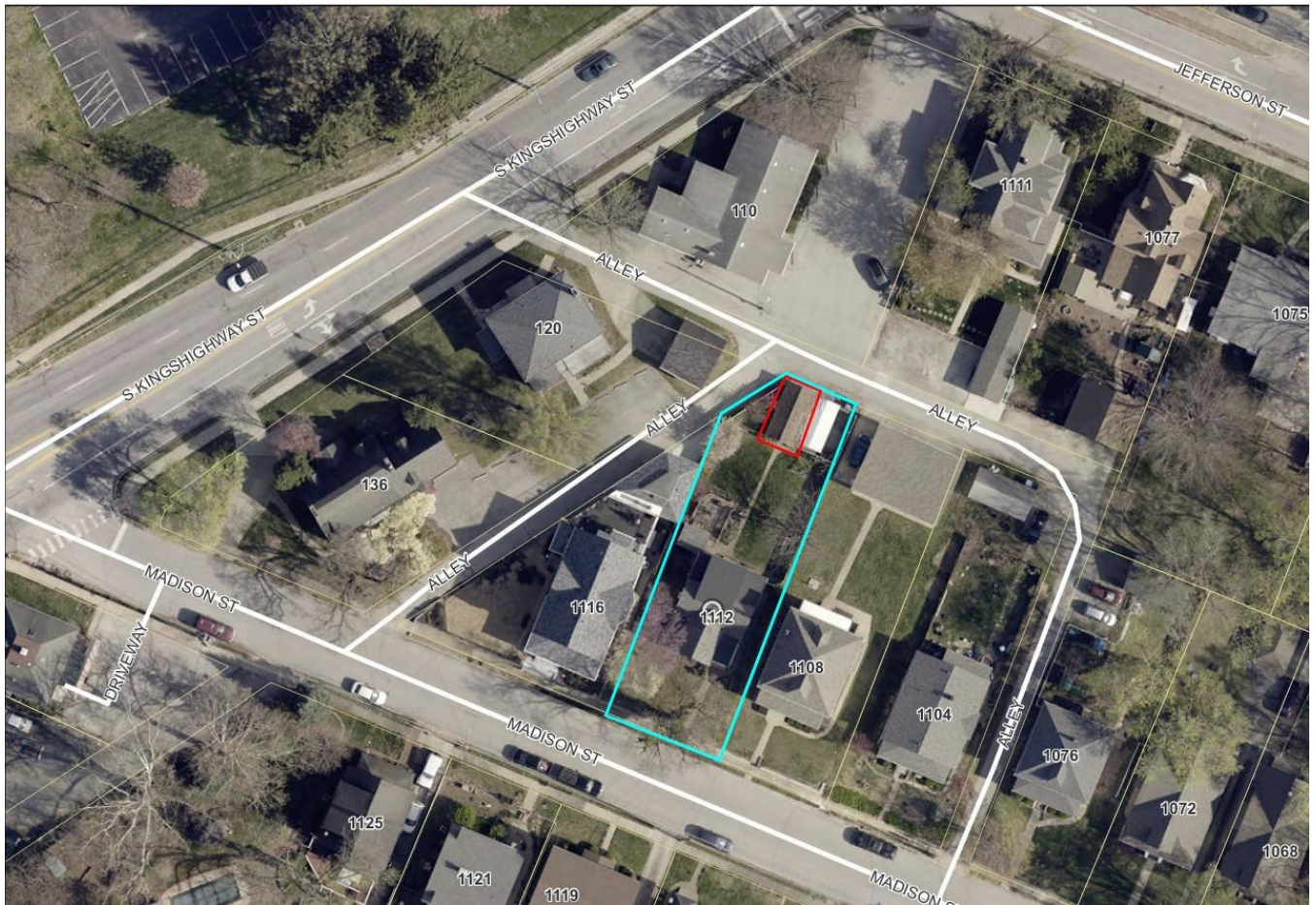
Project Location: 1112 Madison St.  
St. Charles, MO 63301

December 2, 2025

The subject of this report is an accessory building located at the rear of the property at 1112 Madison St. in St. Charles, Missouri. The Owner of the property is seeking approval from the City of St. Charles to demolish the accessory building only; the primary building on the site will remain as is. This report is part of an application to the Historic Landmarks Preservation and Architectural Review Board to determine the historic significance of the structure that is proposed to be demolished.

#### **Building Information**

The property at 1112 Madison St. is located within the Midtown Neighborhood Historic District. The Midtown Neighborhood Historic District is listed on the National Register of Historic Places. The primary structure and garage are both considered as **Noncontributing** to the district. Property records indicate that the primary building was built in 1910. This block of Madison Street was not surveyed in maps published by the Sanborn Map Company in either 1910 or 1917 to confirm the date of construction. The existing accessory building is approximately 12'x23' in size. It is a one-story wood framed structure constructed over a concrete slab on grade. It is clad with wood board & batten style siding. The roof is a gable roof style with asphalt shingles. The structure has an overhead embossed metal garage door that faces the alley (north). Visual appearance of the structure is the only evidence that it was most likely constructed prior to 1975 and is greater than 50 years old. The survey included with the Midtown Neighborhood application to the National Parks Service for nomination also does not mention a year of construction for the garage. The application states: "Garage; Noncontributing. The 1-story, 1-car gabled garage with board-and-batten siding has a metal paneled overhead door on the north elevation. There are no openings on the side elevations. The garage appears to be modern." The use of the primary building on the site is a single-family residence. The accessory building is currently used as a garage. In addition, there is a pre-fabricated metal carport structure adjacent to the garage. This will be removed as well as part of the demolition, however, this is a non-permanent structure and is of less than 50 years old and thus does not need approval to remove.



Current Aerial Map, City of St. Charles GIS Mapping service with aerial image 2024  
Subject property outlined in blue, garage outlined in red



Existing Photo, Dec. 2025 - Garage View From Alley  
Metal carport (shown to right of garage) will be removed as well. Does not need Landmarks approval to remove.



Existing Photo, Dec. 2025 – Garage View from Alley 2

## Historic Criteria Review

As part of an application for demolition, any structure located within a Historic District that is greater than 50 years of age requires a report analyzing the historical/architectural significance of the property. The standards for review are as outlined per City of St. Charles Ordinance 400.1280(F).

### Standards for Review:

- 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country.** The subject property is located within the Midtown Neighborhood Historic District and the district has been listed on the National Register of Historic Places since 2014. However, according to the nomination submittal made to the National Parks Service, the garage structure at 1112 Madison St. is listed as “Noncontributing” to the district and described in the report as “appears to be modern”. As a noncontributing structure, it does not add value to the district as a whole and its demolition would have no impact on the current status of the historic district.
- 2. Its location as a site of a significant local, County, State or national event.** Although part of the Midtown Neighborhood Historic District, research does not indicate that the current property has been the site of any specific significant event. When the City of St. Charles was incorporated in 1809 its westernmost boundary was Fifth Street. The land west of Fifth Street, which would include the property at 1112 Madison St. were the “common fields” and “commons.” Midtown Neighborhood Historic District is composed of part of the original town and part of the common fields. The common field was a group of long, linear agricultural tracts. Holders of common field lots farmed their parcel, but after the harvest the common fields became a commons on which all of the inhabitants were allowed to graze animals until the following spring. By the late 1890s when this area was annexed into the city limits, the area west of Seventh Street but south of Monroe was largely vacant including the subject parcel of land, except for a few houses, a tobacco factory and a woolen mill.
- 3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country.** The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.
- 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.** The current structure is utilitarian in construction. It is a one-story wood framed structure constructed over a concrete slab on grade. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction.
- 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country.** The architect or builder of the current building is unknown.
- 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant. It is clad in board & batten siding which is common for outbuildings.
- 7. Its embodiment of design elements that make it structurally or architecturally innovative.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative. It is clad in board & batten siding which is common for outbuildings.
- 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City.** The structure is located at the rear of the property and is not visible from Madison Street due to its location on the site behind the primary structure. It can be seen from the alley and minimally from Jefferson St. to the north. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district.

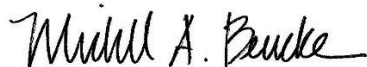
**9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance.** The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it architecturally significant.

**10. The fact that it has yielded, or may be likely to yield, information important in history.** The building was constructed as a garage, storage building, or shed. It has not and is not likely to yield any information important to history.

### **Summary**

This report does not find the current garage building located at 1112 Madison St. to be a significant architectural or historical resource. Although located within the boundary of the Midtown Neighborhood Historic District as listed on the National Register of Historic Places since 2014, the garage structure is considered a noncontributing building to the district. There is no construction date associated with the current garage structure on the site and although it is likely that the structure is greater than 50 years in age, age alone does not make a structure historically significant. The building provides no distinct features, elements of craftsmanship, or architectural innovation, nor is it associated with any person or event of significance to the area. The demolition of this outbuilding would not compromise the status of the Midtown Neighborhood Historic District.

Respectfully submitted:

A handwritten signature in black ink that reads "Micki A. Beucke". The signature is written in a cursive, flowing style.

Micki Beucke  
Little Hills Architecture, LLC



**STAFF REPORT**  
**NEW GARAGE**  
**1112 MADISON STREET**  
**CASE NO. SP-2025-022**

**BY TAYLOR MOORE**

---

**APPLICANT:** Harold Sinn  
11 Fox Drive  
St. Peters, MO 63376

**OWNER:** Allison Sinecki  
1112 Madison Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 1112 Madison Street

**ZONING:** R-1E—Single-Family Residential District  
EHP – Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** December 15, 2025

**BACKGROUND**

The subject property is located at 1112 Madison Street in the Extended Historic Preservation District. This 1½ story, frame, Folk Victorian house was built at the turn of the twentieth century, and is considered a non-contributing resource to the Midtown Neighborhood National Historic District. At the rear of the lot is a one-story, one-car, frame, front-gabled garage, and to the east of the garage is a concrete parking area with a carport over it. The applicant is requesting approval to remove the carport and garage (Case No. D-2025-021) at the December 15, 2025 Landmarks Board meeting. The applicant then requests to construct a new 23’ x 25’ two-car garage in the same location as the current garage and carport. A site plan, elevations, material examples, and photographs of the property accompany this report.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT**

- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

- D. *Architectural Review for Properties Constructed after 1945.* Every application for a building permit for construction of, additions to, and exterior alterations of, any building in the district shall be submitted to the HLPARB for review and approval. In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

## **REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

### **Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

1. Relationship of Buildings to Site
  - b. Site planning in which setbacks and yards are in excess of zoning restrictions is encouraged to provide an interesting relationship between buildings.
  - d. Without restricting the permissible limits of the application zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relationship of Buildings and Site to Adjoining Area
  - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
  - c. Harmony in texture, lines and masses is required. Monotony shall be avoided.
3. Building Design
  - a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
  - b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
  - c. Materials
    - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
    - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
    - (3) Materials shall be of durable quality.
  - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
  - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
  - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
  - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
  - a. Conformance to ordinances and the Appearance Code.
  - b. Logic of design.
  - c. Exterior space utilization.

- d. Architectural character
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

**STAFF RECOMMENDATION**

The proposed 23' x 25' two-car garage will be constructed roughly in the same location as the two existing structures at the rear of the property. The new garage will be a framed structure clad in vinyl siding and finished with a slate-stone gray shingled roof and white gutters. The proposed vinyl siding color, "Polaris," closely matches the existing siding on the primary structure to create a harmonious appearance between the buildings on the lot. The garage will include one white overhead door oriented north toward the alleyway. The south (rear) elevation and the east elevation each contain a paneled white steel man door. The west elevation will not feature any openings and will be fully clad in the proposed siding. The proposed garage meets the setback requirements of the zoning ordinance and its design is consistent with the guidelines for properties located within the Extended Historic Preservation District. Therefore, Staff recommends approval of the new garage, as submitted.

**Recommended Motion:**

**Motion to approve the construction of a new two-car garage in the rear of the property at 1112 Madison Street, as submitted.**



**Figure 1: Subject property seen from Madison Street.**

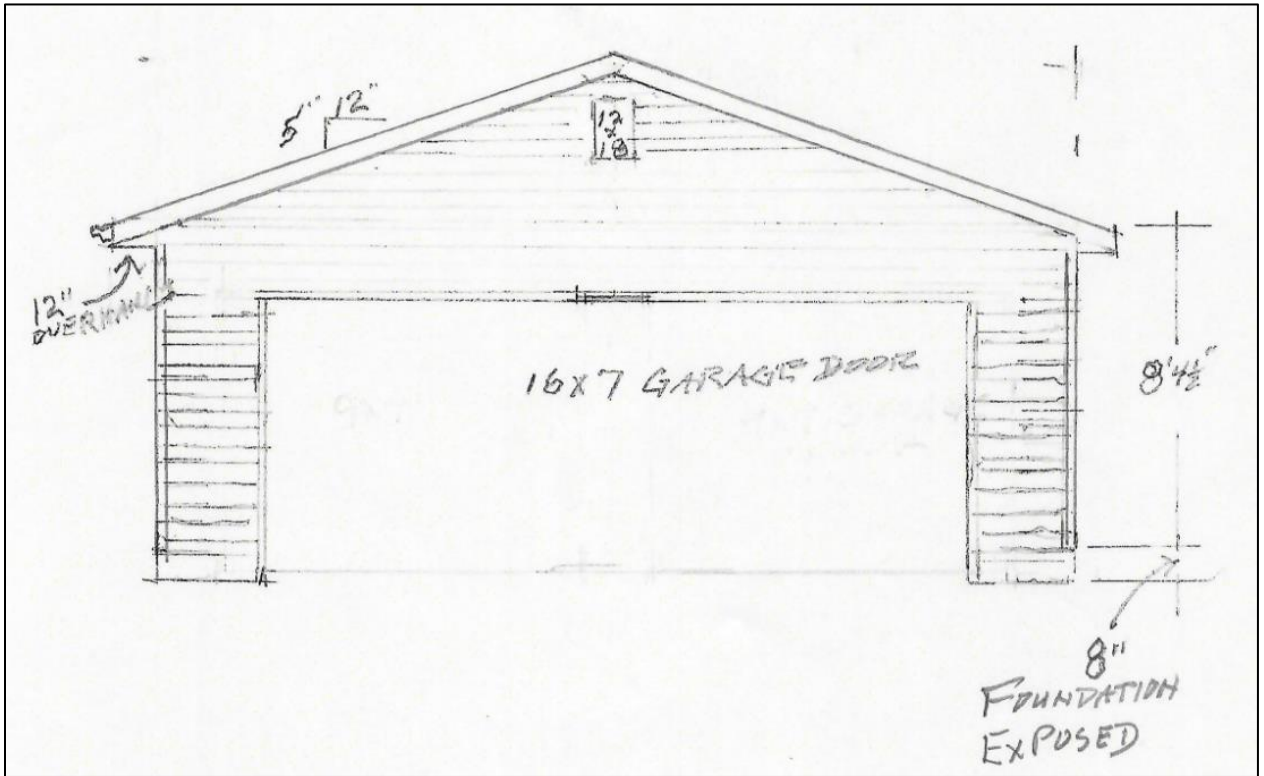


Figure 2: Front view (north elevation) of proposed garage.

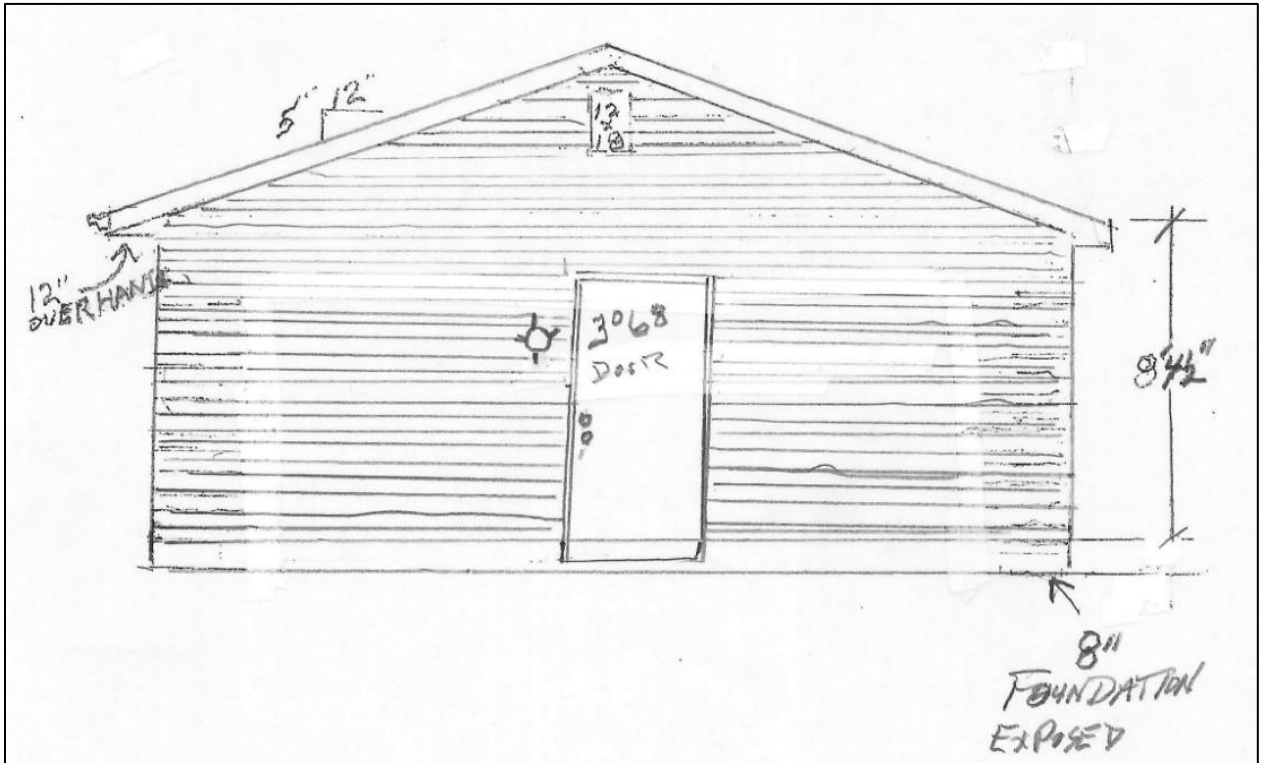


Figure 3: Rear view (south elevation) of proposed garage.

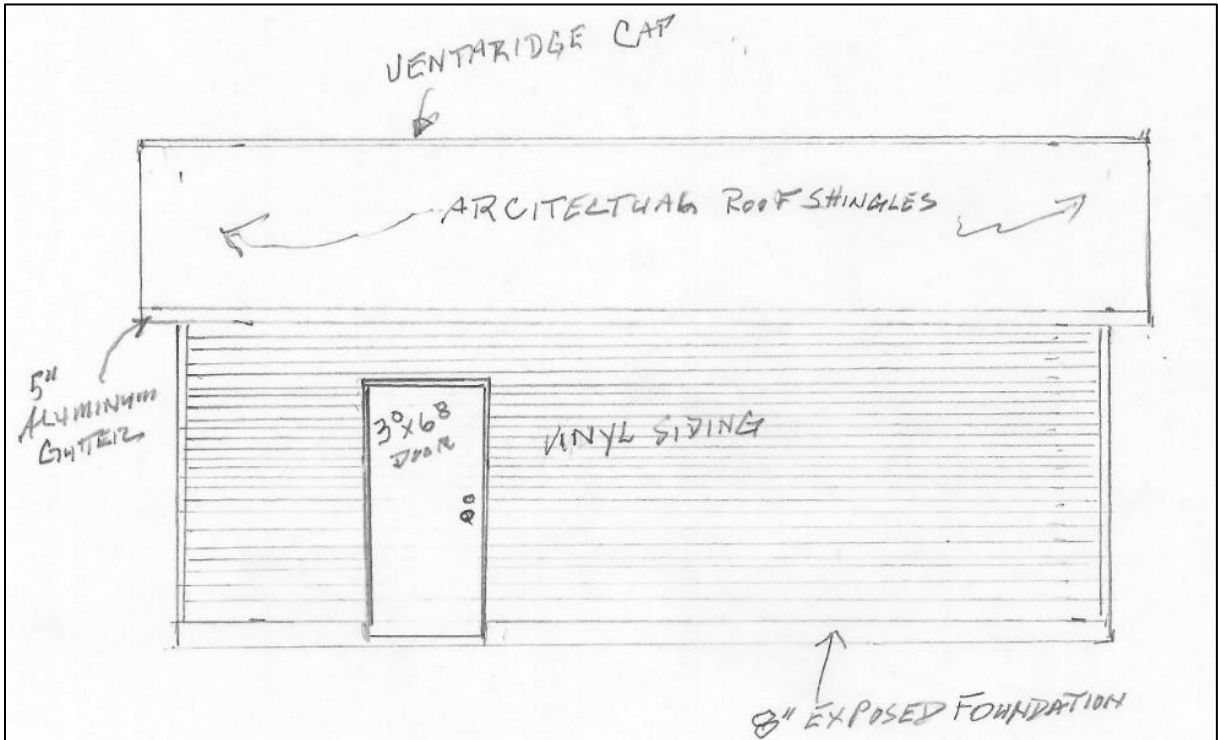


Figure 4: East elevation of proposed garage.

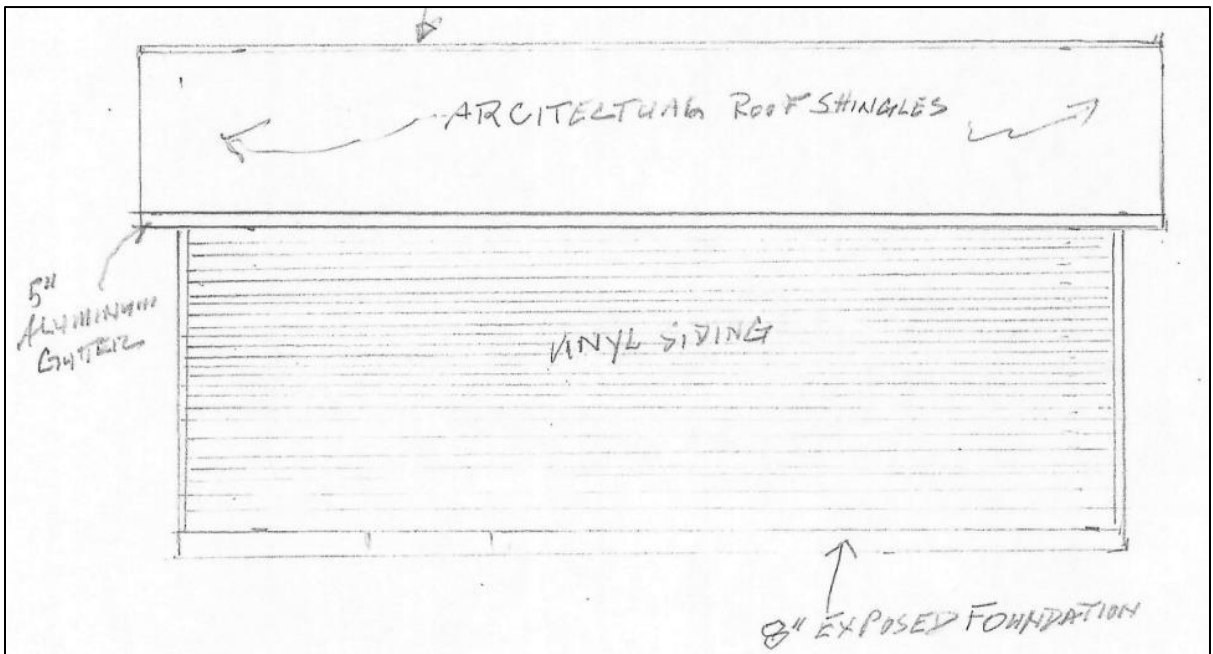


Figure 5: West elevation of proposed garage.

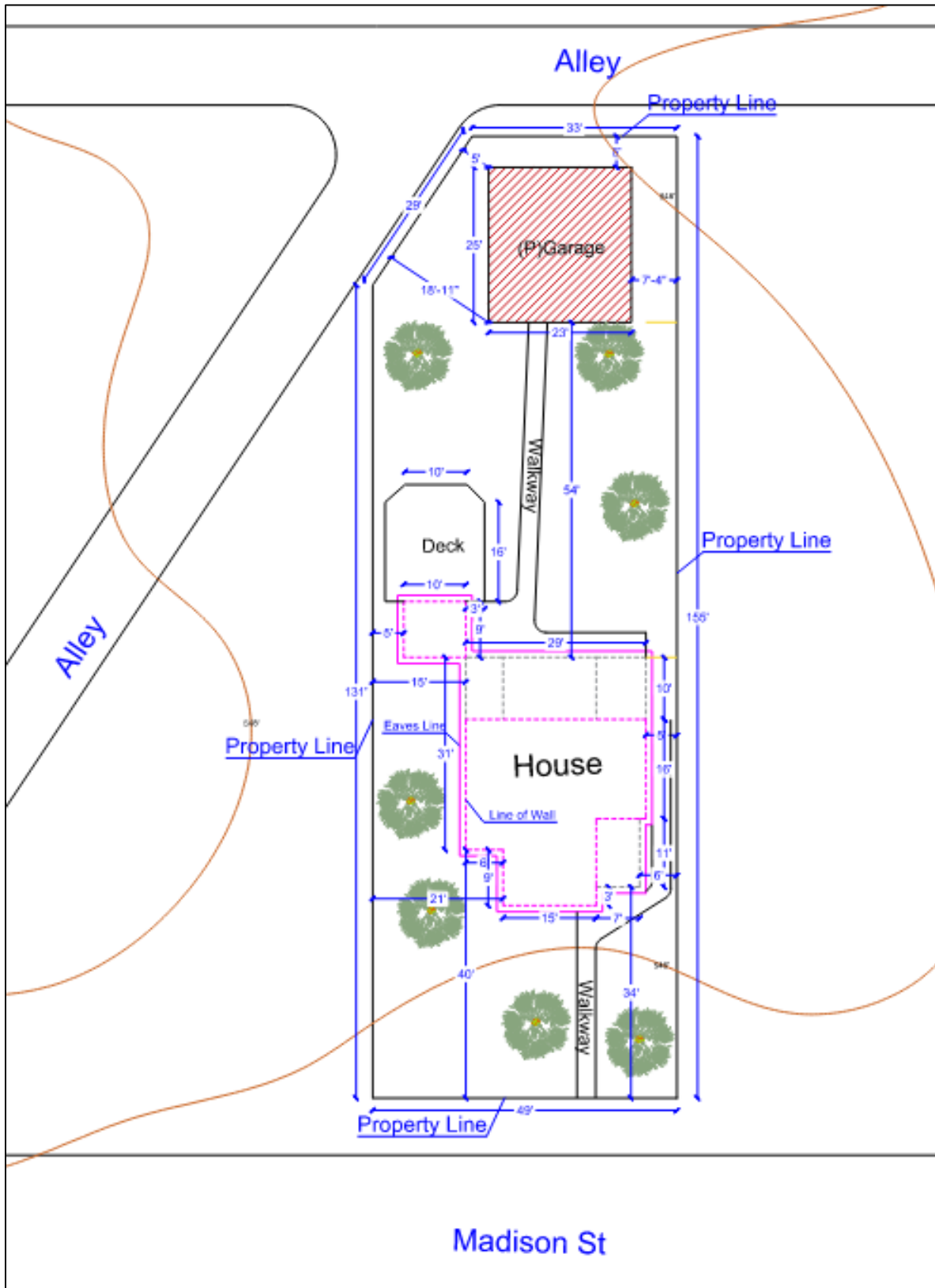
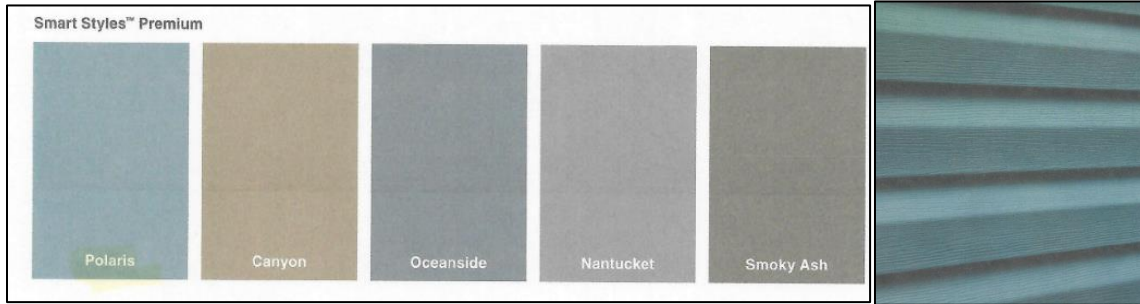
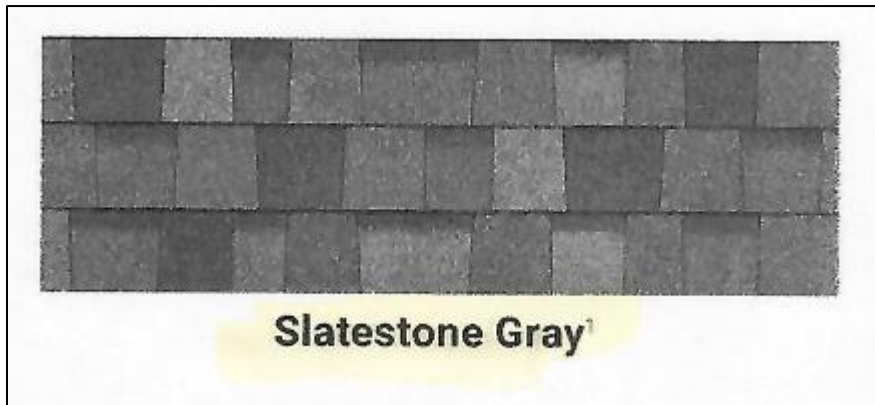


Figure 6: Proposed site plan for new two-car garage.



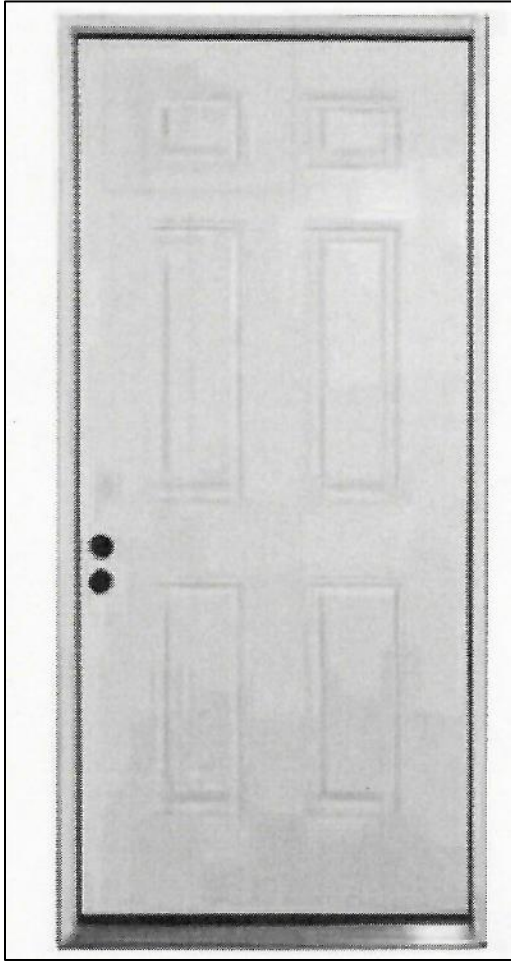
**Figure 7: Proposed siding color.**



**Figure 8: Slatestone gray shingles example.**



**Figure 9: Example of garage door color and design.**



**Figure 10: Example of proposed man-doors on new garage.**

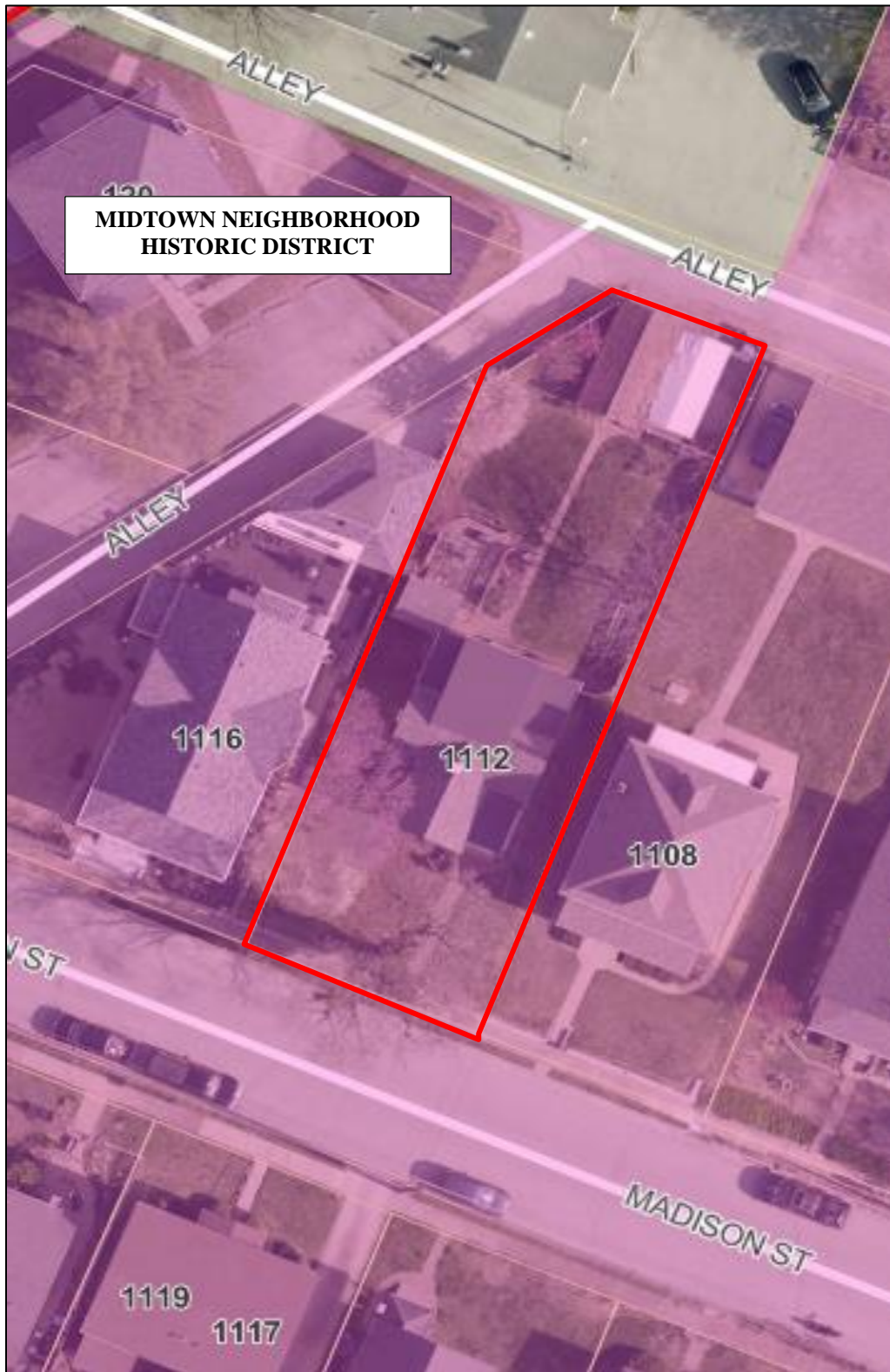


Figure 11: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

### CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 1112 Madison St. St. Charles, 63301

**BUSINESS NAME** (if applicable): Bri-Co Construction, LLC

**APPLICANT:**

Harold Sinn  
(Name)

11 Fox Drive St. Peters, MO 63376  
(Address)

(Phone & Email Address)

**PROPERTY OWNER:**

Allison L Sinecki  
(Name)

1112 Madison St. St. Charles, MO 63301  
(Address)

(Phone & Email Address)

**HISTORIC DISTRICT LOCATION:**

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

**DATE OF ORIGINAL CONSTRUCTION:** 1910

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

After demolition, the existing aluminum carport, attached garage, concrete floors, and foundation walls will be completely removed. The area will be cleared, leveled, and left as open ground with no structures remaining.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: Build a 2-car garage

Demolish or move structure: \_\_\_\_\_

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): \_\_\_\_\_

Other (briefly explain): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

We propose to construct a new two-car garage approximately 23' x 25'. The structure will be built with 2x4 stud walls and engineered truss rafters, finished with vinyl siding and a composition architectural shingle roof. The garage will include one overhead garage door and one man door. All exterior materials and colors will match the existing home.

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information

does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

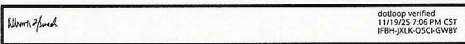
**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 11/19/25

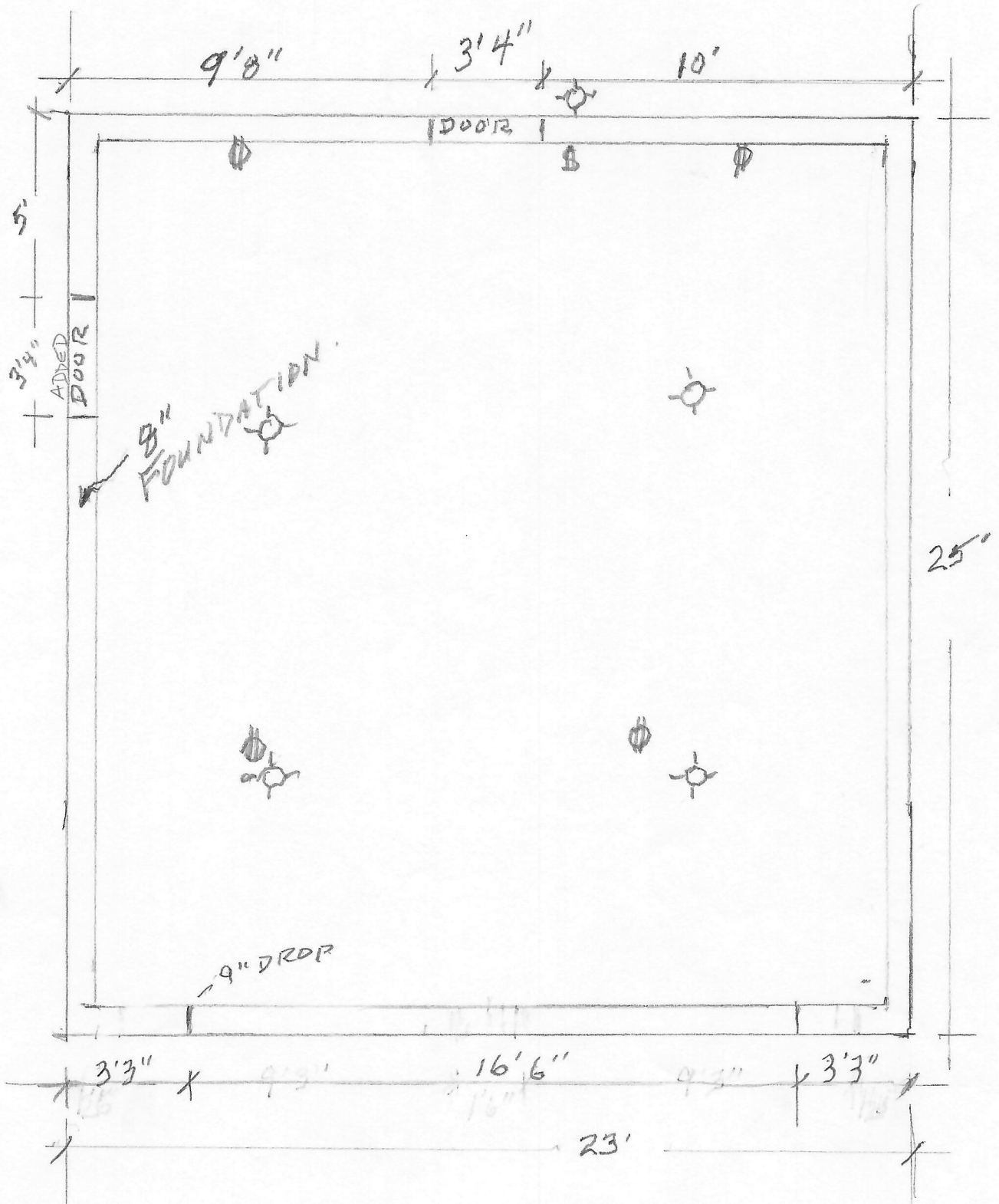
Signature of the property owner:  Date: 11/19/2025

*Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

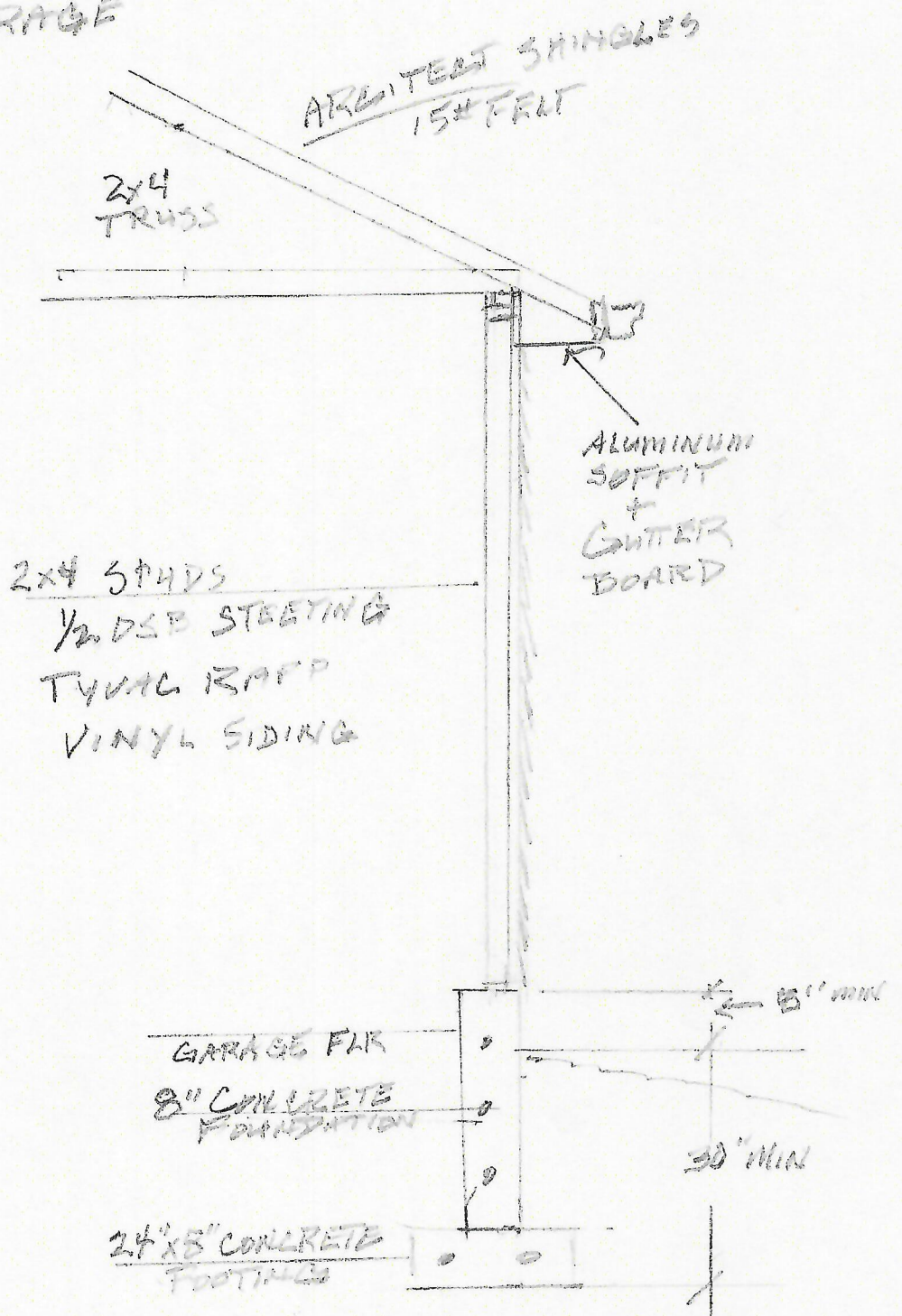
**Application Fees:**

<b>Site Plan:</b>	<b>\$200.00</b>
<b>Exterior Changes &amp; Demolitions:</b>	<b>\$50.00</b>

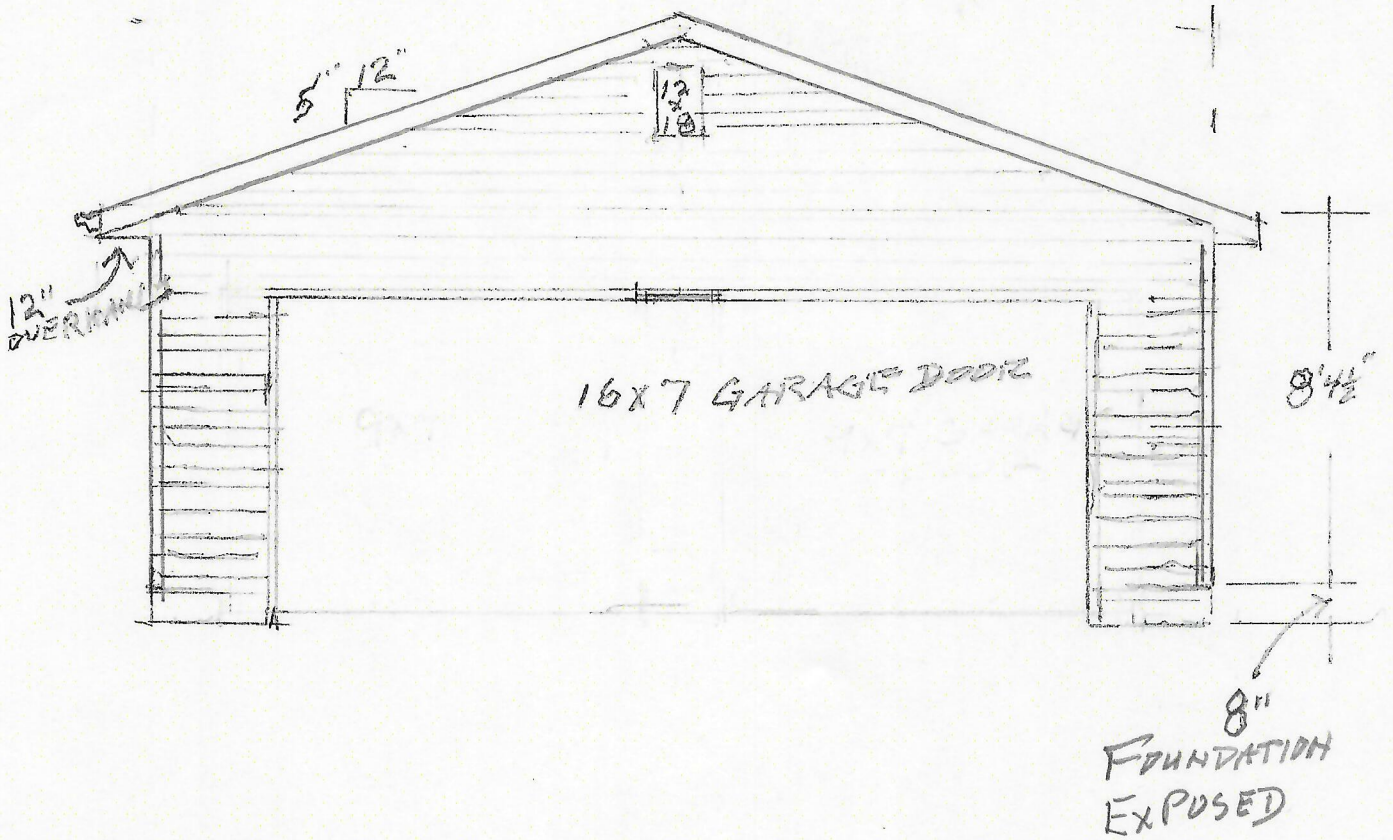
1112 MADISON ST  
 FOUNDATION LAY OUT  
 FOR 2 CAR GARAGE  
 WITH ELECTRIC



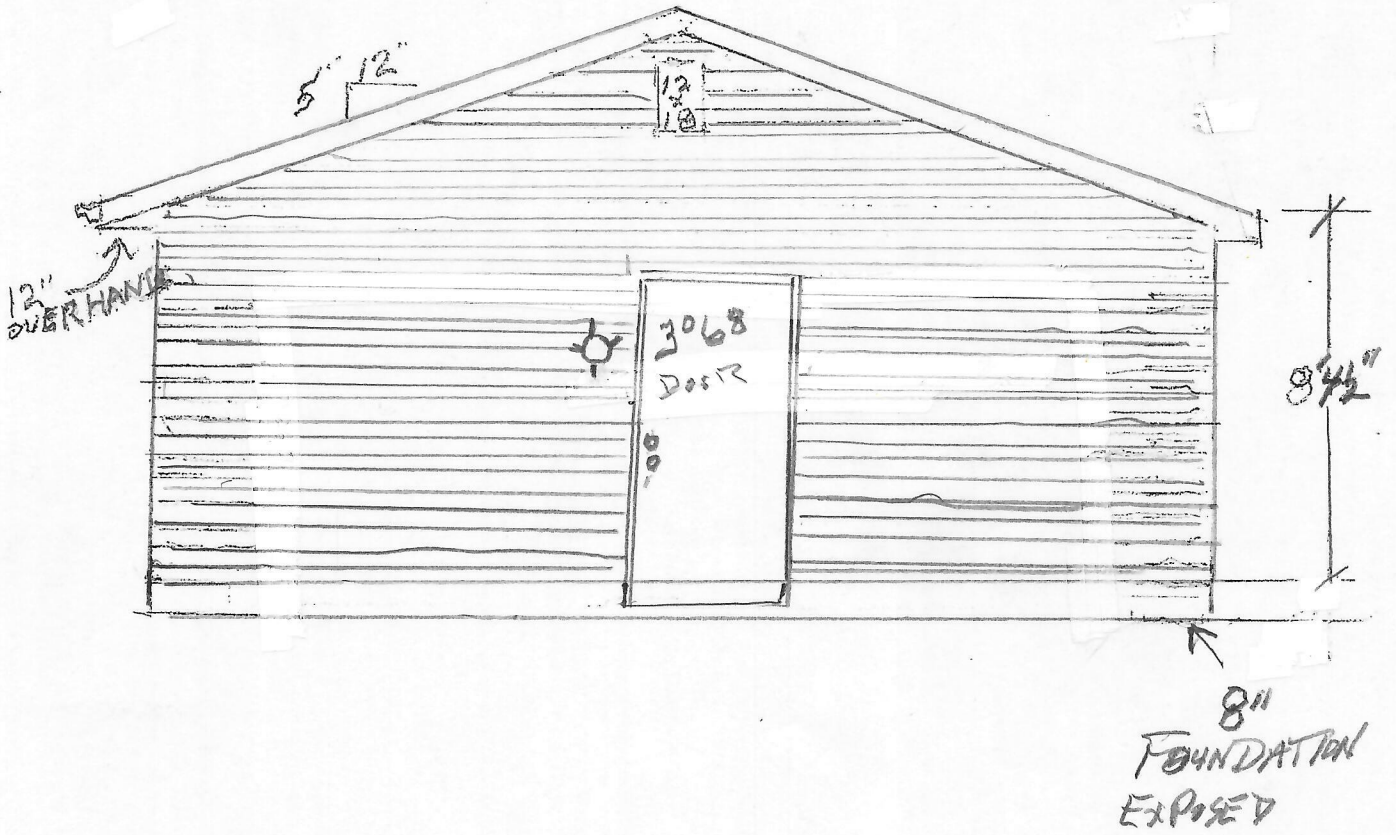
1112 MADISON ST  
TYPICAL WALL SECTION  
Z BAR GARAGE



1112 MADISON ST  
FRONT VIEW  
2 CAR GARAGE



1112 MADISON ST  
2 CAR GARAGE  
REAR ELEVATION  
SOUTH



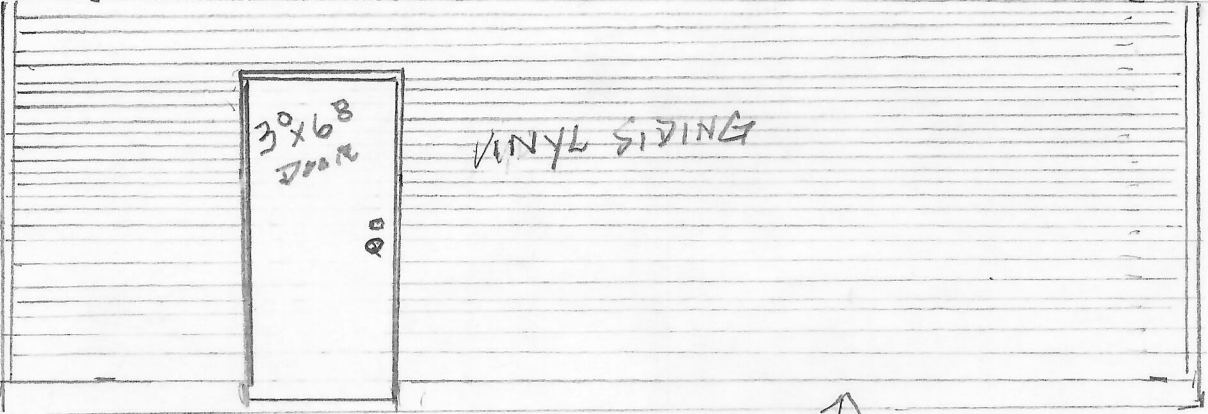
1112 MADISON ST.  
2 CAR GARAGE  
EAST SIDE ELEVATION

VENTARIDGE CAP



ARCHITECTURAL ROOF SHINGLES

5" ALUMINUM  
GUTTER



3'x6'8"  
DOOR

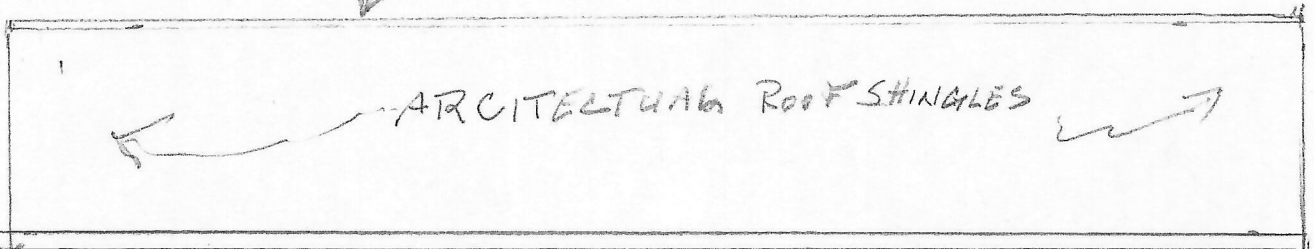
VINYL SIDING

8" EXPOSED FOUNDATION

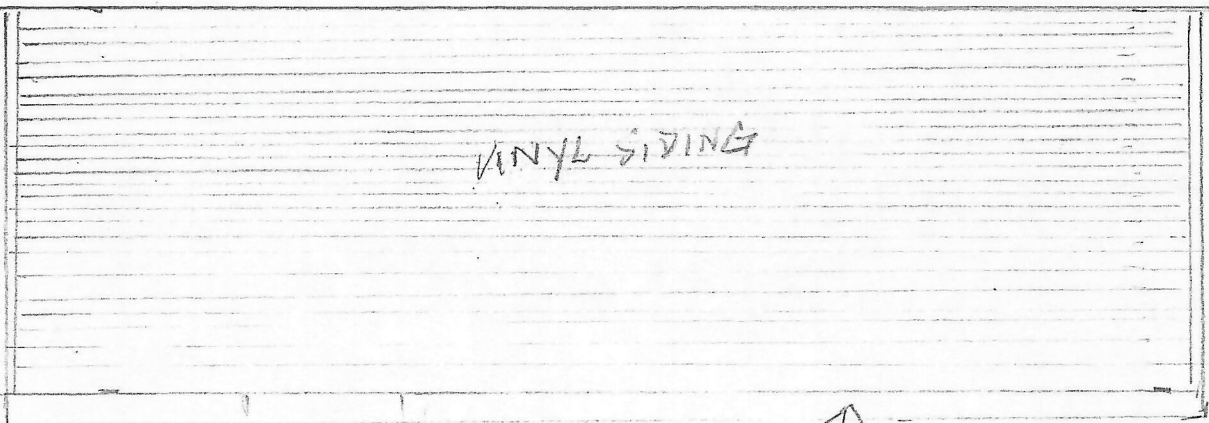


1112 MADISON ST.  
2 CAR GARAGE  
WEST SIDE ELEVATION

VENTARIDGE CAP



5" ALUMINUM GUTTER

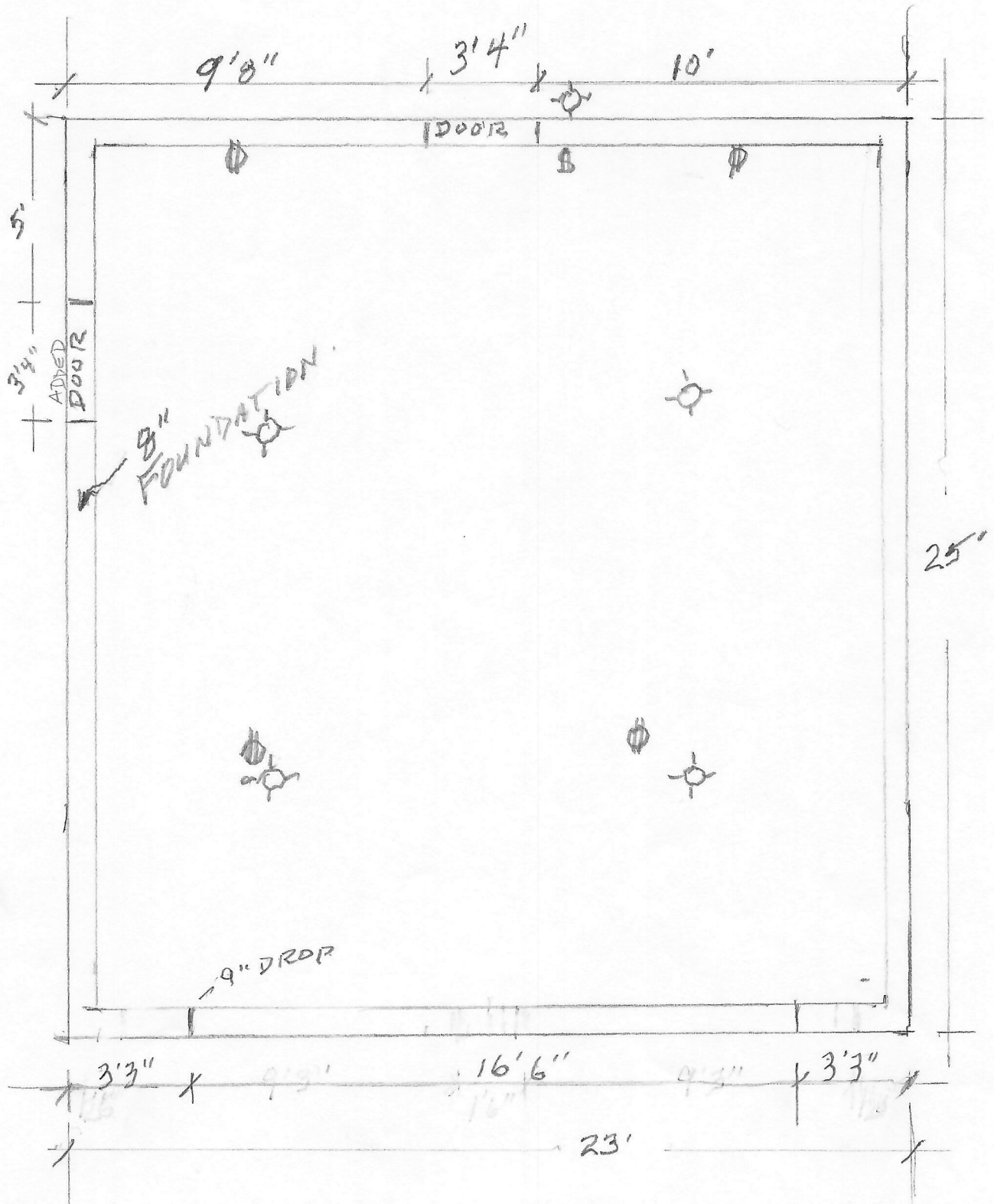


VINYL SIDING

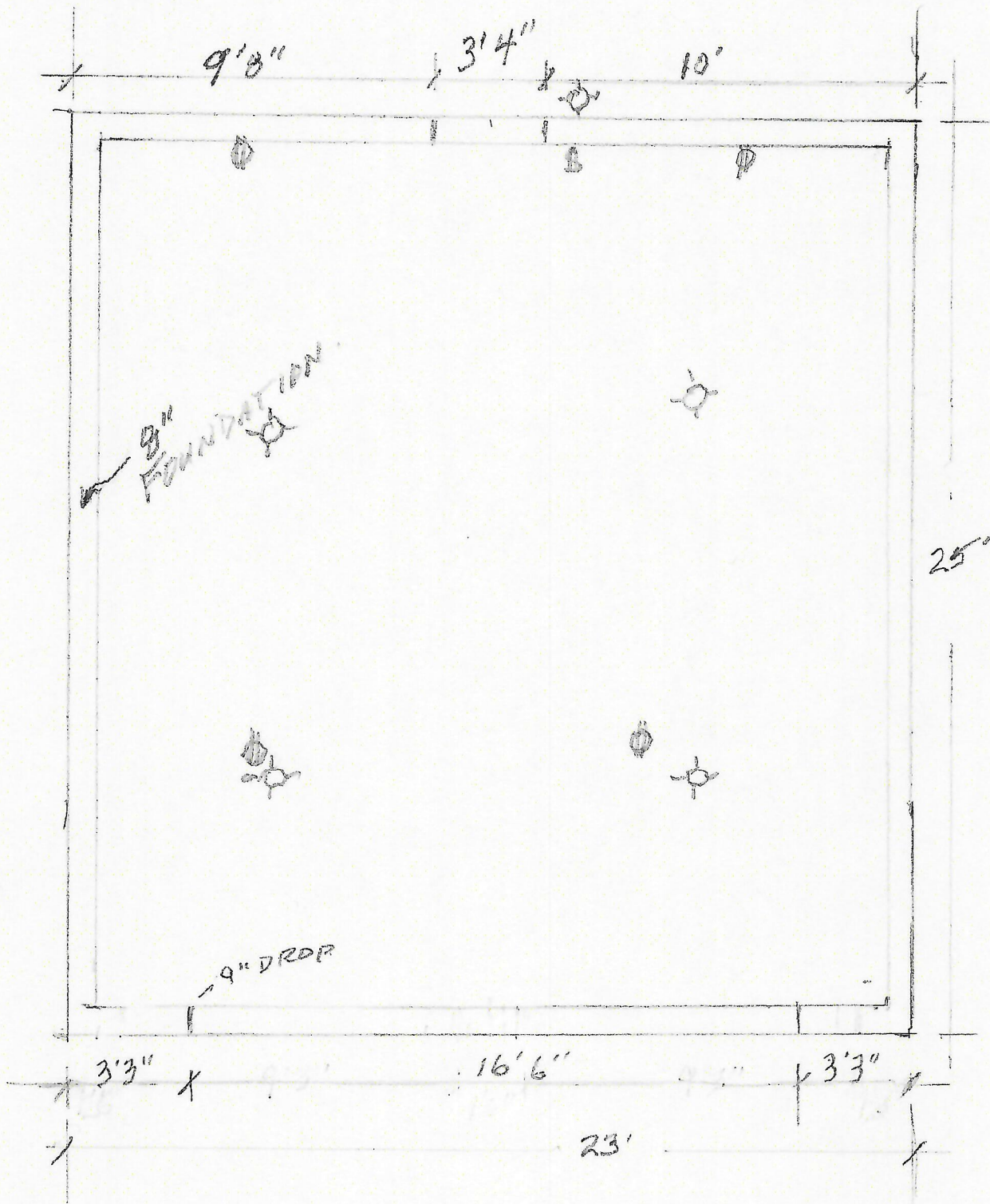
8" EXPOSED FOUNDATION



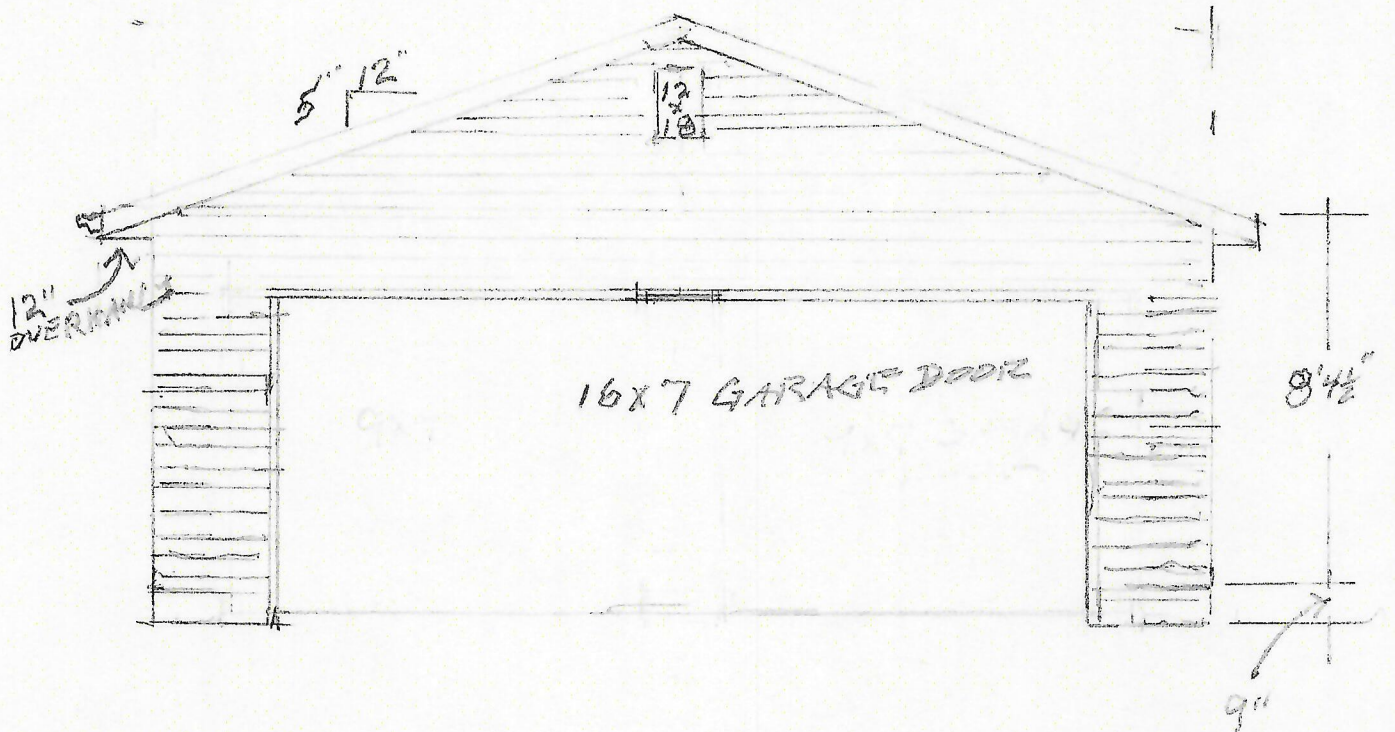
1112 MADISON ST  
FOUNDATION LAY OUT  
FOR 2 CAR GARAGE  
WITH ELECTRIC



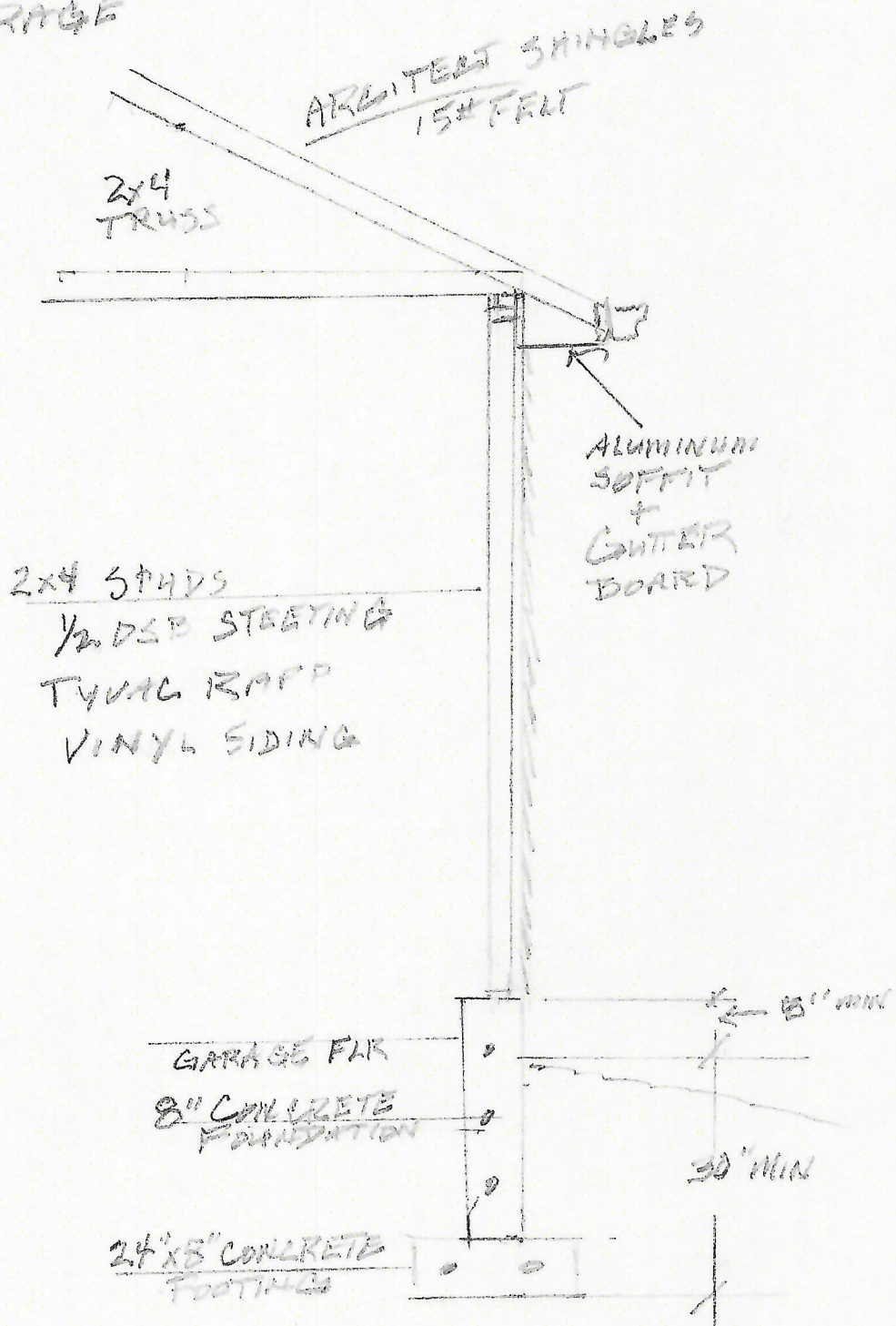
1112 MADISON ST  
FOUNDATION LAY OUT  
FOR 2 CAR GARAGE  
WITH ELECTRIC

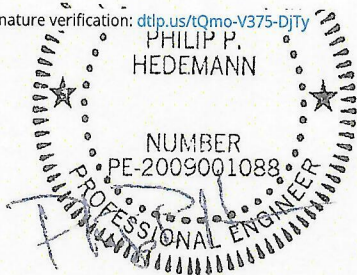


1112 MADISON ST  
FRONT VIEW  
2 CAR GARAGE



1112 MADISON ST  
TYPICAL WALL SECTION  
Z BAR GARAGE





Alpine, an ITW company  
 155 Harlem Ave.  
 North Building, 4th Floor  
 Glenview, IL 60025  
 Phone: (800)326-4102 (314)344-9121  
[alpineitw.com](http://alpineitw.com)

MO COA #2005000817

<b>Site Information:</b>	<b>Page 1:</b>
Customer: Beilsmith Brothers, Inc.	Job Number: 1112MS
Job Description:	
Address: 1112 Madison Street, St. Charles, MO 63301	

<b>Job Engineering Criteria:</b>	
Design Code: IRC 2021	IntelliVIEW Version: 24.02.01D
Wind Standard: ASCE 7-16      Wind Speed (mph): 115	JRef #: 1YdG70300001
Building Type: Closed	Design Loading (psf): 40.00

This package contains general notes pages, 2 truss drawing(s) and 3 detail(s).

Item	Drawing Number	Truss
1	259.25.1625.00613	T2 23' Gable
3	A11515ENC160118	
5	GBLLETIN0118	

Item	Drawing Number	Truss
2	259.25.1625.04920	T1 23' Common
4	GABRST160118	

## **General Notes**

### **Truss Design Engineer Scope of Work, Design Assumptions and Design Responsibilities:**

The design responsibilities assumed in the preparation of these design drawings are those specified in ANSI/TPI 1, Chapter 2; and the National Design Standard for Metal Plate Connected Wood Truss Construction, by the Truss Plate Institute. The truss component designs conform to the applicable provisions of ANSI/TPI 1 and NDS, the National Design Specification for Wood Construction by AWC. The truss component designs are based on the specified loading and dimension information furnished by others to the Truss Design Engineer. The Truss Design Engineer has no duty to independently verify the accuracy or completeness of the information provided by others and may rely on that information without liability. The responsibility for verification of that information remains with others neither employed nor controlled by the Truss Design Engineer. The Truss Design Engineer's seal and signature on the attached drawings, or cover page listing these drawings, indicates acceptance of professional engineering responsibility solely for the truss component designs and not for the technical information furnished by others which technical information and consequences thereof remain their sole responsibility.

The suitability and use of these drawings for any particular structure is the responsibility of the Building Designer in accordance with ANSI/TPI 1 Chapter 2. The Building Designer is responsible for determining that the dimensions and loads for each truss component match those required by the plans and by the actual use of the individual component, and for ascertaining that the loads shown on the drawings meet or exceed applicable building code requirements and any additional factors required in the particular application. Truss components using metal connector plates with integral teeth shall not be placed in environments that will cause the moisture content of the wood in which plates are embedded to exceed 19% and/or cause corrosion of connector plates and other metal fasteners.

The Truss Design Engineer shall not be responsible for items beyond the specific scope of the agreed contracted work set forth herein, including but not limited to: verifying the dimensions of the truss component, calculation of any of the truss component design loads, inspection of the truss components before or after installation, the design of temporary or permanent bracing and their attachment required in the roof and/or floor systems, the design of diaphragms or shear walls, the design of load transfer connections to and from diaphragms and shear walls, the design of load transfer to the foundation, the design of connections for truss components to their bearing supports, the design of the bearing supports, installation of the truss components, observation of the truss component installation process, review of truss assembly procedures, sequencing of the truss component installation, construction means and methods, site and/or worker safety in the installation of the truss components and/or its connections.

This document may be a high-quality facsimile of the original engineering document which is a digitally signed electronic file with third party authentication. A wet or embossed seal copy of this engineering document is available upon request.

### **Temporary Lateral Restraint and Bracing:**

Temporary lateral restraint and diagonal bracing shall be installed according to the provisions of BCSI chapters B1, B2, B7 and/or B10 (Building Component Safety Information, by TPI and SBCA), or as specified by the Building Designer or other Registered Design Professional. The required locations for lateral restraint and/or bracing depicted on these drawings are only for the permanent lateral support of the truss members to reduce buckling lengths, and do not apply to and may not be relied upon for the temporary stability of the truss components during their installation.

### **Permanent Lateral Restraint and Bracing:**

The required locations for lateral restraint or bracing depicted on these drawings are for the permanent lateral support of the truss members to reduce buckling lengths. Permanent lateral support shall be installed according to the provisions of BCSI chapters B3, B7 and/or B10, or as specified by the Building Designer or other Registered Design Professional. These drawings do not depict or specify installation/erection bracing, wind bracing, portal bracing or similar building stability bracing which are parts of the overall building design to be specified, designed, and detailed by the Building Designer.

### **Connector Plate Information:**

Alpine connector plates are made of ASTM A653 or ASTM A1063 galvanized steel with the following designations, gauges and grades: W=Wave, 20ga, grade 40; H=High Strength, 20ga, grade 60; S=Super Strength, 18ga, grade 60. Information on model code compliance is contained in the ICC Evaluation Service report ESR-1118, available on-line at [www.icc-es.org](http://www.icc-es.org).

### **Bearing Information:**

The bearing area factor,  $C_b$ , is considered for the allowable capacity of solid sawn wood bearings supporting trusses that are located a minimum of 3" from the end of the lumber piece.

## General Notes (continued)

### **Coated Lumber:**

Coated lumber must be properly re-dried and maintained below 19% or less moisture level through all stages of construction and usage. Coated lumber has no adjustments to lumber properties. Coated lumber may be more brittle than uncoated lumber. Special handling care must be taken to prevent breakage during all handling activities. Refer to manufacturer literature, specifications, and code evaluation reports for restrictions, details, and requirements.

### **Fire Retardant Treated Lumber:**

Fire retardant treated lumber must be properly re-dried and maintained below 19% or less moisture level through all stages of construction and usage. Fire retardant treated lumber may be more brittle than untreated lumber. Special handling care must be taken to prevent breakage during all handling activities.

### **Key to Terms:**

Information provided on drawings reflects a summary of the pertinent information required for the truss design. Detailed information on load cases, reactions, member lengths, forces and members requiring permanent lateral support may be found in calculation sheets available upon written request.

BCDL = Bottom Chord standard design Dead Load in pounds per square foot.

BCLL = Bottom Chord standard design Live Load in pounds per square foot.

C = Coated lumber.

C-AT = AtTEK coated lumber.

C-FX = FX Lumber Guard coated lumber.

C-TE = TechWood 4400 coated lumber.

CL = Certified lumber.

Des Ld = total of TCLL, TCDL, BCLL and BCDL Design Load in pounds per square foot.

FRT = Fire Retardant Treated lumber.

FRT-BF = Boraflame Fire Retardant Treated lumber

FRT-DB = D-Blaze Fire Retardant Treated lumber.

FRT-DC = Dricon Fire Retardant Treated lumber.

FRT-FP = FirePRO Fire Retardant Treated lumber.

FRT-FL = FlamePRO Fire Retardant Treated lumber.

FRT-FT = FlameTech Fire Retardant Treated lumber.

FRT-ON = OnWood Fire Retardant Treated lumber.

FRT-PG = PYRO-GUARD Fire Retardant Treated lumber.

FRT-PR = ProWood Fire Retardant Treated lumber.

g = green lumber.

HORZ(LL) = maximum Horizontal panel point deflection due to Live Load, in inches.

HORZ(TL) = maximum Horizontal panel point long term deflection in inches, due to Total Load, including creep adjustment.

HPL = additional Horizontal Load added to a truss Piece in pounds per linear foot or pounds.

lc = Incised lumber.

FJ = Finger Jointed lumber.

L/# = user specified divisor for limiting span/deflection ratio for evaluation of actual L/defl value.

L/defl = ratio of Length between bearings, in inches, divided by the vertical Deflection due to creep, in inches, at the referenced panel point. Reported as 999 if greater than or equal to 999.

Loc = Location, starting location of left end of bearing or panel point (joint) location of deflection.

Max BC CSI = Maximum bending and axial Combined Stress Index for Bottom Chords for all load cases.

Max TC CSI = Maximum bending and axial Combined Stress Index for Top Chords for all load cases.

Max Web CSI = Maximum bending and axial Combined Stress Index for Webs for all load cases.

NCBCLL = Non-Concurrent Bottom Chord design Live Load in pounds per square foot.

PL = additional Load applied at a user specified angle on a truss Piece in pounds per linear foot or pounds.

PLB = additional vertical load added to a Bottom chord Piece of a truss in pounds per linear foot or pounds

PLT = additional vertical load added to a Top chord Piece of a truss in pounds per linear foot or pounds.

PP = Panel Point.

R = maximum downward design Reaction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

-R = maximum upward design Reaction, in pounds, from all specified gravity load cases, at the identified location (Loc).

Rh = maximum horizontal design Reaction in either direction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

RL = maximum horizontal design Reaction in either direction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

## **General Notes** (continued)

### **Key to Terms** (continued):

R<sub>w</sub> = maximum downward design Reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the identified location (Loc).

TCDL = Top Chord standard design Dead Load in pounds per square foot.

TCLL = Top Chord standard design Live Load in pounds per square foot.

U = maximum Upward design reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

VERT(CL) = maximum Vertical panel point deflection in inches due to Live Load and Creep Component of Dead Load in inches.

VERT(CTL) = maximum Vertical panel point deflection ratios due to Live Load and Creep Component of Dead Load, and maximum long term Vertical panel point deflection in inches due to Total load, including creep adjustment.

VERT(LL) = maximum Vertical panel point deflection in inches due to Live Load.

VERT(TL) = maximum Vertical panel point long term deflection in inches due to Total load, including creep adjustment.

W = Width of non-hanger bearing, in inches.

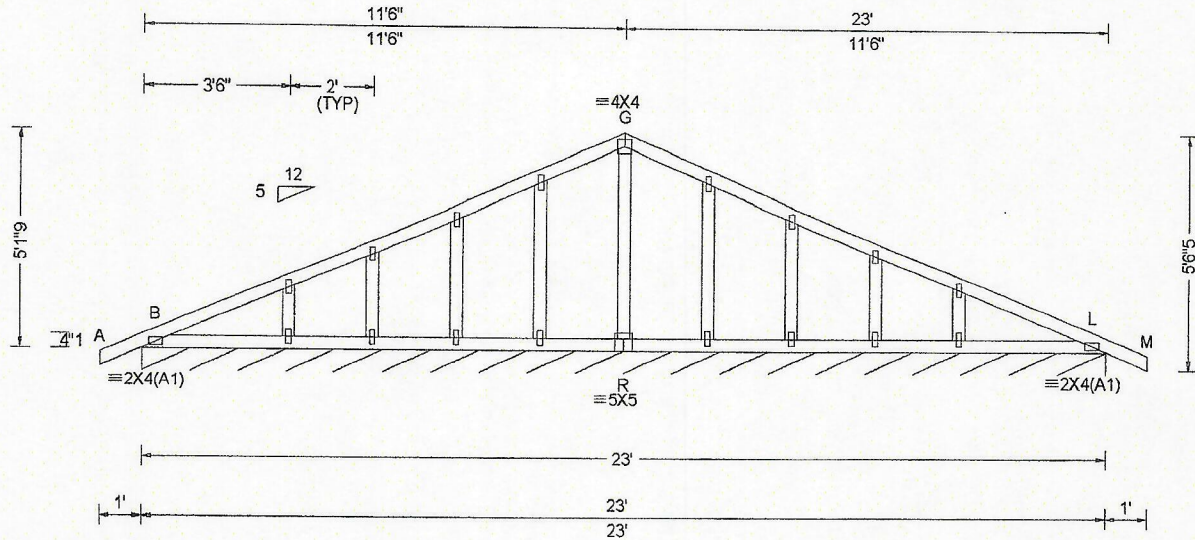
Refer to ASCE-7 for Wind and Seismic abbreviations.

Uppercase Acronyms not explained above are as defined in TPI 1.

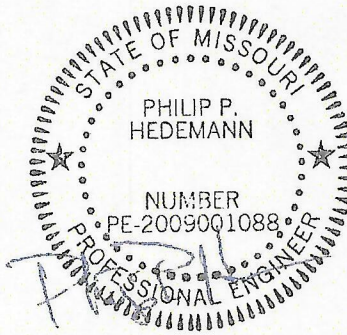
### **References:**

1. AWC: American Wood Council; 222 Catoclin Circle SE, Suite 201; Leesburg, VA 20175; [www.awc.org](http://www.awc.org).
2. ICC: International Code Council; [www.iccsafe.org](http://www.iccsafe.org).
3. Alpine, a division of ITW Building Components Group Inc.: 155 Harlem Ave, North Building, 4th Floor, Glenview, IL 60025; [www.alpineitw.com](http://www.alpineitw.com).
4. TPI: Truss Plate Institute, 2670 Crain Highway, Suite 203, Waldorf, MD 20601; [www.tpinst.org](http://www.tpinst.org).
5. SBCA: Wood Truss Council of America, 6300 Enterprise Lane, Madison, WI 53719; [www.sbcacomponents.com](http://www.sbcacomponents.com)

FROM:	Qty: 1	Job Number: 1112MS	Cust R 7030 JRef: 1YdG70300001 T2
		Truss Label: T2 23' Gable	DrwNo: 259.25.1625.00613
			/ PPH 09/16/2025



<b>Loading Criteria (psf)</b> TCLL: 20.00 TCCL: 10.00 BCLL: 0.00 BCDL: 10.00 Des Ld: 40.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 24.0"	<b>Wind Criteria</b> Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCCL: 6.0 psf BCDL: 6.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.00 ft Loc. from endwall: Any GCpi: 0.18 Wind Duration: 1.33	<b>Snow Criteria (Pg, Pf in PSF)</b> Pg: 20.0 Ct: 1.10 CAT: II Pf: 15.4 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15  Building Code: IRC 2021 TPI Std: 2014 Rep Fac: Varies by Ld Case FT/RT: 20(0)/10(0) Plate Type(s): WAVE	<b>Defl/CSI Criteria</b> PP Deflection in loc L/defl L/# VERT(LL): 0.002 L 999 240 VERT(CL): 0.004 L 999 240 HORZ(LL): -0.001 L - - HORZ(TL): 0.002 L - - Creep Factor: 2.0 Max TC CSI: 0.113 Max BC CSI: 0.077 Max Web CSI: 0.080  VIEW Ver: 24.02.01D.0602.19	<b>▲ Maximum Reactions (lbs), or *PLF</b> Gravity Non-Gravity Loc R+ /R- /Rh /Rw /U /RL L* 89 /- /- /47 /5 /4 Wind reactions based on MWFRS L Brg Wid = 276 Min Req = - Bearing B is a rigid surface. Members not listed have forces less than 375#
				<b>Lumber</b> Top chord: 2x4 SP #2; Bot chord: 2x4 SP #2; Webs: 2x4 SP #3;  <b>Plating Notes</b> All plates are 1.5X4 except as noted.  <b>Loading</b> Truss designed to support 1-0-0 top chord outlookers and cladding load not to exceed 1.00 PSF one face and 24.0" span opposite face. Top chord must not be cut or notched, unless specified otherwise. Bottom chord checked for 10.00 psf non-concurrent live load.  <b>Wind</b> Wind loads based on MWFRS with additional C&C member design. Wind loading based on both gable and hip roof types.  <b>Snow</b> Truss designed for unbalanced snow loads.  <b>Additional Notes</b> See DWGS A11515ENC160118, GBLLETIN0118, & GABRST160118 for gable wind bracing and other requirements.



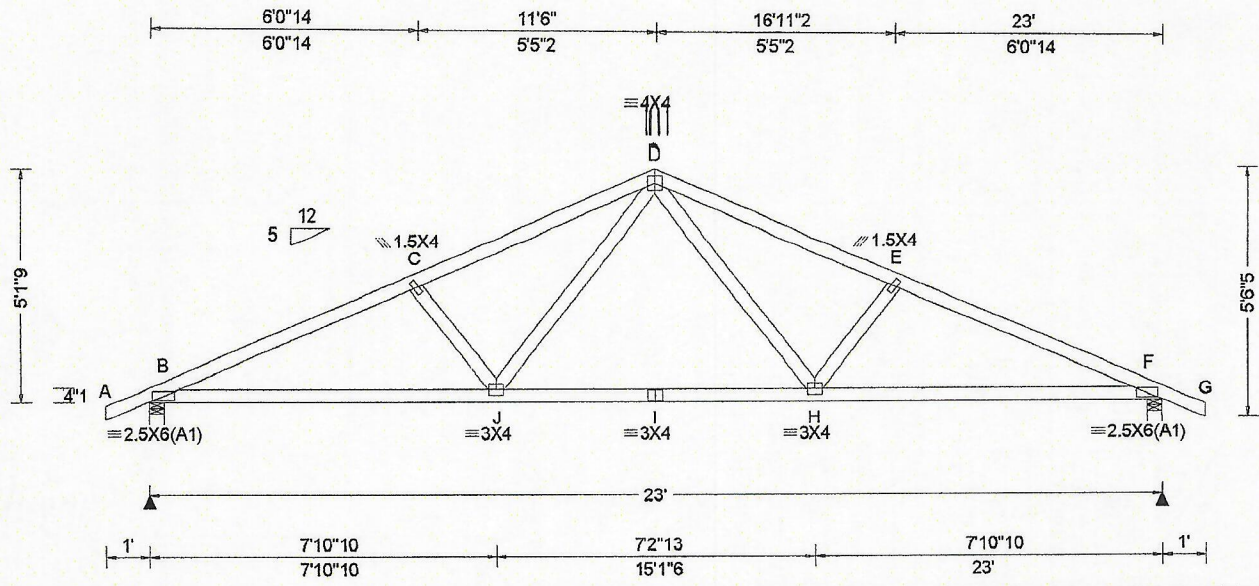
MO COA #2005000817

09/16/2025

**\*\*WARNING\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING!**  
**\*\*IMPORTANT\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**  
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have continuous lateral restraint (CLR), installed with diagonal bracing installed on the CLR per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Refer to job's General Notes page for additional information.  
 Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.  
 For more information see these web sites: Alpine: [alpineitw.com](http://alpineitw.com); TPI: [tpinst.org](http://tpinst.org); SBCA: [sbcacomponents.com](http://sbcacomponents.com); ICC: [iccsafe.org](http://iccsafe.org); AWC: [awc.org](http://awc.org)



FROM: SEQN: 549144	COMN Ply: 1 Qty: 5	Job Number: 1112MS	Cust: R 7030 JRef: 1YdG70300001 T1
		Truss Label: T1 23' Common	DrwNo: 250.25.1625.04920 / PPH 09/16/2025



<b>Loading Criteria (psf)</b> TCLL: 20.00 TCDDL: 10.00 BCLL: 0.00 BCDL: 10.00 Des Ld: 40.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.15 Spacing: 24.0 "	<b>Wind Criteria</b> Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Closed Risk Category: II EXP: C Kzt: NA Mean Height: 15.00 ft TCCL: 6.0 psf BCDL: 6.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.00 ft Loc. from endwall: Any GCpl: 0.18 Wind Duration: 1.33	<b>Snow Criteria (Pg,Pf in PSF)</b> Pg: 20.0 Ct: 1.10 CAT: II Pf: 15.4 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15 Building Code: IRC 2021 TPI Std: 2014 Rep Fac: Yes FT/RT: 20(0)/10(0) Plate Type(s): WAVE	<b>Defl/CSI Criteria</b> PP Deflection in loc L/defl L# VERT(LL): 0.071 J 999 240 VERT(CL): 0.143 J 999 240 HORZ(LL): 0.026 F - - HORZ(TL): 0.052 F - - Creep Factor: 2.0 Max TC CSI: 0.424 Max BC CSI: 0.641 Max Web CSI: 0.230 VIEW Ver: 24.02.01D.0602.19	<b>▲ Maximum Reactions (lbs)</b> Gravity Non-Gravity Loc R+ /R- /Rh /Rw /U /RL B 1005 /- /- /515 /39 /83 F 1005 /- /- /515 /39 /- Wind reactions based on MWFRS B Brg Wid = 4.0 Min Req = 1.5 (Truss) F Brg Wid = 4.0 Min Req = 1.5 (Truss) Bearings B & F are a rigid surface. Members not listed have forces less than 375# <b>Maximum Top Chord Forces Per Ply (lbs)</b> Chords Tens.Comp. Chords Tens. Comp. B - C 444 -1817 D - E 425 -1607 C - D 425 -1607 E - F 444 -1817					
				<b>Maximum Bot Chord Forces Per Ply (lbs)</b> Chords Tens.Comp. Chords Tens. Comp. B - J 1623 -345 I - H 1100 -172 J - I 1100 -172 H - F 1623 -328 <b>Maximum Web Forces Per Ply (lbs)</b> Webs Tens.Comp. Webs Tens. Comp. J - D 556 -91 D - H 556 -91					

**Lumber**

Top chord: 2x4 SP #2;  
 Bot chord: 2x4 SP #2;  
 Webs: 2x4 SP #3;

**Loading**

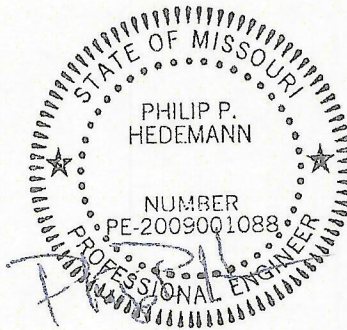
Bottom chord checked for 10.00 psf non-concurrent live load.

**Wind**

Wind loads based on MWFRS with additional C&C member design.  
 Wind loading based on both gable and hip roof types.

**Snow**

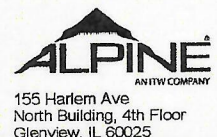
Truss designed for unbalanced snow loads.

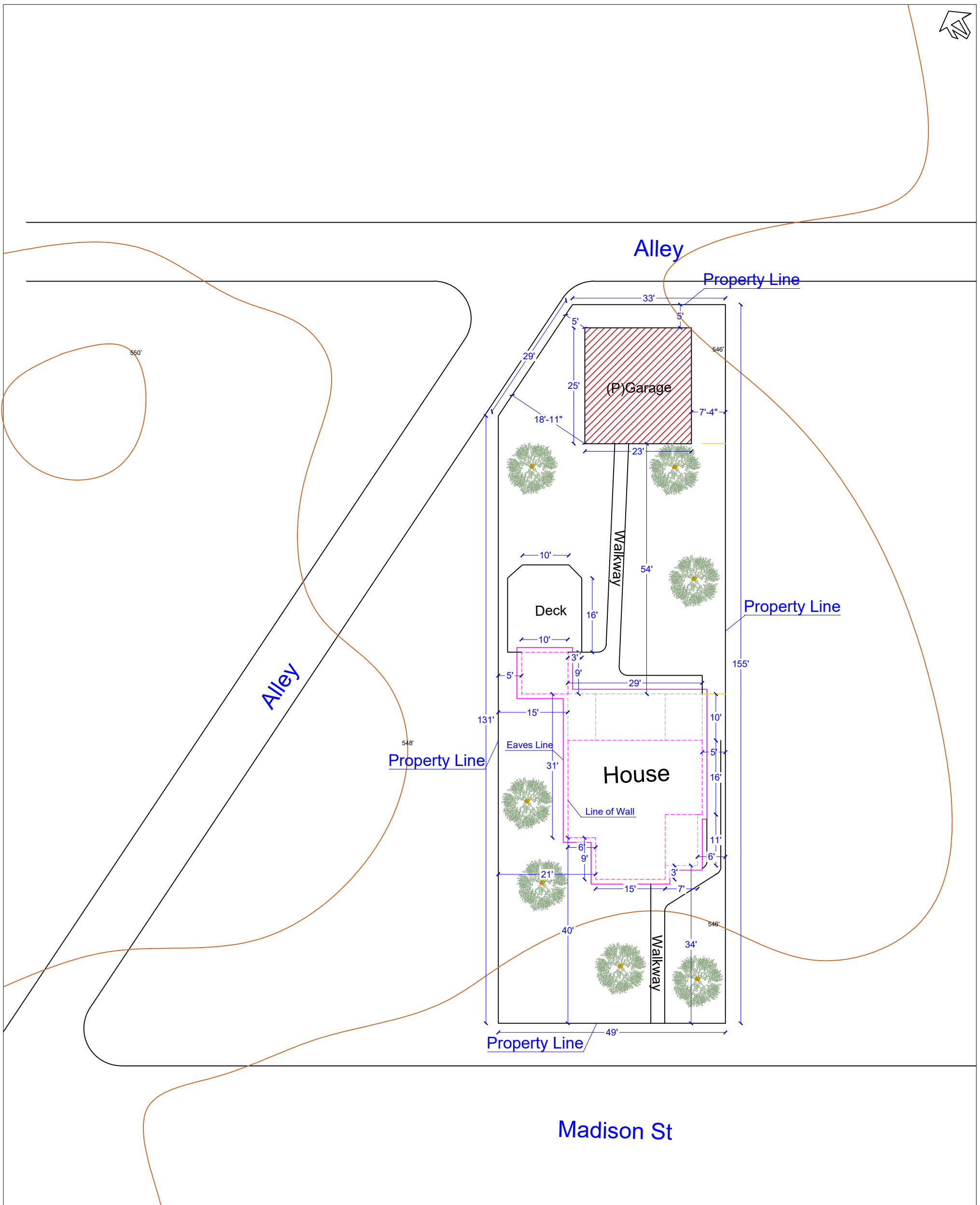


MO COA #2005000817

09/16/2025

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 For more information see these web sites: Alpine: [alpineitw.com](http://alpineitw.com); TPI: [tpinst.org](http://tpinst.org); SBICA: [sbicacomponents.com](http://sbicacomponents.com); ICC: [iccsafe.org](http://iccsafe.org); AWC: [awc.org](http://awc.org)

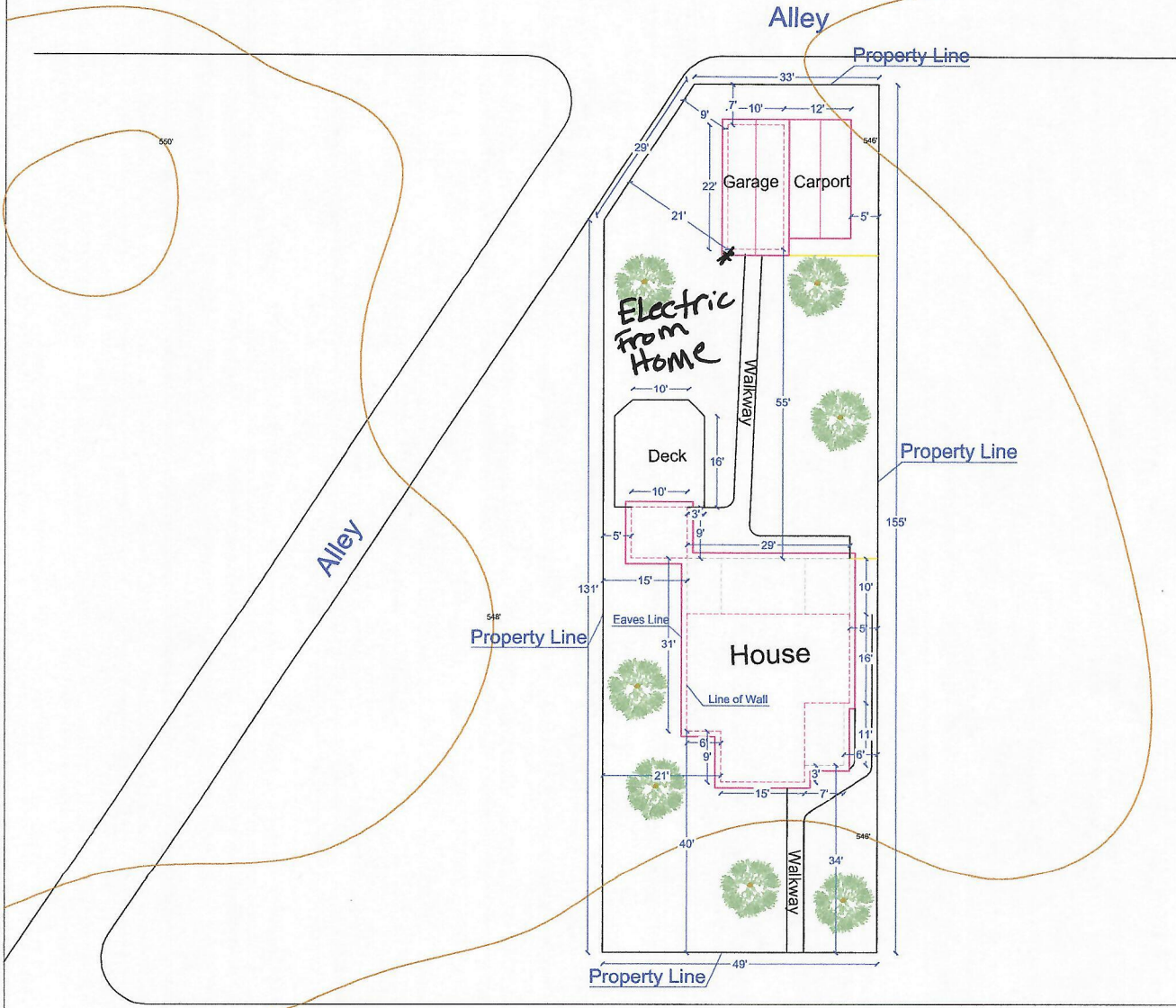




<b>ADDRESS: 1112 Madison St, St Charles, MO 63301, USA</b>	
Scale: 1"=20'	
Land: 0.17 AC	<b>THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE</b> This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.
House: 1446 SF	



# Demo Garage and Carport



Madison St

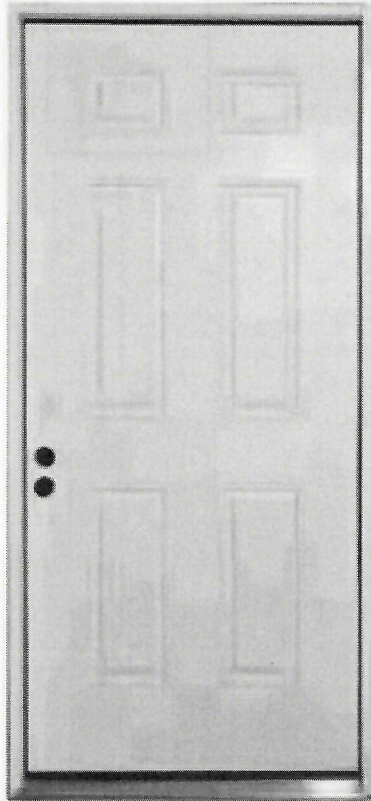
ADDRESS: 1112 Madison St, St Charles, MO 63301, USA

Scale: 1"=20'

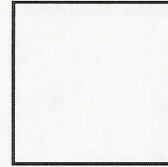
Land: 0.17 AC  
House: 1446 SF

THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE. This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.

Element 36 in. x 80 in. 6-Panel Right-Hand Inswing Primed White Steel Prehung Front Door wit...  
by Steves & Sons



Tap and Hold to Zoom



Feedback

## About This Product

Brighten your entry way with this Steves and Sons 6-Panel White Primed Steel Prehung Front Door. This ENERGY STAR qualified 1-3/4 in. door is pre-assembled in a fully weather-stripped frame for easy installation. The door and frame are primed and ready to finish in a color of your choice.

## Highlights

- Top quality galvanized steel with polystyrene core construction provides energy efficiency and security
- Interlocking stile edge provides structural rigidity
- High performance bronze weather stripping provides a tight seal against drafts
- Tempered glass for added safety and security
- Door is doubled bored for lockset with deadbolt and steel strike plate for added security
- Primed smooth surface ready for painting
- Prehung 4-9/16 in. primed frame for easy installation with 4 in. wall construction
- Requires a rough opening size of 38 in. W x 82 in. H
- Actual unit size is 37-1/2 in. W x 81-1/2 in. H
- Brickmold included
- ENERGY STAR



TruDefinition®  
**DURATION®**

Shingles with Patented SureNail® Technology

Tejas con tecnología patentada SureNail®



Driftwood



# DEEP DIMENSION OUTSTANDING PERFORMANCE

## Duration® Shingles offer:

- The high-performance of SureNail® Technology
- A TruDefinition® Color Platform
- A Limited Lifetime Warranty\*† for as long as you own your home
- The protection of a 130-MPH\* wind warranty
- StreakGuard® Protection with a 25-year Algae Resistance Limited Warranty<sup>3/5</sup>
- Rated Class 3 for Impact Resistance<sup>6</sup> and may qualify for a homeowner insurance discount<sup>7</sup>

## UNA NUEVA DIMENSIÓN DESEMPEÑO SOBRESALIENTE

### Las tejas Duration® ofrecen:

- El gran desempeño de la tecnología SureNail®
- La gama de colores TruDefinition®
- Una garantía limitada de por vida\*† mientras sea propietario de la vivienda
- La protección de una garantía contra vientos de hasta 210 km/h (130 mph)\*
- Protección StreakGuard® con una garantía limitada de 25 años de resistencia a las algas<sup>3/5</sup>
- Clasificación nominal 3 para resistencia a los impactos<sup>6</sup> y puede ser aplicable a descuento por seguro del propietario<sup>7</sup>



## Don't let black streaks lower the value or curb appeal of your home.

Owens Corning blends specialized copper-lined granules, developed by 3M, a leading producer of roofing granules, into our colorful shingles. This helps resist blue-green algae growth.

## No deje que las manchas de algas afecten al valor o aspecto de su vivienda.

En sus coloridas tejas, Owens Corning añade gránulos especiales con recubrimiento de cobre, desarrollados por 3M, un productor líder de gránulos para techos. Esto ayuda a prevenir la proliferación de algas azul-verdosas.



### THE FINISHING TOUCH

## OWENS CORNING® HIP & RIDGE SHINGLES

Owens Corning® Hip & Ridge Shingles are uniquely color matched to TruDefinition® Duration® Shingles. The multiple color blends are only available from Owens Corning Roofing and offer a finished look for the roof.

### EL TOQUE FINAL

## TEJAS DE LIMATESA Y CUMBRERA DE OWENS CORNING®

Las tejas de limatesa y cumbrera de Owens Corning® se ofrecen en una exclusiva gama de colores para combinar con las tejas Duration® TruDefinition®. Esta gran variedad de combinaciones de colores es una exclusividad de Owens Corning Roofing para lograr techos con un acabado único.

<sup>6</sup> Duration® Series shingles are tested in a laboratory setting and classified as a UL 2218 and FM 4473 Class 3 Impact-Resistant shingle. The results of this test do not guarantee that the shingle will resist all weather conditions. Hail damage is specifically excluded from coverage under the terms of its warranty.

<sup>6</sup> Duration® Series se prueba en un entorno de laboratorio y está clasificada como una teja resistente a impactos UL 2218 y FM 4473 Clase 3. Los resultados de esta prueba no garantizan que la teja resista a todas las condiciones climáticas. Los daños por granizo quedan expresamente excluidos de la cobertura conforme a los términos de su garantía.

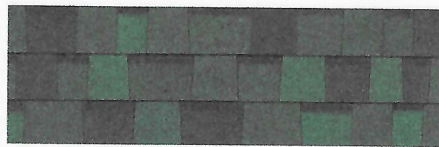
TruDefinition®

# DURATION®

Shingles with Patented SureNail® Technology | Tejas con tecnología patentada SureNail®



**Brownwood<sup>1</sup>**



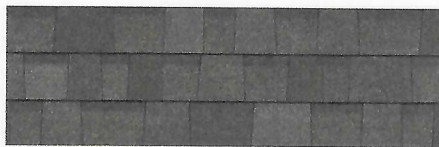
**Chateau Green<sup>1</sup>**



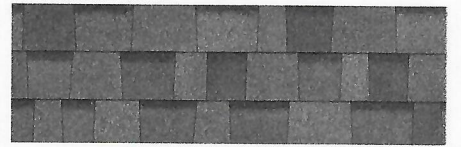
**Colonial Slate<sup>1</sup>**



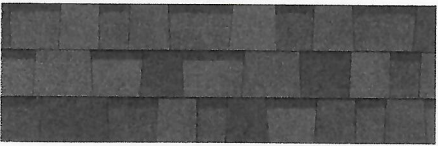
**Desert Rose<sup>1</sup>**



**Driftwood<sup>1</sup>**



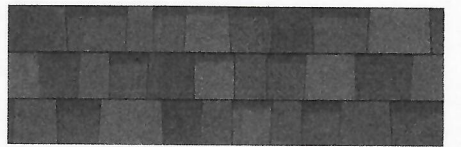
**Estate Gray<sup>1</sup>**



**Midnight Plum<sup>1/4</sup>**



**Onyx Black<sup>1</sup>**



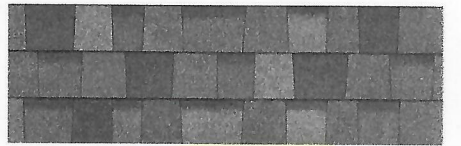
**Peppercorn<sup>1</sup>**



**Sand Castle<sup>1</sup>**



**Sierra Gray<sup>1</sup>**



**Slatestone Gray<sup>1</sup>**



**Teak<sup>1</sup>**



**Terra Cotta<sup>1</sup>**



**Williamsburg Gray<sup>1</sup>**

## COLOR DISCLAIMER

As color experts, we know getting the shingle color right is a big part of any roofing purchase. Due to printing color variations, in addition to viewing shingle literature, we suggest you request an actual shingle sample to see how it will appear on your home and with your home's exterior elements in various natural lighting conditions. Lastly, we recommend you verify your color choice by seeing it installed on an actual home; your roofing contractor or supplier can provide a sample and may be able to direct you to a local installation.

## DESCARGO DE RESPONSABILIDAD SOBRE LOS COLORES

En tanto que especialistas en color, sabemos que obtener el color de teja perfecto es una parte importante en toda compra de techos. Debido a las variaciones en los colores impresos, además de mirar folletos de tejas, le sugerimos que solicite una muestra de la teja para ver como se verá en su hogar y con los elementos externos de la vivienda bajo distintas condiciones de luz natural. Finalmente, le recomendamos que para verificar su elección de colores, vea cómo lucen las tejas ya instaladas en una vivienda; su contratista de techos o su proveedor le pueden dar una muestra e incluso indicarle dónde ver un techo ya instalado.



**SLATESTONE GRAY**

Market Square® ×

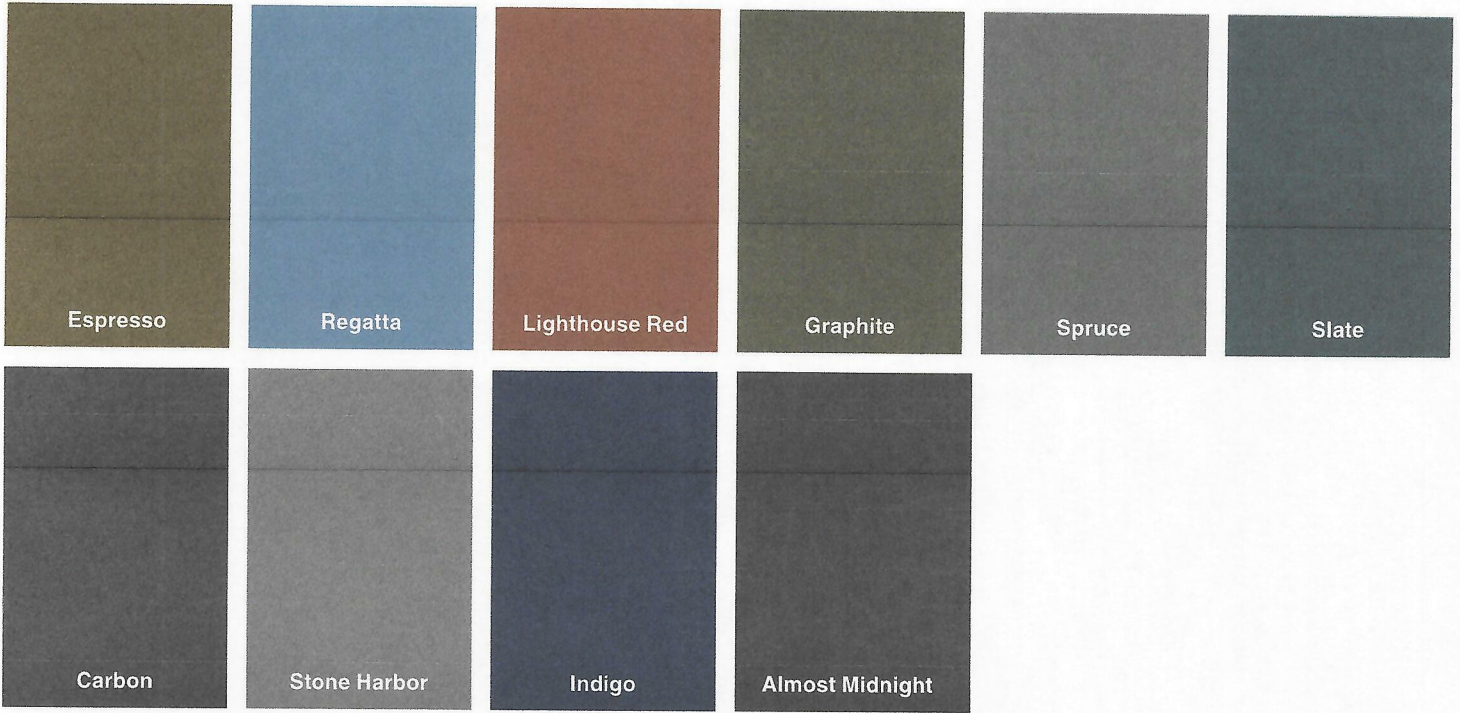
Dutch Lap ×



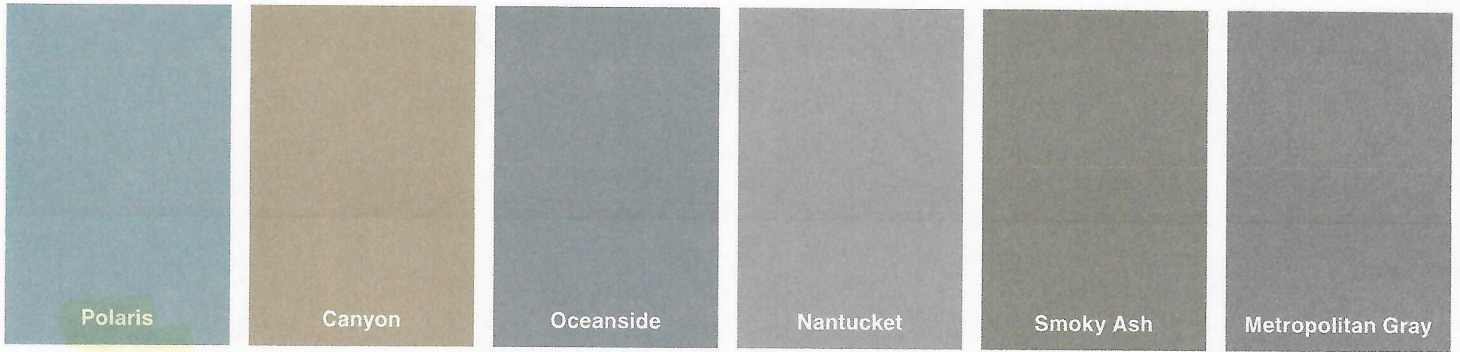
EXTERIOR PORTFOLIO® VINYL

Market Square Dutch Lap Siding

Smart Styles™ Expressions



Smart Styles™ Premium



Smart Styles™



D5 is not available in Smart Styles™ Premium or Expressions Colors. Actual siding color may vary slightly from printed brochure.

# CLASSIC™ STEEL

VALUE

garage doors



America's Favorite Garage Doors®



*Classic™ Steel / Model T40S,  
Short Traditional Panel  
with Plain Short Windows*

# CLASSIC™ STEEL

## VALUE

Improve your home's appearance with a Clopay Classic™ Steel Value garage door. Available in 24 or 25 gauge steel with a durable 2" steel frame construction, Classic™ Steel Value models are designed for beautiful, long-lasting performance. Choose from multiple panel styles, many color options and a wide range of window options to create a door that fits your budget and enhances your home's curb appeal.



### Tongue-and-Groove Section Joints

**24**  
GAUGE  
STEEL

**T40S** short panel  
**T40L** long panel

**25**  
GAUGE  
STEEL

**T50S** short panel  
**T50L** long panel  
**70B** ribbed panel

### Shiplap Section Joints

**24**  
GAUGE  
STEEL

**94** short panel

**25**  
GAUGE  
STEEL

**73** short panel  
**76** long panel

## 1-LAYER CONSTRUCTION

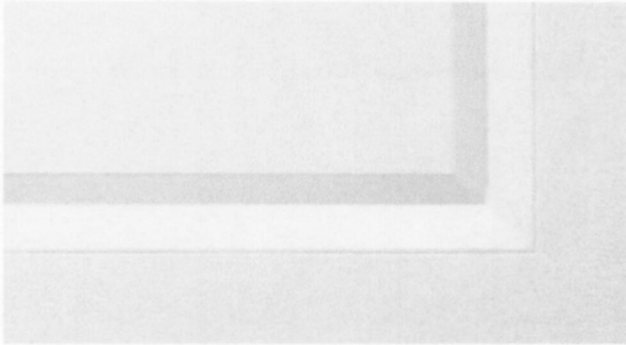
Heavy 24 or 25 gauge steel construction ensures durability, security and classic style at an affordable price.

- Tongue-and-groove/shiplap section joints keep out wind, rain and snow.
- Replaceable vinyl bottom weatherseal in a corrosion-resistant retainer helps seal out the elements.
- Clopay's Safe-T-Bracket® helps prevent serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Long-life nylon rollers are smooth and quiet.
- Galvanized steel hinges are durable, reliable and secure.
- Inside/outside step plates and grip handles make doors easy and safe to manually operate.



*Classic™ Steel / Model T50S, Short Traditional Panel  
with Optional Colonial 509 Window Design*

## DETAIL



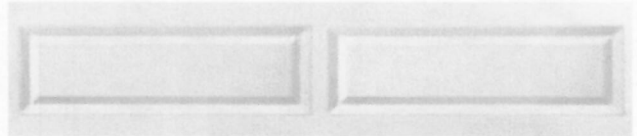
Deep panel edging and natural embossed woodgrain texture improve appearance close-up and from the curb.

## STYLE



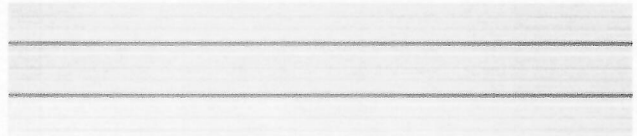
### **Traditional Short**

Complements homes with traditional styling. Models T40S, T50S, 94 and 73.



### **Traditional Long**

Ideal for ranch style homes. Models T40L, T50L and 76.



### **Ribbed**

Good option for transitional style homes or utility structures. Model 70B.

*Doors range from 6' to 16' high and 6' to 20' wide.  
Consult your Clopay Dealer for size options.  
WindCode® doors available to meet most regional wind load requirements.  
Consult your local dealer for specific information.*



Classic™ Steel / Model 94, Short Traditional Panel

## STANDARD COLORS



\* Available on Model 94. Additional charges apply (Note: door uses 24 gauge steel).  
 Due to the printing process, colors may vary.  
 Model 70B available only in Standard White and Chocolate.

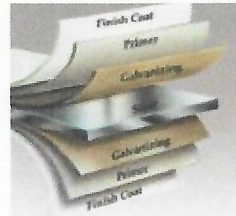
- Exterior steel on standard color doors has a natural woodgrain texture.
- Doors can be painted to match the home's exterior using a high-quality latex exterior paint. Do not use oil-based paint.

## CUSTOM PAINT OPTION



Choose from over 1,500 Sherwin-Williams® paint colors to complement your home with Clopay's Color Blast® factory-finishing option. Our durable two-part paint system is tested and backed by a five-year warranty.

## RUST-PREVENTION SYSTEM



Steel skins are protected through a tough, layered coating system, including a hot-dipped galvanized layer, a protective metal oxide pretreatment and a baked-on primer and top coat.

## STEP PLATE/LIFT HANDLE



Color-matched exterior step plate/lift handles are durable, attractive and allow for safe opening and closing of your door.



*Classic™ Steel / Model 73, Short Traditional Panel Design*

## ENVIRONMENTAL ASSURANCE

All Clopay doors are compliant with environmental laws and regulations and do not contain HFCs:

- California SB 1013
- New Jersey A-5583/S-3919 – Greenhouse Gas Bill
- Washington HB 1112 – Hydrofluorocarbon Greenhouse Gas Emissions
- Canadian regulations amending the ozone-depleting substances and halocarbon alternatives regulations

## WARRANTIES

PAINT SYSTEM	PAINT SYSTEM	PAINT SYSTEM	WINDOW	HARDWARE
LIMITED LIFE WARRANTY	LIMITED 15YR WARRANTY	LIMITED 10YR WARRANTY	LIMITED 10YR WARRANTY	LIMITED 3YR WARRANTY

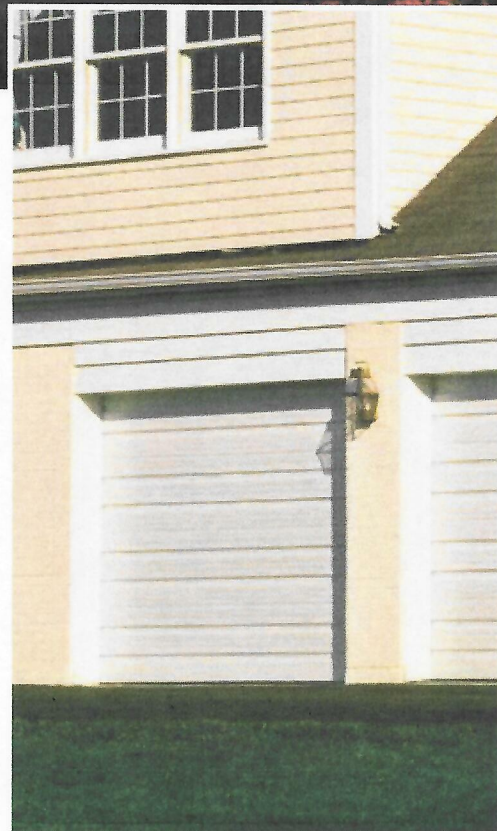
Models T40, 94

Models T50, 73, 76

Model 70B

All Models

All Models



*Classic™ Steel / Model 70B, Ribbed Panel*

# WINDOW OPTIONS

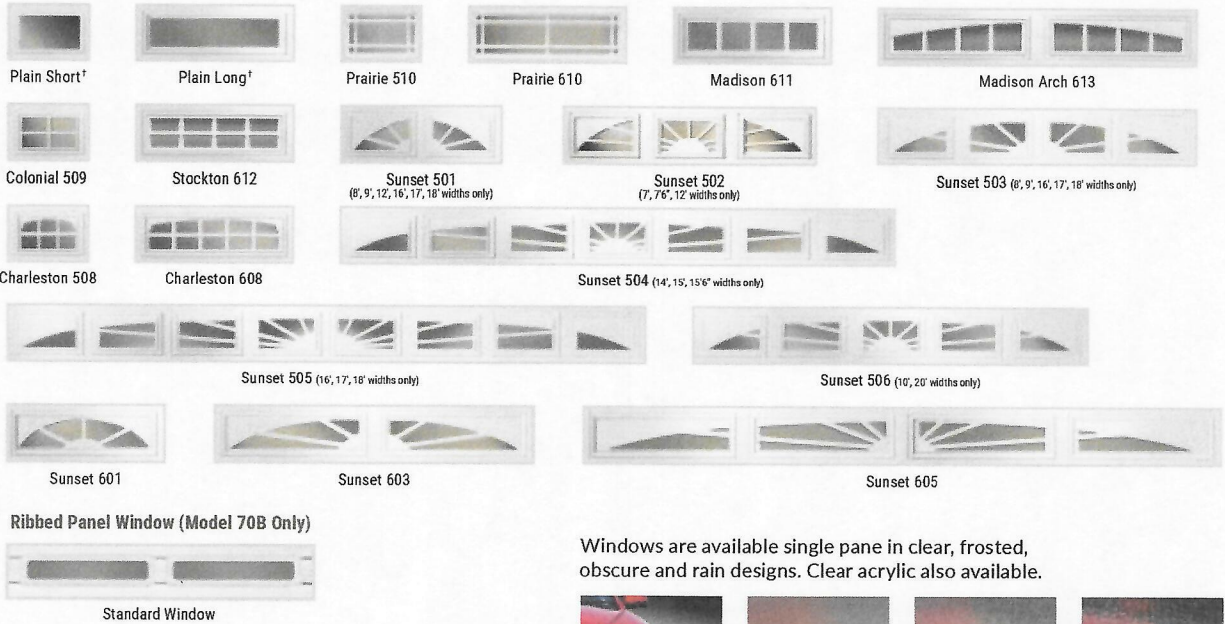
Windows bring natural light into the garage and enhance your home's curb appeal. All Clopay window frames are UV-protected and are color matched to our prefinished door colors. Window frames screw in from the inside for easy glass replacement or to change designs.

## DECORATIVE INSERT SERIES WINDOWS

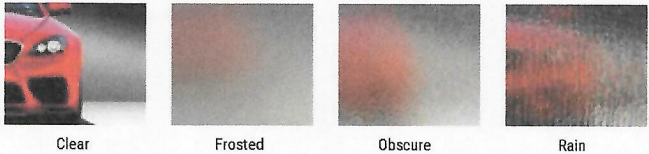
UV-protected cellular plastic inserts snap into the inside or outside of the window frame for easy cleaning or to change designs. Windows are available in single strength, double strength, acrylic or obscure glass. Short windows are 19-1/2" x 12"; long windows are 40-1/2" x 12".

### Available on These Models

T40S\* 94\*  
T40L 73\*  
T50S\* 76  
T50L



Windows are available single pane in clear, frosted, obscure and rain designs. Clear acrylic also available.



Short windows not available on long panel doors.  
\*Panel emboss may not align with windows due to size difference. Some size limitations apply.  
\*Shown with clear glass. Acrylic and obscure glass optional.  
Additional charges for optional glass apply.  
Acrylic windows require special cleaning. See care and maintenance manual.



Visit [clopaydoor.com](http://clopaydoor.com) or call 1-800-2CLOPAY (225-6729) for more information on Clopay, America's Favorite Garage Doors.

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RSDR-VALUESS-12\_REV0625



START DESIGNING  
YOUR NEW  
GARAGE DOOR  
OPEN CAMERA  
AND POINT!



**AGENDA ITEM #6D**

**STAFF REPORT**  
**SINGLE FAMILY DWELLING**  
**DEMOLITION**  
**2205 NORTH 5<sup>TH</sup> STREET**  
**CASE NO. D-2025-023**

**BY TAYLOR MOORE**

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**APPLICANT:** Corey Geroski  
Geroski Design Group LLC  
3717 Huntington Valley Drive  
St. Louis, MO 63129

**OWNER:** Will Smith  
Modern Property Investments  
P.O. Box 84  
Cottleville MO 63338

**ADDRESS/LOCATION:** 2205 North 5th Street

**ZONING:** R-1E—Single-Family Residential District  
EHP—Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** December 15, 2025

**BACKGROUND**

Located in the Extended Historic Preservation District, the subject property is the one-story, framed, house at 2205 North 5<sup>th</sup> Street. The applicant is requesting approval to remove the existing dwelling on the property in order to construct a new dwelling in its place. The existing structure is in a deteriorated condition with significant deferred maintenance. The property has been within the Code Enforcement system for over a decade for exterior maintenance items and yard/trash debris. Accompanying the application is the required Historical/Architectural Report, and existing photos of the dwelling.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "The existing structure is a modest single-story residence, built circa 1941, with substantial alterations over time. Due to replacement siding, non-original windows, porch modifications, foundation deterioration, and extensive structural degradation, it no longer reflects the development patterns or architectural characteristics of the early-mid 20th century residential fabric. Its condition and alterations prevent it from contributing meaningful historical, cultural, or architectural value to the community or region."
- **Staff:** *The structure is located within a portion of the Extended Historic Preservation District (EHP) that vastly has less scrutiny than other portions of the EHP. The surrounding neighborhood consist of structures similar to the subject dwelling. Additionally, the applicant is correct that the structure has experienced too many alterations over time, and would more than likely be considered a non-contributing property if this portion of the EHP were to ever be nationally surveyed. Staff concurs with the applicant's analysis that with these factors, the structure's character is not significant to the heritage or cultural characteristics of the City, State, or Nation.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "There is no documentation or recorded evidence that the property was the site of any significant event at the local, county, state, or national level."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "Historical research reveals no association with any individual known to have significantly influenced the development of St. Charles, the region, or broader historical movements."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** "The structure once reflected basic mid-century residential construction, but its original character-defining elements have been lost or severely altered. Missing/modified features include: original siding, porch supports, trim, windows, roof detailing, and structural elements. Due to these changes, the building cannot be considered a valuable or intact example of its period or style."
- **Staff:** *Staff concurs with this analysis, as the structure's architectural style is modest and many original details have been removed.*

*Criterion 5: The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant:** "There is no documentation suggesting the home was designed or constructed by any noted architect, builder, or landscape architect."
- **Staff:** *Staff concurs with this analysis. From review of survey materials and records, there is no connection with this residence to any significant person.*

*Criterion 6: The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant:** "Most original elements have been removed, obscured, or replaced with non-historic, non-architectural materials. The current structure does not exhibit any craftsmanship, detailing, or materials that would be considered architecturally significant or representative of a particular era."
- **Staff:** *Staff concurs with this analysis.*

*Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.*

- **Applicant:** "The structure does not contain any features that reflect architectural innovation, structural advancement, or unique construction techniques. Existing conditions reflect deterioration rather than any innovative qualities."
- **Staff:** *Staff concurs with this evaluation.*

*Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.*

- **Applicant:** "The structure is similar in scale and massing to surrounding homes, but its deteriorated appearance and extensive alterations prevent it from serving as a defining or familiar visual feature. Its presence does not contribute meaningfully to the neighborhood identity."
- **Staff:** *Staff concurs with this analysis.*

*Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.*

- **Applicant:** "The home is a common, highly altered residential structure and does not represent a unique or fine example of any utilitarian building type listed in the ordinance."
- **Staff:** *Staff concurs, as the structure is not a utilitarian structure.*

*Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.*

- **Applicant:** "There is no evidence that the structure has yielded, or could yield, valuable historical, archaeological, or architectural information. Its compromised condition further limits its potential to serve as a historical resource."
- **Staff:** *Staff concurs with this analysis.*

## **SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL**

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
  - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
  - 2. Its location as a site of a significant local, county, state or national event;
  - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
  5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
  6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
  7. Its embodiment of design elements that make it structurally or architecturally innovative;
  8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
  9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
  10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
  2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
  3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
  4. Assessed value of the property according to the two (2) most recent assessments;
  5. Real estate taxes of the previous two (2) years;
  6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
  7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

### **STAFF RECOMMENDATION – HISTORICAL SIGNIFICANCE**

After reviewing the subject one-story dwelling against the applicable standards for review, Staff has determined that the structure holds no historic value to the district or the City. The subject structure, though listed with an early construction date, has been substantially altered over time. Additionally, this portion of the Extended Historic Preservation District would likely never be surveyed for a National Register Historic District, and even so, the structure would likely be considered non-contributing due to the extent of these alterations.

Based on the above findings, it is Staff's opinion that the structure does not possess sufficient architectural or historical significance to warrant preservation. Staff recommends that the structure be found not historically significant and that removal of the building be permitted.

#### **Recommended Motions:**

**Motion to find the single-family dwelling at 2205 North 5<sup>th</sup> Street to be historically significant.** (*Staff recommends that this structure IS NOT found historically significant.*)

If the Board disagrees and finds that the structure is in fact **historically significant**, the Board must then proceed to considering whether the preservation of the structure is *technologically and economically feasible*. In determining whether the preservation of the structure is technologically and economically feasible, the HLPARB shall consider the following criteria as outlined via Section 400.1280(G). At this time, the applicant has not provided the needed information for this section, believing the structure will not be considered historically significant.



**Figure 1: Subject structure seen currently from North 5<sup>th</sup> Street.**



**Figure 2: Front view of subject dwelling.**



**Figure 3: Rear view of subject dwelling.**



**Figure 4: Interior photo examples of the property.**



Figure 5: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

## CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 2205 N. Fifth St., St. Charles, MO.

**BUSINESS NAME** (if applicable): \_\_\_\_\_

**APPLICANT:** Geroski Design Group LLC - POC: Corey

\_\_\_\_\_  
(Name)

3717 Huntington Valley Dr. Saint Louis, MO. 63129

\_\_\_\_\_  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

**PROPERTY OWNER:** Will Smith

\_\_\_\_\_  
(Name)

Modern Property Investments, P.O. Box 84, Cottleville, MO. 63338

\_\_\_\_\_  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

### HISTORIC DISTRICT LOCATION:

   Commons Preservation District   X   Extended Historic Preservation District   

Frenchtown Preservation District    Historic Downtown Preservation District    SouthMain

Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1941

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

The property currently consists of a single-story, 980 sq. ft. wood-framed residence constructed in 1941. The structure has significant deterioration throughout, including severe foundation settlement, failing floor systems, substantial roof leaks, extensive rot at exterior walls and porch framing, and multiple structural deformations. Exterior siding, trim, and porch elements are warped, decayed, or collapsing. Interior finishes show major water damage, mold, and long-term neglect. The building is uninhabitable and presents multiple safety hazards. The lot is otherwise level with chain-link fencing and an existing concrete driveway/pad at the rear.

**PROJECT DESCRIPTION (mark and explain each that may apply):**

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: New single-family residence(see proposed)

Demolish or move structure: Full demolition of exist. structure

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): Removal of all exist. conditions

Other (briefly explain): \_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

All exterior changes begin with the complete removal of the deteriorated structure. Following demolition, the lot will be cleaned, graded, and prepared for construction of a new single-family home. New utility connections, updated drainage, and repaired fencing may be included as part of the site improvements. No modifications will be made to adjacent properties or the surrounding streetscape. The replacement home will be compatible with neighborhood character and constructed per current City standards.

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescymgo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:           *Cory Geroski*           Date: 11/25/2025

Signature of the property owner:           *[Signature]*           Date: 11/25/2025

*Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

**Application Fees:**

**Site Plan: \$200.00**

**Exterior Changes & Demolitions: \$50.00**



## HISTORIC /ARCHITECTURAL REPORT(Continued)

**2205 North 5th Street St. Charles, Missouri 63301**

Prepared for: City of St. Charles Landmarks Board

Prepared by: Geroski Design Group LLC

Lead Planner - Brandon Coleman, Architectural Planning & Documentation

Date: November 2025

### Section 400.1280(F) Criteria Response:

**1. Character, interest, or value as part of the development, heritage, or cultural characteristics of the community, County, State, or country**

The existing structure is a modest single-story residence, built circa 1941, with substantial alterations over time. Due to replacement siding, non-original windows, porch modifications, foundation deterioration, and extensive structural degradation, it no longer reflects the development patterns or architectural characteristics of the early-mid 20th century residential fabric. Its condition and alterations prevent it from contributing meaningful historical, cultural, or architectural value to the community or region.

**2. Location as the site of a significant local, County, State, or national event**

There is no documentation or recorded evidence that the property was the site of any significant event at the local, county, state, or national level.

**3. Identification with a person or persons who significantly contributed to the development of the community, County, State, or country**

Historical research reveals no association with any individual known to have significantly influenced the development of St. Charles, the region, or broader historical movements.

**4. Embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials**

The structure once reflected basic mid-century residential construction, but its original character-defining elements have been lost or severely altered. Missing/modified features include: original siding, porch supports, trim, windows, roof detailing, and structural elements. Due to these changes, the building cannot be considered a valuable or intact example of its period or style.

**5. Identification as the work of a master builder, designer, architect, or landscape architect whose work influenced the development of the community, County, State, or country**

There is no documentation suggesting the home was designed or constructed by any noted architect, builder, or landscape architect.

**6. Embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant**

Most original elements have been removed, obscured, or replaced with non-historic, non-architectural materials. The current structure does not exhibit any craftsmanship, detailing, or materials that would be considered architecturally significant or representative of a particular era.

**7. Embodiment of design elements that make it structurally or architecturally innovative**

The structure does not contain any features that reflect architectural innovation, structural advancement, or unique construction techniques. Existing conditions reflect deterioration rather than any innovative qualities.

**8. Unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community, or City**

The structure is similar in scale and massing to surrounding homes, but its deteriorated appearance and extensive alterations prevent it from serving as a defining or familiar visual feature. Its presence does not contribute meaningfully to the neighborhood identity.

**9. Character as a particularly fine or unique example of a utilitarian structure(e.g., farmhouse, outbuilding, school, commercial structure, etc.)**

The home is a common, highly altered residential structure and does not represent a unique or fine example of any utilitarian building type listed in the ordinance.

**10. The likelihood that the structure has yielded, or may yield, information important in history**

There is no evidence that the structure has yielded, or could yield, valuable historical, archaeological, or architectural information. Its compromised condition further limits its potential to serve as a historical resource.

**Summary**

Based on the criteria outlined in Section 400.1280(F), the existing residence at 2205 North 5th Street does not meet any of the standards of historical, architectural, or cultural significance necessary to justify preservation. Its deteriorated physical condition, extensive past alterations, and lack of documented historical relevance support the request for demolition and replacement with a new structure consistent with the City's standards and the surrounding neighborhood context.



## HISTORIC /ARCHITECTURAL REPORT(Continued)

**2205 North 5th Street St. Charles, Missouri 63301**

Prepared for: City of St. Charles Landmarks Board

Prepared by: Geroski Design Group LLC

Lead Planner - Brandon Coleman, Architectural Planning & Documentation

Date: November 2025

### Existing Conditions:



(Front )



(Front )



(Rear )



## HISTORIC /ARCHITECTURAL REPORT(Continued)

**2205 North 5th Street St. Charles, Missouri 63301**

Prepared for: City of St. Charles Landmarks Board

Prepared by: Geroski Design Group LLC

Lead Planner - Brandon Coleman, Architectural Planning & Documentation

Date: November 2025

### Existing Conditions:



Interior Conditions - A



Interior Conditions - B



Interior Conditions - C



Interior Conditions - D



Deteriorated Sill plate



**STAFF REPORT**  
**NEW SINGLE-FAMILY DWELLING**  
**2205 NORTH 5<sup>TH</sup> STREET**  
**CASE NO. SP-2025-024**

**BY TAYLOR MOORE**

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**APPLICANT:** Corey Geroski  
355 Clarence Drive  
St. Charles, MO 63303

**OWNER:** Will Smith  
2205 North 5<sup>th</sup> Street  
St. Charles, MO 63301

**ADDRESS/LOCATION:** 2205 North 5th Street

**ZONING:** R-1E—Single-Family Residential District  
EHP—Extended Historic Preservation District

**USE:** Single-Family Residential

**MEETING DATE:** December 15, 2025

**BACKGROUND**

Located in the Extended Historic Preservation District, the subject property is the one-story framed house at 2205 North 5<sup>th</sup> Street. The applicant is requesting approval to remove the existing dwelling on the property (Case No. D-2025-023) at the December 15, 2025 Landmarks Board meeting. Upon approval of the existing dwellings removal, the applicant is requesting to construct a 23' x 65' (1,495 sq. ft.) one-story shotgun style house on the property. Accompanying this report is a site plan, elevations, material examples, and existing photos of the property.

**APPLICABLE DESIGN GUIDELINES**

**SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT**

D. *Architectural Review For Properties Constructed After 1945.* Every application for a building permit for construction of, additions to, and exterior alterations of, any building in the district shall be submitted to the HLPARB for review and approval. In reviewing applications for a Certificate of Appropriateness, guidelines established in Section [400.1270](#) shall be used.

**REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT**

**Section 5.1 ARCHITECTURAL DESIGN GUIDELINES**

2. Relationship of Buildings and Site to Adjoining Area
  - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
  - b. Harmony in texture, lines, and masses is required. Monotony shall be avoided.

### 3. Building Design

- a. Architectural style is not restricted but historically significant architecture style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
- b. Buildings shall have good scale and be in harmonious conformance with permanent neighborhood development.
- c. Materials
  - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
  - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
  - (3) Materials shall be of durable quality.
- d. Building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationships to one another.
- e. Colors shall be harmonious and shall use only compatible accents.

### 7. Maintenance-Planning and Design Factors

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

### 8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- d. Architectural character
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

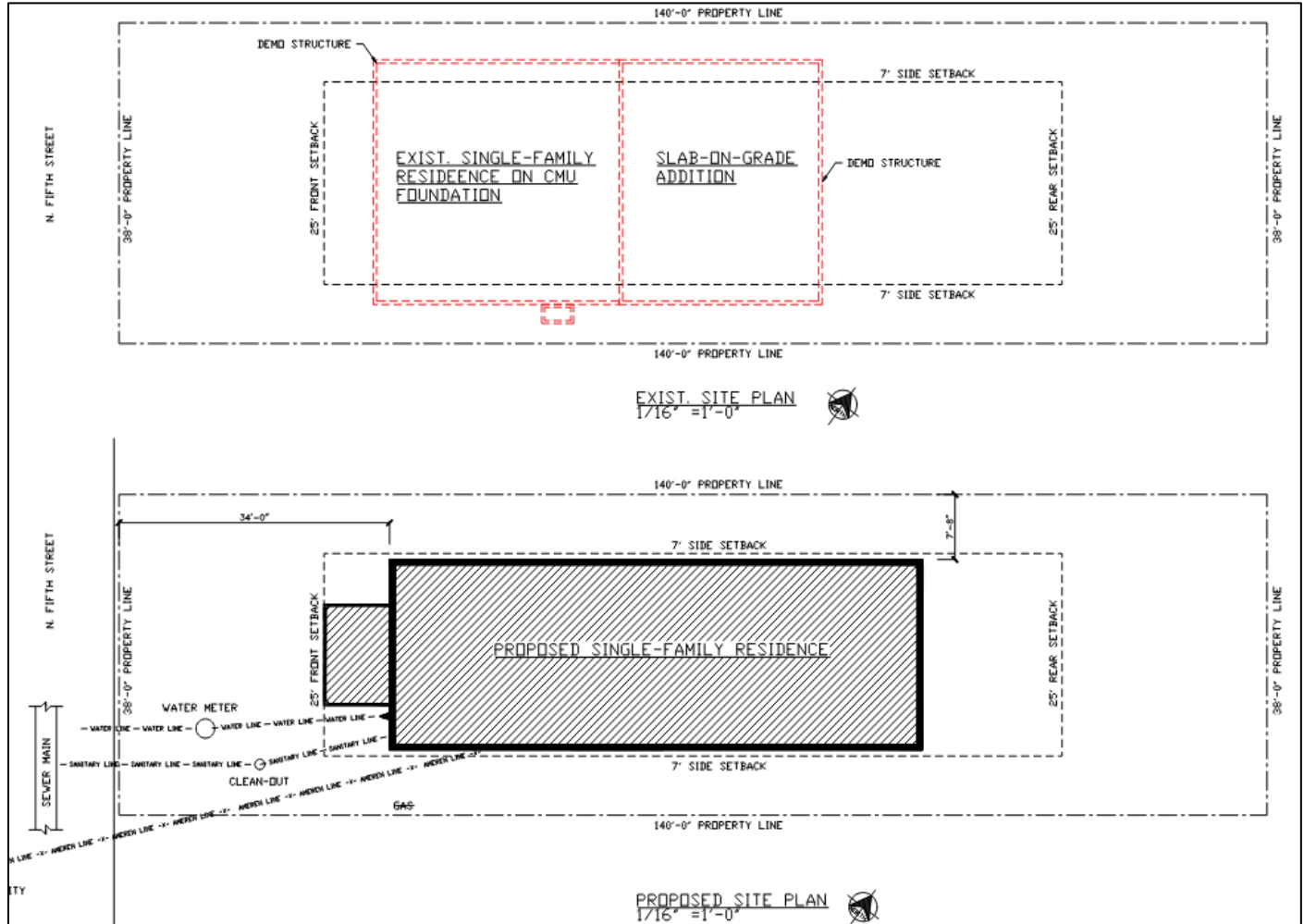
### **STAFF RECOMMENDATION**

The proposed new single-family dwelling will be constructed in a traditional shotgun style layout and feature a simple gable roof with asphalt shingles and ridge venting. Exterior materials include horizontal grey vinyl siding with a concrete foundation. The primary façade includes a centered entry door with paired windows and a covered front porch supported by simple columns. The south side elevation shows four (4) evenly spaced one over one white vinyl windows, while the north elevation shows two (2) largely spaced windows of the same design. The rear elevation features a slightly offset center door of the same design as the front door and one singular window.

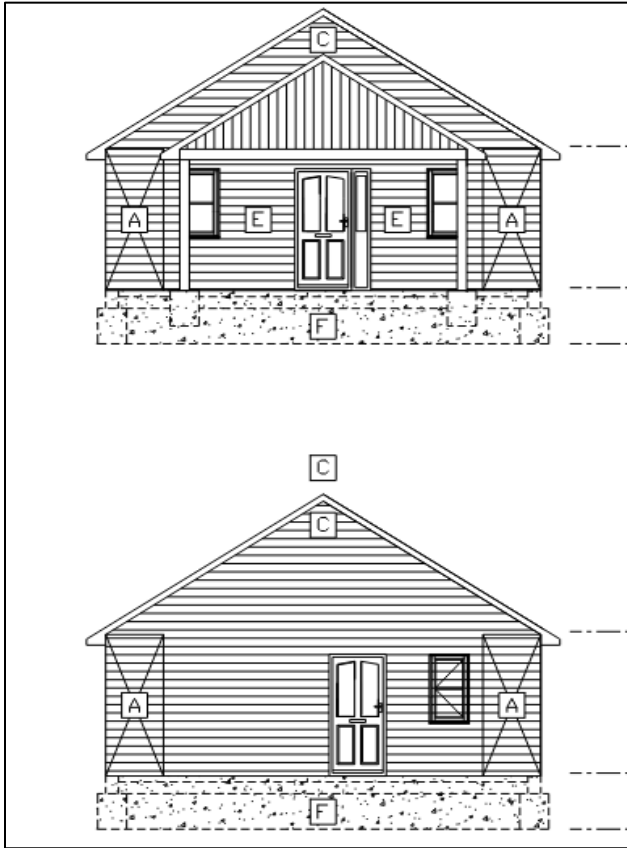
This portion of the Extended Historic Preservation District is a mixture of mostly simple mid-century homes of various sizes and materials. The proposed design for the new dwelling will integrate well into the existing neighborhood of existing simple form structures with minimal architectural detailing. Therefore, staff recommends **approval** of the new single-family dwelling, as submitted.

**Recommended Motion:**

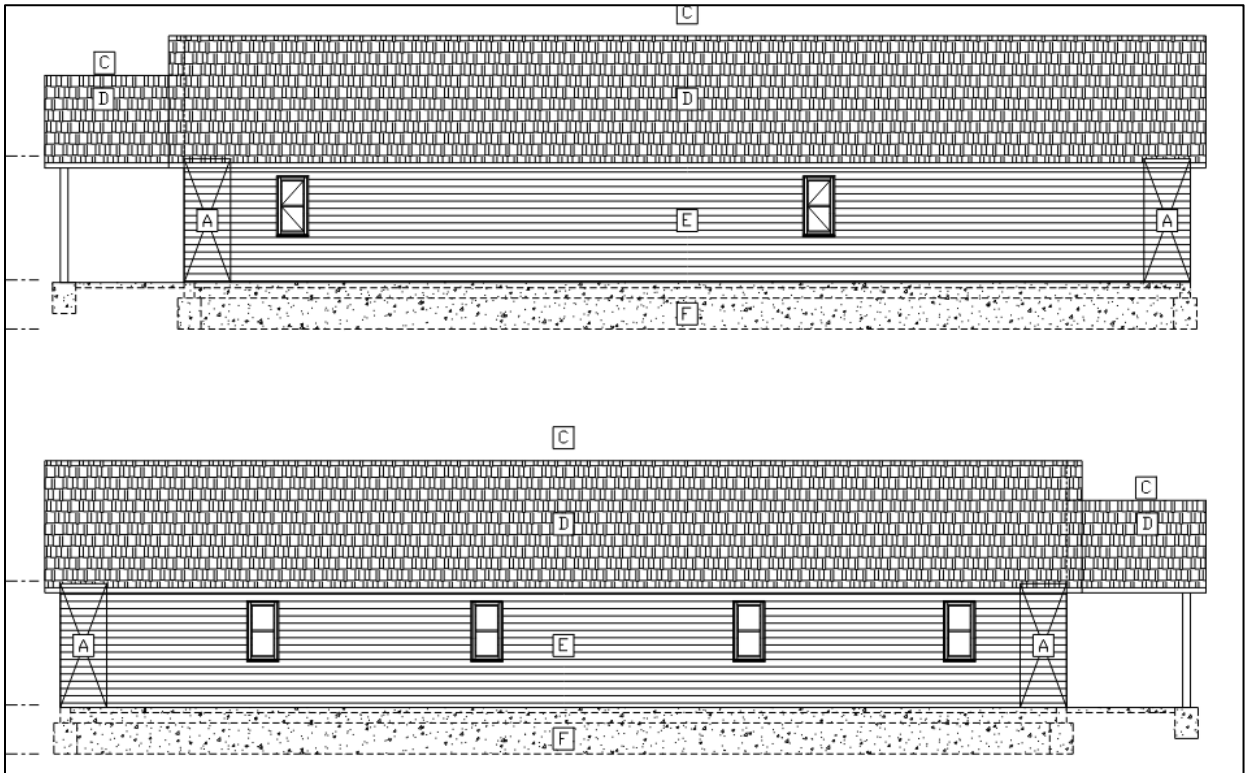
**Motion to approve the new single-family dwelling at 2205 North 5th Street, subject to the condition recommended by Staff.**



**Figure 1: Existing site plan v. proposed site plan.**



**Figure 2: Proposed front and rear elevations of new dwelling.**



**Figure 3: Proposed side elevations for new dwelling.**

**Roofing – Owens Corning Supreme 3-Tab (Onyx Black)**

33.33 sq. ft. coverage per bundle 48 shingles per bundle 25-year limited warranty 60-MPH wind resistance limited warranty Traditional 3 tab design; algae-resistant



**Figure 4: Roof material example.**

**Siding – Georgia-Pacific Compass Vinyl (Pewter)**

Double 4-inch traditional lap profile Premium 0.044 in. thickness Four-layer attachment system for superior weatherability Reverse full roll double-thickness nail hem Limited lifetime transferable warranty Manufactured in the USA



**Figure 5: Vinyl siding example.**

**Front Door - Therma-Tru Shaker Entry Door**

36-in x 80-in x 4-9/16-in Fiberglass Craftsman



**Figure 6: Front door example.**



**Figure 7: Proposed windows example.**



**Figure 8: Existing house on the property,**



Figure 9: Subject property's location.

CASE # (assigned by Staff): \_\_\_\_\_



## DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street  
Saint Charles, MO 63301  
636-949-3222  
FAX 636-949-3557

## CERTIFICATE OF APPROPRIATENESS APPLICATION

**ADDRESS OF SUBJECT PROPERTY:** 2205 N. Fifth St., St. Charles, MO.

**BUSINESS NAME** (if applicable): \_\_\_\_\_

**APPLICANT:** Geroski Design Group LLC - POC: Corey

\_\_\_\_\_  
(Name)

3717 Huntington Valley Dr. Saint Louis, MO. 63129

\_\_\_\_\_  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

**PROPERTY OWNER:** Will Smith

\_\_\_\_\_  
(Name)

Modern Property Investments, P.O. Box 84, Cottleville, MO. 63338

\_\_\_\_\_  
(Address)

\_\_\_\_\_  
(Phone & Email Address)

### HISTORIC DISTRICT LOCATION:

   Commons Preservation District   X   Extended Historic Preservation District   

Frenchtown Preservation District    Historic Downtown Preservation District    SouthMain

Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1941

**BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:**

The property currently consists of a single-story, 980 sq. ft. wood-framed residence constructed in 1941. The structure has significant deterioration throughout, including severe foundation settlement, failing floor systems, substantial roof leaks, extensive rot at exterior walls and porch framing, and multiple structural deformations. Exterior siding, trim, and porch elements are warped, decayed, or collapsing. Interior finishes show major water damage, mold, and long-term neglect. The building is uninhabitable and presents multiple safety hazards. The lot is otherwise level with chain-link fencing and an existing concrete driveway/pad at the rear.

**PROJECT DESCRIPTION** (mark and explain each that may apply):

Rehabilitate or restore: \_\_\_\_\_

Construct a new structure: New single-family residence(see proposed)

Demolish or move structure: Full demolition of exist. structure

Construct a new addition: \_\_\_\_\_

New sign or awning: \_\_\_\_\_

Site work (patio, fence, etc.): Removal of all exist. conditions

Other (briefly explain): \_\_\_\_\_

**BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:**

All exterior changes begin with the complete removal of the deteriorated structure. Following demolition, the lot will be cleaned, graded, and prepared for construction of a new single-family home. New utility connections, updated drainage, and repaired fencing may be included as part of the site improvements. No modifications will be made to adjacent properties or the surrounding streetscape. The replacement home will be compatible with neighborhood character and constructed per current City standards.

**APPLICATION SUBMITTAL:**

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

**A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescymmo.gov). Directions for digital submittal are attached.** The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
  - a. The actual shape and dimension of the lot.
  - b. Any existing or proposed building, accessory building, and their locations upon the lot.
  - c. Photos of existing structures.
  - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

\* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:           *Cory Geroski*           Date: 11/25/2025

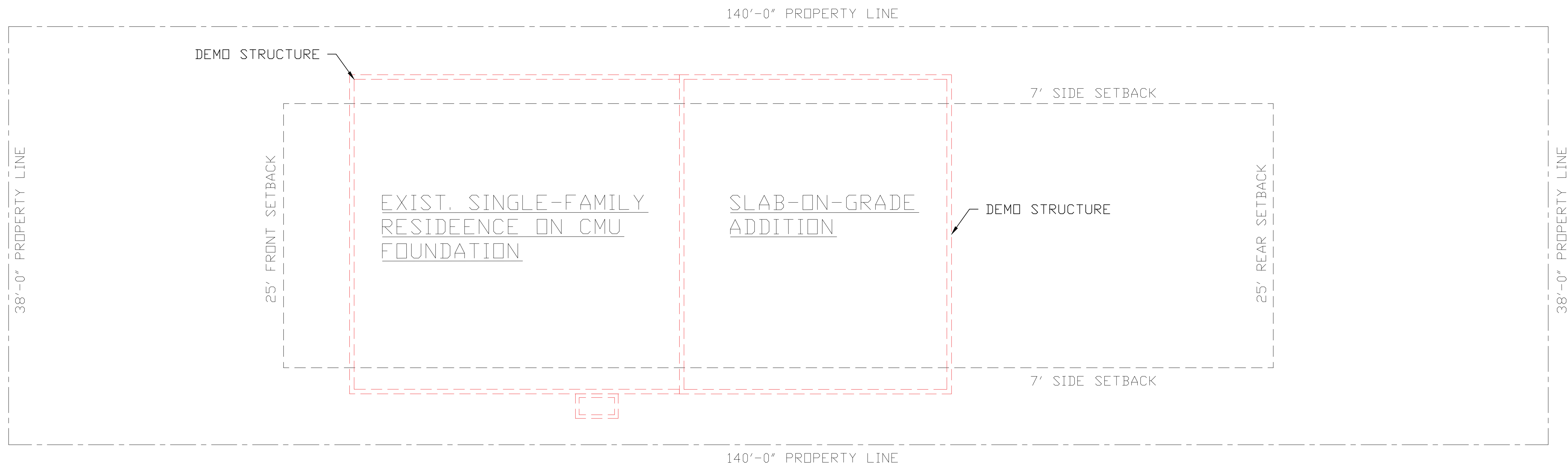
Signature of the property owner:           *[Signature]*           Date: 11/25/2025

*· Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

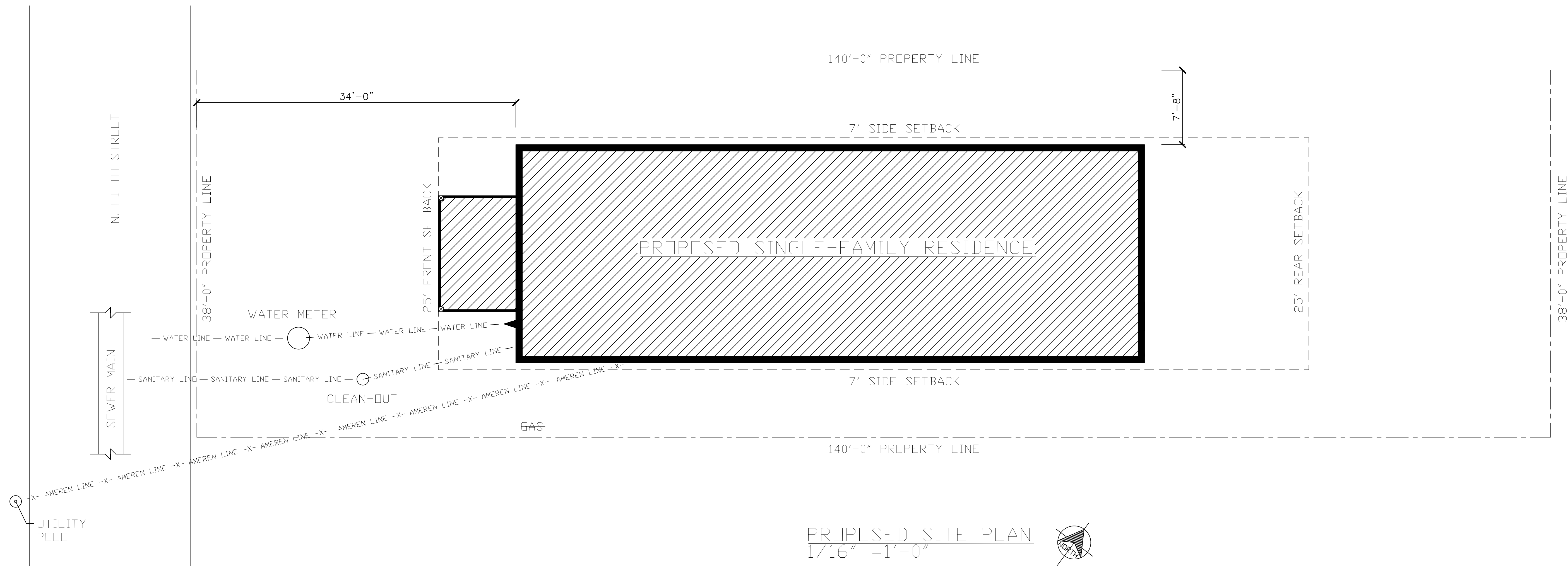
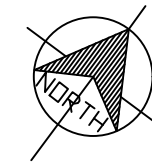
**Application Fees:**

**Site Plan: \$200.00**

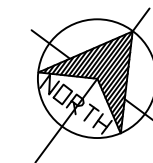
**Exterior Changes & Demolitions: \$50.00**



EXIST. SITE PLAN  
1/16" = 1'-0"



PROPOSED SITE PLAN  
1/16" = 1'-0"



2205 N. FIFTH ST., ST. CHARLES, MO. 63301

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ENGINEER:  
AYELE BELAYNEH P.E.

CONTRACTOR:  
T.B.D

OWNER/LOCATION:  
MODERN PROPERTY INVESTMENTS LLC.  
2205 N. 5TH ST.  
ST. CHARLES, MO.

DATE:  
11/26/2025  
JOB NUMBER:

R-1

**FRAMING NOTES:**

**1. GENERAL-**

CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED AND AMENDED BY ST. CHARLES CITY, MISSOURI.  
ALL LUMBER SHALL BE SPF NO. 2 OR BETTER, KILN-DRIED.  
VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.

**2. WALLS-**

EXTERIOR WALLS: 2x4 STUDS @ 16"O.C., DOUBLE TOP PLATE, SINGLE BOTTOM PLATE.  
INTERIOR PARTITIONS: 2x4 STUDS @ 16"O.C. UNLESS NOTED OTHERWISE.  
FIREBLOCKING REQUIRED PER IRC R302.11 AT CONCEALED SPACES, 10' MAX INTERVALS, AND AT INTERCONNECTIONS.  
ALL BOTTOM PLATES IN CONTACT WITH SLAB TO BE PRESSURE-TREATED.

**3. BRACED WALL PANELS-**

PROVIDE BRACED WALL PANELS PER IRC R602.10 AND CITY OF ST. CHARLES AMENDMENTS.  
SHEATHED PANELS: 7/16"OSB, NAILED 6"O.C. EDGES / 12"O.C. FIELD.  
PANEL LOCATIONS AND LENGTHS AS SHOWN ON PLAN.

**4. HEADERS-**

SIZE AND CONSTRUCTION PER HEADER SCHEDULE ON PLAN.  
TYPICAL: (2) MEMBERS W/ 1/2"PLY SPACER, 3"MINIMUM BEARING.  
LVLs REQUIRED WHERE SHOWN; SUBMIT MANUFACTURER SPECS ON SITE.

**5. ROOF FRAMING-**

PRE-ENGINEERED ROOF TRUSSES @ 24"O.C.  
TRUSSES SHALL BE DESIGNED AND SEALED BY A REGISTERED ENGINEER LICENSED IN MISSOURI.  
SUBMIT TRUSS DRAWINGS TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.  
PROVIDE LATERAL BRACING, TIES, AND HANGERS PER TRUSS MANUFACTURER.

**6. SHEATHING-**

WALL: 7/16"OSB, 6"/12"NAILING PATTERN.  
ROOF: 7/16"OSB, H-CLIPS REQUIRED, 6"/12"NAILING PATTERN.  
SUBFLOOR (IF APPLICABLE): 3/4"T&G OSB, GLUED & NAILED 6"/12".

**7. ANCHORAGE & CONNECTIONS-**

SILL PLATES ANCHORED W/ 1/2"DIA. ANCHOR BOLTS @ 6'-0"O.C. MAX, WITHIN 12"OF PLATE ENDS (PER IRC R403.1.6).  
ALL FRAMING CONNECTORS SHALL BE SIMPSON STRONG-TIE OR EQUAL, INSTALLED PER MANUFACTURER SPECS.  
PROVIDE UPLIFT/HURRICANE CLIPS AT ALL RAFTER/TRUSS BEARING LOCATIONS.

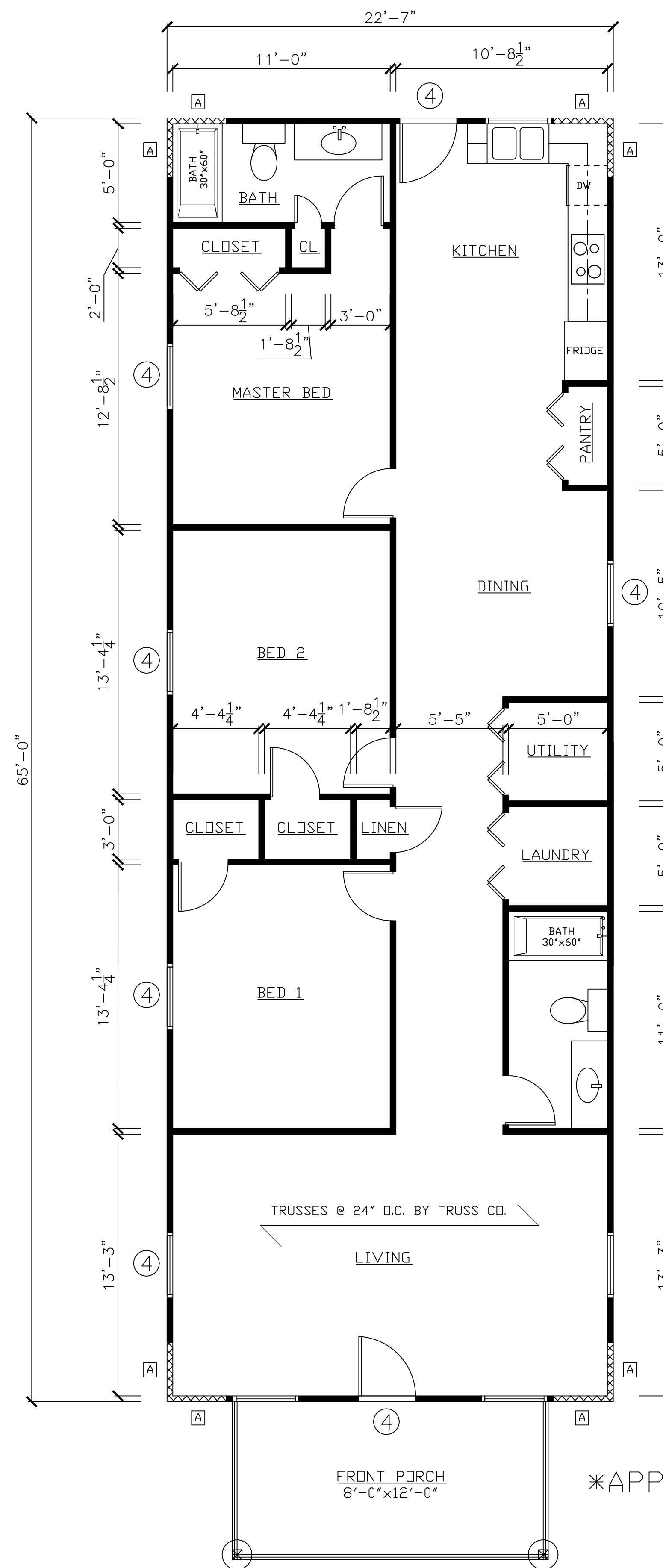
**MISCELLANEOUS-**

PROVIDE BLOCKING FOR CABINETS, RAILINGS, AND FIXTURES.  
ALL PENETRATIONS CLOSER THAN 1/4"TO STUD FACE SHALL HAVE STEEL PROTECTION PLATES.  
CONTRACTOR RESPONSIBLE FOR FIELD COORDINATION OF MECHANICAL, PLUMBING, AND ELECTRICAL PENETRATIONS.

**A** 36" WIDE BRACED WALL PANEL TO IRC CODE 3-1

**B** 18" WIDE PORTAL WALL PANEL TO IRC CODE 6-1

- ① (2) 2" X 12" HDR. W/ 1/2" PLY. & 3" MIN. BEAREING EACH END
- ② (2) 1 3/4" X 11 1/4" 20E G.P. MICROLAM LVL HDR. W/ 3" MIN. BEAREING EACH END
- ③ (2) 2" X 6" HDR. W/ 1/2" PLY. & 3" MIN. BEAREING EACH END
- ④ (2) 2" X 10" HDR. W/ 1/2" PLY. & 3" MIN. BEAREING EACH END



**1ST FLOOR PLAN**  
1/4" = 1'-0"

\*APPROX, SQ. FT.: 1,465\*

**HEADER SCHEDULE**

Opening Width (Clear Span)	Exterior Bearing Wall Header	Interior Bearing Wall Header	Non-Bearing Wall Header
2'-0" to 3'-0"	(2) 2x6 w/ 1/2" ply spacer	(2) 2x4	2x4 flat
>3'-0" to 4'-0"	(2) 2x8 w/ 1/2" ply spacer	(2) 2x6	2x4 flat
>4'-0" to 6'-0"	(2) 2x10 w/ 1/2" ply spacer	(2) 2x8	2x4 flat
>6'-0" to 8'-0"	(2) 2x12 w/ 1/2" ply spacer	(2) 2x10	N/A
>8'-0" to 10'-0"	(2) 1-3/4" x 9-1/4" LVL	(2) 2x12	N/A
>10'-0" to 12'-0"	(2) 1-3/4" x 11-1/4" LVL	LVL as req'd	N/A

**NOTES:**

1. All headers to have minimum 3" bearing each end.
2. Built-up wood headers: (2) members w/ 1/2" plywood spacer, nailed per IRC Table R602.3(1).
3. LVL headers: sized per manufacturer's span tables, stamped engineer design to be on site.
4. Non-bearing wall headers may be single flat 2x4 (for drywall nailing only).
5. All headers shall match framing notes and locations shown on floor plan.
6. Double jack studs required at openings >6'-0".

**COVERED PORCH NOTES**

- Porch Slab: 3 1/2"-4" thick, 4,500 psi, air-entrained concrete. Slope 1/8"-3/4" per foot away from house.
- Reinforcement: 6x6-W1.4xW1.4 WWM centered in slab OR #3 @ 18" o.c. each way.
- Provide 1/2" preformed isolation joint between porch slab and house foundation.
- Posts: PT 6x6 with Simpson PBS/ABU post bases anchored to footings; Simpson AC/BC caps to beam.
- Beam: (2) 2x12 SPF #2 (or 1-3/4" x 11-7/8" LVL). 12' max span; provide center post if required.
- Beam Connections: 3" minimum bearing; (2) 1/2" bolts staggered at post connections.
- Footings: Extend to 30" min frost depth. Size 18"x18"x12" min for roof-only loads on 2,000 psf soil. Increase to 24"x24" for masonry columns or added loads.
- Rebar: Provide (2) #4 each way or (4) #4 vertical w/ ties; 3" cover to soil.
- Ledger: PT 2x(ledger matching rafter depth). Through-bolt to house rim with 1/2" HDG bolts @ 16" o.c., staggered. Provide continuous flashing.
- Rafters: Span = 8'. Use 2x8 @ 24" o.c. or 2x6 @ 16" o.c. Simpson H1/H2.5A ties at each connection.
- Sheathing: 7/16" OSB, nailed 6" o.c. edges / 12" o.c. field, H-clips required.
- Roofing: Underlayment per code; ice-barrier at eaves as required; shingles to match house.
- Uplift Protection: Strap beam-to-post with Simpson TS/LS or equal. Provide uplift anchors at post bases as required.
- Clearances: Porch landing to be within 1 1/2" of main door threshold (IRC R311.3).
- Hardware: All fasteners and connectors hot-dip galvanized or stainless for PT lumber.
- Verify all dimensions and conditions in field prior to construction.

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**ENGINEER:**  
 AYELE BELAYNEH P.E.

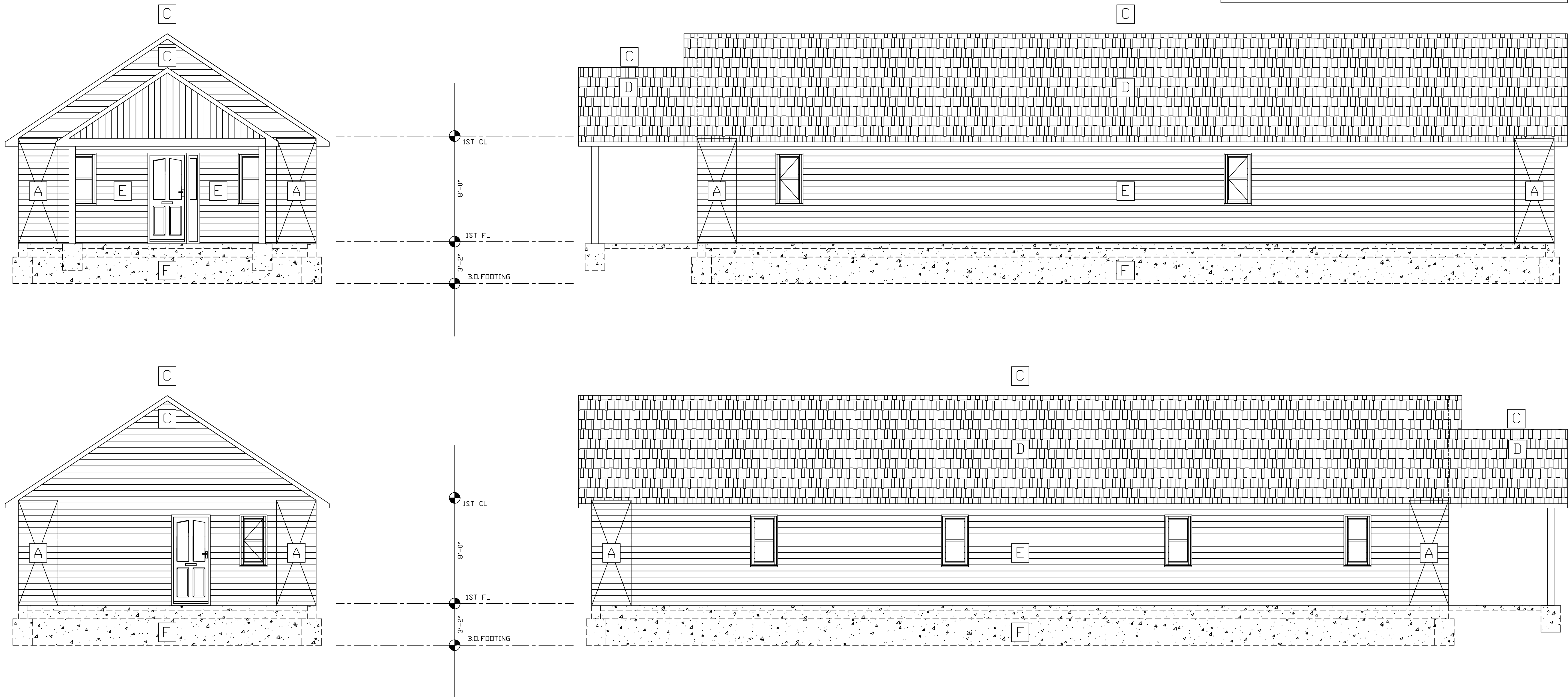
**CONTRACTOR:**  
 T.B.D

**OWNER/LOCATION:**  
 MODERN PROPERTY INVESTMENTS LLC,  
 2205 N. 5TH ST.  
 ST. CHARLES, MO.

**DATE:**  
 9/01/2025  
**JOB NUMBER:**

**A-2**

ELEVATION KEYED NOTES:	
<b>A</b> 36" WIDE BRACED WALL PANEL TO IRC CODE 3:1	<b>E</b> VINYL SIDING
<b>B</b> 18" WIDE PORTAL WALL PANEL TO IRC CODE 6:1	<b>F</b> CONCRETE FOUNDATION
<b>C</b> RIDGE VENT	<b>G</b> OVERHEAD PORCH
<b>D</b> ASPHALT SHINGLES	



**ELEVATION GENERAL NOTES:**

**1. EXTERIOR WALLS & SIDING-**

EXTERIOR WALLS FRAMED PER IRC WITH 2x4 STUDS @ 16"O.C. UNLESS NOTED OTHERWISE.  
 EXTERIOR FINISH: VINYL SIDING (E) OVER WRB (TYVEK OR EQUAL) AND 7/16"OSB SHEATHING.  
 PROVIDE ALL MANUFACTURER'S TRIMS, CORNER BOARDS, AND STARTER STRIPS PER INSTALLATION GUIDELINES.

**2. ROOF SYSTEM-**

ROOF PITCH: 8 / 12 AS SHOWN ON ELEVATIONS.  
 ROOFING: ASPHALT SHINGLES (D), ARCHITECTURAL STYLE, INSTALLED OVER FELT/UNDERLAYMENT WITH ICE & WATER SHIELD AT EAVES/VALLEYS.  
 PROVIDE CONTINUOUS RIDGE VENT (C) AT MAIN RIDGE AND GABLE VENTS AS SHOWN.  
 ROOF TRUSSES AT 24"O.C. BY TRUSS MANUFACTURER; BRACING PER STAMPED TRUSS DRAWINGS.

**3. PORCH CONSTRUCTION-**

FRONT PORCH ROOF GABLE INTEGRATED INTO MAIN ROOF WITH MATCHING SLOPE.  
 PORCH BEAM: (2) 2x12 SPF #2 CONTINUOUS BETWEEN 6x6 POSTS.  
 PORCH POSTS: 6x6 PT WOOD WITH SIMPSON CONNECTORS TOP AND BOTTOM.  
 PORCH SLAB: 3½"-4" THICK CONCRETE, 4,500 PSI, AIR-ENTRAINED, SLOPED AWAY FROM HOUSE.  
 PROVIDE ISOLATION JOINT BETWEEN PORCH SLAB AND MAIN FOUNDATION.

**4. WINDOWS & DOORS-**

WINDOWS: VINYL, DOUBLE-PANE, LOW-E, U-FACTOR PER IECC. PROVIDE FLASHING TAPE AND SILL PAN AT INSTALLATION.  
 ENTRY DOORS: 3'-0" x 6'-8" INSULATED STEEL WITH WEATHER-STRIPPED THRESHOLD.  
 ALL WINDOWS/DOORS CAULKED AND SEALED PER MANUFACTURER'S SPECS.

**5. FOUNDATION-**

FOUNDATION: CONCRETE SLAB-ON-GRADE (G) WITH THICKENED EDGE FOOTING PER FOUNDATION PLAN.  
 PORCH FOOTING PIERS: MINIMUM 30" DEPTH TO FROST LINE, SIZED PER STRUCTURAL NOTES.

**6. BRACED WALLS-**

BRACED WALL PANELS (A): 3'-0" WIDE MIN. PER IRC R602.10; LOCATIONS SHOWN ON PLAN/ELEVATIONS.  
 PORTAL FRAMES (B): AS DETAILED PER IRC TABLE R602.10.6.2(1).

**7. EXTERIOR DETAILS-**

ALL PENETRATIONS (VENTS, EXHAUSTS, UTILITIES) FLASHED AND SEALED PER IRC.  
 GUTTERS AND DOWNSPOUTS PROVIDED AT ALL EAVES; DISCHARGE 5' MIN. AWAY FROM FOUNDATION.  
 FINISHED GRADE TO SLOPE MIN. 6" IN FIRST 10' AWAY FROM FOUNDATION.

**8. MATERIALS & FINISHES-**

ALL EXTERIOR FASTENERS AND HARDWARE TO BE HOT-DIP GALVANIZED OR STAINLESS STEEL.  
 ALL MATERIALS INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND APPLICABLE IRC REQUIREMENTS.

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**ENGINEER:**  
 AYELE BELAYNEH P.E.

**CONTRACTOR:**  
 T.B.D

**OWNER/LOCATION:**  
 MODERN PROPERTY INVESTMENTS LLC.  
 2205 N. 5TH ST.  
 ST. CHARLES, MO.

**DATE:**  
 9/01/2025  
**JOB NUMBER:**

**A-5**



## **Exterior Materials Specification Sheet**

### **Roofing – Owens Corning Supreme 3-Tab (Onyx Black)**

33.33 sq. ft. coverage per bundle 48 shingles per bundle 25-year limited warranty 60-MPH wind resistance limited warranty Traditional 3 tab design; algae-resistant



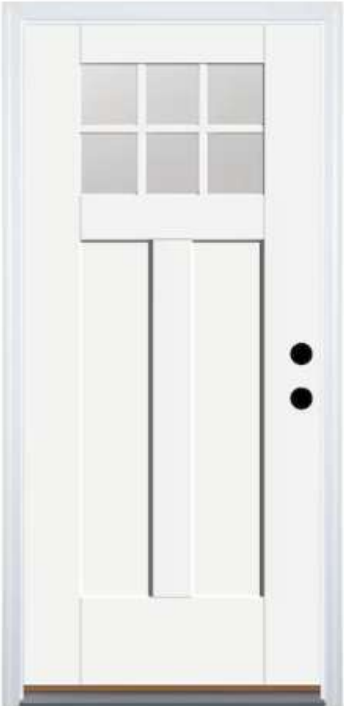
**Siding – Georgia-Pacific Compass Vinyl (Pewter)**

Double 4-inch traditional lap profile Premium 0.044 in. thickness Four-layer attachment system for superior weatherability Reverse full roll double-thickness nail hem Limited lifetime transferable warranty Manufactured in the USA



**Front Door - Therma-Tru Shaker Entry Door**

36-in x 80-in x 4-9/16-in Fiberglass Craftsman



**Windows - United Window & Door PRO Series White Exterior White Interior Vinyl Replacement Double Hung Window Low-E argon Double Pane Glass**



**Trim, Fascia, & Soffit**

**Trim & Fascia:** White PVC/vinyl smooth-finish trim boards, rot-resistant, low-maintenance. **Soffit:** White vented vinyl soffit system for attic ventilation and clean appearance.



## **Memorandum**

**To:** Landmarks Board

**From:** John Boyer, Assistant Director of Community Development/Planning Manager

**Date:** December 10, 2025

**Subject:** Rules and Procedures

---

As an official Board of the City of St. Charles, The Landmarks Board is charged to hear and decide cases as required via Article XIV of the City of St. Charles Zoning Ordinance. To discharge these duties, public meetings are required. As such it is recommended that official Rules & Procedures be adopted. Upon review of City records, no official rules and/or procedures of the Board have been located other than what is stated within Article XIV (also attached for convenience). To ensure compliance with City Code and to provide consistency for the running of meetings, City staff (Planning Staff and Legal Staff) recommend the Landmarks Board officially adopt Rules and Procedures for their meetings.

Attached is a drafted document which accomplishes consistency with past meeting operation and will ensure consistency moving forward. It is recommended that the Board review these rules and procedures and adopt them by vote at the December 15<sup>th</sup>, 2025, Landmarks Board meeting. Upon adoption, these rules and procedures should then be followed. While these rules are being brought forward for adoption, it is not an indication that previous meetings have not being run properly, this request is simply being brought forward to provide code compliance and consistency in the operation of all City meetings.

### ***Recommended Motion***

*Motion to adopt Rules and Procedures for the Landmarks Board as presented.*

**Draft Rules and Procedures – Historic Landmarks Preservation and Architectural Review Board aka Landmarks Board - Adopted [Date]**

This is not intended nor should be used to re-state requirements provided via the City Code (Chapter 125 or Title IV: Land Use).

**Rules & Voting**

1. Roberts Rules of Order Newly Revised, In Brief.
2. Motion shall be made only in the form of a positive.
3. A motion shall not be made by the presiding officer (Chair of the meeting).
4. No Motion shall be considered until it is seconded, and no motion shall be debated before it is seconded.

**Decorum**

1. The Chair, or in their absences, the Vice-Chair, shall run the meeting. In the absence of the Chair and Vice-Chair, the meeting shall be called to order by a quorum of the Board, and a temporary Chair shall be elected by the members of the Board to run the meeting.
2. When a member of the Landmarks Board wishes to speak, the member shall raise a hand, or use some other Board approved signaling device, and respectfully address the chair, but shall not proceed to speak until recognized and named by the Chair. The members remarks shall be confined to the question under debate and avoid disparaging, offensive or slanderous statements. Any member failing to comply with the provisions of this section shall be called to order.
3. When two or more members shall seek recognition at the same time, the Chair shall name the member who is to speak first.
4. Except in case of the defeat of an item before the Board, when a motion has been made and carried in the affirmative or negative, it shall be in order for any member who voted on that side which prevailed to move for a reconsideration thereof at the same meeting.
5. All votes shall be taken and entered on the minutes. On items being recommended to the Planning and Zoning Commission or the City Council, a roll call vote shall be required. On procedural/administrative matters, a roll call vote shall not be taken unless requested. The request for a roll call vote can be made either before or after the vote.
6. Roll Call Voting shall be successively rotated.
7. Following any vote, the Chair shall state the decision of the Board.
8. A motion to adjourn shall always be in order, except:

Rules and Procedures – City of St. Charles Landmarks Board  
Adopted [date]

- a. When a member is in possession of the floor;
- b. While the members are voting;
- c. When it was the last preceding motion;
- d. When it has been decided that the previous questions shall be taken; or
- e. When any member had indicated (by light, hands, etc.) a request to speak.

**Orderly Conduct of Meetings**

1. Orderly Conduct of Meetings

- a. Persons speaking during the meeting shall address all comments to the Landmarks Board as a body and not to any staff member or to the audience.
- b. Speakers shall not make comment that are:
  - i. Irrelevant or unrelated to the topic;
  - ii. Unduly repetitious; or
  - iii. Personal attacks, personal accusations, threats, explicit or obscene. The Presiding Officer shall immediately call a Speaker who violates this rule to order and if the conduct continues, the Speaker will be asked to sit down or the Presiding Officer may recess the meeting.
- c. Meeting attendees shall not engage in any disruptive or disorderly behavior of conduct that actually disrupts, disturbs or impedes the orderly conduct of the business of the Board. At the discretion of the Presiding Officer, such behavior or conduct may incur a warning(s), recess of the meeting, or other appropriate actions, to allow the Board to resume the orderly conduct of its business.

## **Article XIV Historic Landmarks Preservation and Architectural Review Board**

### **Section 400.1180 Purpose.**

The purpose of this Article is to protect, enhance and perpetuate buildings, structures, districts and sites of historical, cultural, architectural, engineering or geographic significance. Further, protection of cultural assets from demolition by neglect is an objective of this Article.

### **Section 400.1190 Creation – Membership – Rules – Meetings – Officers – Minutes – Records – Etc.**

- A. Creation. The Historic Landmarks Preservation and Architectural Review Board (HLPARB) is hereby created as a Committee with the powers and duties set forth in this Article and in Chapter [125](#), Article [I](#) of this Code of Ordinances.
- B. Membership. The HLPARB shall consist of seven (7) members who shall include one (1) member from each of the following historic districts, designated locally and/or in the National Register of Historic Places districts as defined by the United States Department of the Interior:
1. Extended Historic Preservation District (local);
  2. South Main Preservation District or Landmarks Preservation District (local);
  3. Historic Downtown District (local);
  4. Frenchtown Preservation District (local and national);
  5. Commons Preservation District (local and national);
  6. Midtown Neighborhood Historic District (national); and
  7. Lindenwood Neighborhood Historic District (national).

All members shall either live or work in the district that they represent.

Members shall have a demonstrated interest in historic preservation. To the extent available in the community, the HLPARB shall include professional members representing such disciplines as historical architecture, preservation law, art history, history, historic building rehabilitation or any fields related to historic preservation.

- C. Terms. The members shall hold office for a term of three (3) years or until their successors are appointed and confirmed; provided, that any member who ceases to meet the qualifications of the Board shall immediately forfeit his/her membership.
- D. Meetings.

1. Regular meetings of the HLPARB will be held at a place and time designated by the Board. The Chairperson may change the date of any specific meeting upon at least three (3) days' notice to the Board and upon three (3) days' public notice. The City Council member whose ward the project is located in shall be provided written notification at least three (3) days in advance of all special meetings and any change of the day of any specific meeting.
2. All decisions or actions of the HLPARB shall be made by a majority vote of those members present at any meeting where a quorum exists; except that in those cases where the applicant seeks authorization to demolish a building or structure, the affirmative vote of five (5) members of HLPARB is required. The Chairperson shall be a voting member of the HLPARB. No member of the HLPARB shall vote on any matter which may significantly affect the property, income or business interest of that member. The Chairperson, and in his/her absence the Acting Chairperson, may administer oaths and compel the attendance of witnesses.

#### **Section 400.1200 Powers And Duties.**

##### **A. The HLPARB shall have the following powers and duties:**

1. To conduct an ongoing survey and research effort to identify neighborhoods, areas, sites, structures and objects which have historic, community, architectural or aesthetic importance, interest or value. As part of any survey or research effort, the HLPARB shall review and evaluate any prior surveys and studies by any unit of government or private organization and compile appropriate descriptions, facts and photographs;
2. To investigate and recommend to the Planning and Zoning Commission and to the City Council the adoption of ordinances designating properties or structures having special historic, community or architectural value as "landmarks";
3. To promote, assist, investigate and recommend to the Planning and Zoning Commission and to the City Council the adoption of ordinances designating areas as having special historic, community or architectural value as "historic districts";
4. To keep a register of all properties and structures which have been designated as landmarks or historic districts, including all information required for each designation;
5. To confer recognition upon the owners of landmarks and property or structures within historic districts by means of certificates, plaques or markers; and to make recommendations for the design and implementation of specific markings of the streets and routes leading from one landmark or historic district to another;
6. To advise and assist owners of landmarks and property or structures within historic districts on physical and financial aspects of preservation, renovation, rehabilitation and reuse and on procedures for inclusion on the National Register of Historic Places;

7. To nominate landmarks and historic districts to the National Register of Historic Places and to review and comment on any National Register nominations submitted to the HLPARB upon request of the Mayor or City Council;
8. To inform and educate the citizens of St. Charles concerning the historic and architectural heritage of the City by suggesting the publication of appropriate maps, newsletters, brochures and pamphlets and by holding programs and seminars;
9. To review applications for construction, alteration, removal or demolition affecting proposed or designated landmarks or structures within historic districts and to issue or deny certificates of appropriateness and certificates of demolition or removal for such actions; and to review applications for special demolition permits and construction permits;
10. To develop specific design guidelines for the alteration, construction or removal of landmarks or property and structures within historic districts;
11. To review applications for construction of new industrial, commercial, office and residential structures within the extended historic districts, to develop specific design guidelines for such construction and to issue or deny certificates of appropriateness and permits for such construction;
12. To accept gifts and gratuities, other than any interest in real property, on behalf of the City for study, acquisition, designation and preservation of officially designated monuments and landmarks. All such gifts and gratuities shall be set aside in a special fund known as the Historical Landmarks Fund and shall be distributed only upon approval of the Board and the City Council. All such gifts and gratuities shall be used solely for purposes incidental to and consistent with this Article;
13. To make recommendations to the City Council concerning the application for and utilization of any Federal, State or private grant, grant-in-aid, gift or bequest furthering the general purposes of this Article;
14. To call upon available City staff members as well as other experts for technical advice;
15. To appoint such citizen advisory committees, as may be required from time to time, subject to City Council approval;
16. To periodically review Chapter [400](#) of the Code of Ordinances and to recommend to the Planning and Zoning Commission and the City Council any amendments appropriate for the protection and continued use of landmarks or property and structures within historic districts; and/or
17. To inform the Community Development Department of any violations of the Code of Ordinances and recommend the issuance of stop-work orders when necessary.

### **Section 400.1210 Nomination Of Landmarks And Historic Districts.**

- A. General. Nominations of landmarks and historic districts shall be made to the HLPARB on a form prepared by it and may be submitted by a member of the HLPARB, the owner or owners of record of the nominated property or structures or the City Council. Interested citizens may request the HLPARB or City Council to nominate a structure or property. The owner or owners of the nominated property or structure shall be notified of the nomination in writing, as well as the time and place of the HLPARB public hearing.
- B. Properties less than fifty (50) years old shall be ineligible for designation as an historic landmark or contributing structure in an historic district, except in truly exceptional circumstances such as in the case of properties of national significance.
- C. Design Guidelines. A nomination for designation of a landmark or historic district shall include proposed architectural design guidelines for guidance in future conservation, restoration or rehabilitation. Historic districts or individual landmarks shall have design guidelines written specifically for that district or individual landmark.
  - 1. Design guidelines for review of certificate of appropriateness applications should, at a minimum, include the following architectural criteria: building form, mass and scale; roofs; architectural details; materials; street facades; doors and entries; windows; balconies and galleries; porches; and site planning.

### **Section 400.1220 Interim Demolitions Permits.**

No permit shall be issued by the Department of Community Development for demolition or removal of a nominated landmark or of any property or structure within a nominated historic district from the date of the meeting of the HLPARB at which a nomination form is first presented until the final disposition of the nomination by the City Council; unless such alteration, removal or demolition is authorized by order of the Board of Appeals as necessary for public health, welfare or safety.

### **Section 400.1230 Review By The HLPARB.**

- A. The owner or owners of the nominated property or structure shall be notified of the nomination in writing and notified of the time and place of any public hearing.
- B. Criteria For Designation Of Nomination. The HLPARB shall consider the following criteria in making a determination as to whether or not the nominated landmark has historical and/or architectural significance:
  - 1. Its character, interest or value as part of the development, heritage or culture characteristics of the community, County, State or country;
  - 2. Its location as a site of a significant local, County, State or national event;

3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;
4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;
6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
7. Its embodiment of design elements that make it structurally or architecturally innovative;
8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;
9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or
10. The fact that it has yielded or may be likely to yield information important in history.

C. Determination And Report. The HLPARB shall, within thirty (30) days from the meeting of the HLPARB when the completed nomination in proper form is received by the HLPARB, adopt by resolution the Board's findings as to whether or not the nominated landmark or historic district meets the criteria for designation in Section [400.1230\(B\)](#). The report of the HLPARB shall be sent to the Planning and Zoning Commission within fourteen (14) days following the vote on the resolution and shall contain the following information:

1. A map showing the location of the nominated landmark or the boundaries of the nominated historic district;
2. Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation;
3. The types of alterations that should be reviewed for a certificate of appropriateness and the types of removals and demolitions that should be reviewed for a certificate of demolition or removal;
4. Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district.

#### **Section 400.1240 Review By Planning And Zoning Commission.**

- A. Public Hearing. Following receipt of the report of the HLPARB, the Planning and Zoning Commission shall schedule and hold a public hearing as set out in Section [400.1020\(B\)\(2\)](#) as to whether or not the property shall receive the historic landmark designation through a rezoning. Notice of the date, time, place and purpose of the meeting and a copy of the completed nomination form shall be sent in writing to the owner(s) of record and to the nominators. The meeting shall be scheduled, held and conducted in the same manner as other meetings to consider applications for Zoning District Map amendments or ordinance amendments.
- B. Recommendation. Within thirty (30) days following the close of the meeting of the Planning and Zoning Commission, the Commission shall make a recommendation to the City Council as to whether or not the nominated landmark or historic district should receive a zoning designation as an historic district or landmark. Such a recommendation shall be made upon a motion and vote of the Planning and Zoning Commission.

#### **Section 400.1250 Action By City Council.**

- A. The City Council shall, within thirty (30) days after receiving the report of the HLPARB and recommendation from the Planning and Zoning Commission, either reject the proposed designation or designate the landmark or historic district by an ordinance. The City Council shall hold a public hearing before enacting the ordinance and provide notice and take testimony.
- B. The designating ordinance shall prescribe the area to be designated as an historic landmark and the types of construction, alteration, demolition or removal to be reviewed for certificates of appropriateness. The City Council shall also adopt any architectural design guidelines to be used by the HLPARB in reviewing applications for certificates of appropriateness.
- C. Should the City Council designate the property as an historic landmark or district, the City Clerk shall provide written notification of the action of the City Council by regular mail to the nominator, the owner(s) of record of the nominated landmark or of all property within a nominated historic district. The notice shall include a copy of the designation ordinance or resolution by the City Council. A copy of each designation ordinance shall be sent to the HLPARB, the Planning and Zoning Commission and the Director of Community Development.
- D. Upon designation the official Zoning District Map of the City shall be amended with a supplemental classification to indicate the landmark property or historic district boundaries.
- E. A determination by the City Council as to whether or not to designate a property as a landmark or historic district shall be a final decision, as that term is used in Section [536.150](#), RSMo.

### **Section 400.1260 Amendment An Recision Of Designation.**

Designation may be amended or rescinded upon petition to the HLPARB and compliance with the same procedure and according to the same criteria set forth herein for designation.

### **Section 400.1270 Certificates Of Appropriateness.**

#### **A. Certificate Required.**

1. Upon designation as an historic landmark or district, a certificate of appropriateness shall be issued by the HLPARB before any of the following actions are undertaken:
  - a. Any exterior alteration of the property requiring a building or demolition permit from the City;
  - b. Any exterior alteration of the property not requiring a permit but affecting a significant exterior architectural feature or the exterior architectural appearance as specified in the ordinance designating the landmark or historic district.

B. Posting. Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property. Said placard shall describe the pending application for demolition of the building or structure and the date, time and place of the meeting wherein the application shall be considered by the HLPARB.

C. Review. The HLPARB shall review a complete application for a certificate of appropriateness within thirty (30) days of receipt by the Department of Community Development, unless the applicant provides a written request to table such application. Written notice of the approval or denial of the application for a certificate of appropriateness shall be provided to the applicant by the Department of Community Development within seven (7) days following the determination.

#### **D. Standards For Review.**

1. In considering an application for a certificate of appropriateness, the HLPARB shall be guided by the Secretary of the Interior Standards for Rehabilitation, in addition to any design guidelines in the ordinance:
  - a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
  - b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings shall not be undertaken.
  - d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
  - e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
  - f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
  - g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
  - h. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
  - i. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
  - j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
2. New Construction In Extended Historic Districts. In considering an application for a certificate of appropriateness, the HLPARB shall be guided by the following general standards:
- a. Guidelines already adopted for historic districts within the extended historic district which the HLPARB deems are applicable to the applicant's site and intended usage.
  - b. New construction complement the character, scale, building materials, architectural style and overall aesthetics of the majority of the buildings found in the extended district.
  - c. Such specific guidelines as may be adopted by HLPARB and approved by Council by ordinance.

- E. Certificates of appropriateness shall be issued for a period of eighteen (18) months. If the project is not completed within the eighteen (18) month period according to the guidelines provided in the certificate of appropriateness, the project shall be deemed in violation of this Article. Extensions may be granted for just cause. Each extension shall be for a period of no longer than twelve (12) months.
- F. A denial of certificate of appropriateness shall be accompanied by a statement of the reasons for the denial. The HLPARB shall make recommendations to the applicant concerning changes, if any, in the proposed action which would cause the HLPARB to reconsider its denial and shall confer with the applicant in an attempt to resolve as quickly as possible the differences between the applicant and the HLPARB. The applicant may resubmit an amended application or reapply for a certificate of appropriateness that takes into consideration the recommendations of the HLPARB.

#### **Section 400.1280 Certificates Of Demolition Or Removal.**

- A. Except as otherwise provided in Section [400.1280\(B\)](#), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. Notices. Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within thirty (30) days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven (7) days following the determination and shall be accompanied by a certificate of demolition or removal in the case of an approval.

- E. Historical/Architectural Report. As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten (10) criteria for historical/architectural significance provided in Section [400.1280\(F\)](#). The report shall be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian.
- F. Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country;
  2. Its location as a site of a significant local, County, State or national event;
  3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;
  4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
  5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;
  6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
  7. Its embodiment of design elements that make it structurally or architecturally innovative;
  8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;
  9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or
  10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and

economically feasible. In determining whether the preservation of the structure is technologically and economically feasible, the HLPARB shall consider the following criteria:

1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
  2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and after renovation of the existing property. The market value estimates must be prepared by a licensed real estate appraiser;
  3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser or licensed building contractor experienced in rehabilitation;
  4. Assessed value of the property according to the two (2) most recent assessments;
  5. Real estate taxes of the previous two (2) years;
  6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit corporation, limited partnership, joint venture or other;
  7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield or may yield a reasonable return to the owners.
- H. In addition to the foregoing information which the HLPARB may solicit or require the applicant to provide, the applicant may provide the following information with respect to any application for a certificate of demolition or removal:
1. Amount paid for the property, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased and any pertinent terms of financing between the seller and buyer;
  2. If the property is income-producing, the annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
  3. Remaining balance on any mortgage or other financing secured by the property owner and annual debt service, if any, for the previous two (2) years;

4. Appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase financing or ownership of the property;
  5. Any listing of the property for sale or rent, price asked and offers received, if any, within the previous two (2) years;
  6. Information regarding the applicant's relevant tax bracket.
- I. In considering an application for a certificate of demolition or removal, if the HLPARB finds that the structure is not historically significant, then the HLPARB shall issue a certificate of demolition or removal. In considering an application for a certificate of demolition or removal, if the HLPARB finds that:
1. The structure is historically significant; and
  2. It is not technologically or economically feasible to preserve the structure, then the HLPARB shall issue a certificate of demolition or removal.
- J. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven (7) days following the determination and shall be accompanied by a certificate of demolition or removal in the case of an approval. A denial of a certificate of demolition or removal shall be accompanied by a statement of the reasons for the denial. The HLPARB shall make recommendations to the applicant concerning changes, if any, in the proposed action which would cause the HLPARB to reconsider its denial and shall confer with the applicant in an attempt to resolve as quickly as possible the differences between the applicant and the HLPARB. The applicant may resubmit an amended application or reapply for a certificate of demolition or removal that takes into consideration the recommendation of the HLPARB.
- K. A certificate of demolition or removal shall become void unless demolition is commenced within one (1) year of the date of issuance. Extensions may be granted for just cause.
- L. Pictorial Record. At the time of issuance of a certificate of appropriateness for the demolition of structure or building under this Article, the City shall take photographs of the structures or buildings to be demolished. Such photographs shall be preserved as a pictorial record of the demolished structure.

**Section 400.1290 Repetitious Requests.**

No request or application to the HLPARB shall be considered for the same parcel of property concerning the same request prior to the expiration of one (1) year from the original ruling of the HLPARB, except in the case of a structure subsequently designated a dangerous building or public nuisance by the Director of Community Development.

**Section 400.1300 Dangerous/Unsafe Buildings.**

Should any historic landmark or structure in an historic district be declared a dangerous/unsafe building and public nuisance under the provisions of Sections [500.350](#) through [500.450](#) of this

Code of Ordinances, the Director of Community Development shall have the authority to take appropriate emergency measures to vacate, repair or demolish such dangerous buildings or structures without obtaining a certificate of appropriateness.

**Section 400.1310 Appeals.**

- A. The applicant or an adjoining property owner may appeal a decision of the Historic Landmarks Preservation and Architectural Review Board to the City Council by filing a notice of appeal with the City Clerk within ten (10) days of the date of the decision of the HLPARB.
- B. The City Council shall conduct a hearing on the appeal within forty-five (45) days of the date of the filing of the notice of appeal with the City Clerk. The Council may hear testimony and receive evidence from the applicant, adjoining property owners, the Community Development Department, the HLPARB or any other interested person. In reviewing the decision of the HLPARB, the Council shall apply the guidelines, standards and criteria specified in this Article or incorporated therein by reference. The HLPARB decision shall only be reversed by the majority vote of the entire Council. The vote by the Council shall be taken no later than the next regularly scheduled meeting of the Council after the date of the completion of the hearing. The Council may issue findings of fact to support its decision.
- C. Judicial review of the appeal may be taken in accordance with Chapter [536](#), RSMo., as amended.

**LANDMARKS BOARD - MINUTES**  
**November 17, 2025**  
**City Council Chambers, Fourth Floor City Hall**  
**200 North Second Street**  
**St. Charles, MO 63301**

**MEMBERS PRESENT**

Steve Martin, Chair  
Jill Ryan  
Michelle Beucke  
Dave Settle

**STAFF PRESENT**

Taylor Moore, Preservation Planner  
John Boyer, Assistant Director of CD

**Absent:** Tom Smith, John Donnelly, Christi Tennyson, Steve Hollander

On Monday, November 17, 2025, at 6:00 p.m., the City of St. Charles Landmarks Board held its regular monthly meeting in the Council Chambers on the fourth floor of City Hall.

**1. Call to order and call the roll.**

*Chairman Steve Martin called the meeting to order at 6:00 p.m. Taylor Moore called the roll. Those in attendance are listed above.*

**2. The Pledge of Allegiance**

**3. Consent Agenda**

(A) Case No. EC-2025-062 123 North Main Street. John Jurgiel. The applicant is requesting permission to install six new windows on the front of the building [Historic Downtown District, Ward 1].

(B) Case No. EC-2025-063 415 Houston Street. RBM Construction. The applicant is requesting permission to install new decking on the front porch of the dwelling [Extended Historic Preservation District, Ward 1].

*This item was removed from the Consent Agenda.*

(C) Case No. EC-2025-064 711 Monroe Street. Christine Prinster The applicant is requesting permission to repaint the entire dwelling [Extended Historic Preservation District, Ward 2].

*Michelle Beucke made a motion to approve the consent agenda. Dave Settle seconded the motion. Four were in favor, none were opposed (4-0), the motion passed.*

**4. Removed Consent Agenda Items**

(A) Case No. EC-2025-063 415 Houston Street. RBM Construction. The applicant is requesting permission to install new decking on the front porch of the dwelling [Extended Historic Preservation District, Ward 1]. *Frank Jackson was present to answer questions from the Board. Michelle Beucke made a motion to approve the application, subject to condition tongue and groove front porch boards are utilized. Dave Settle seconded the motion. Four were in favor, none were opposed (4-0), the motion passed.*

**5. Sign Permit Applications**

(A) Sign Permit No. 2025-5866 1116 North 2<sup>nd</sup> Street. Brandon Eckardt. The applicant is requesting permission to install a wall-mounted sign for the business “Naked Tiki Distilling” [Frenchtown Preservation District, Ward 1].

***Brandon Eckardt was present to answer questions from the Board. Michelle Beucke made a motion to approve the sign permit. Jill Ryan seconded the motion. All were in favor (4-0), the motion passed.***

**6. Structure Review**

- (A) Case No. SP-2025-017 1116 North 2<sup>nd</sup> Street. Brandon Eckardt. The applicant is requesting permission to place a shipping container structure in the rear of the property [Frenchtown Preservation District, Ward 1]. ***Brandon Eckardt was present to answer questions from the Board. Michelle Beucke made a motion to approve the application, subject to the condition the shipping container's installation does not exceed two (2) years. Dave Settle seconded the motion. All were in favor (4-0), the motion passed.***
- (B) Case No. D-2025-018 1203 South Main Street. Leslie Duncan. The applicant is requesting permission to remove the existing dwelling on the property [Landmarks Preservation District, Ward 2]. ***Michelle Beucke was present to answer questions from the Board. Jill Ryan made a motion to find the structure historically significant. Dave Settle seconded the motion. None were in favor, three were opposed, and one abstained (0-3-1). The structure was found to be not historically significant and approved for demolition.***
- (C) Case No. SP-2025-015 524 North 8<sup>th</sup> Street. Justin Wallace. The applicant is requesting permission to construct a new single-family dwelling on the property [Commons Preservation District, Ward 1]. ***Justin Wallace was present to answer questions from the Board. Michelle Beucke made a motion to approve the construction of a new single-family dwelling on the property, subject to the following conditions: the roof be all shingled, including the front porch and square columns be utilized for the front porch. Dave Settle seconded the motion. All were in favor (4-0), the motion passed.***
- (D) Case No. SP-2025-016 533 North 6<sup>th</sup> Street. Cecil & Nancy Huff. The applicant is requesting permission to construct a rear addition off the existing dwelling [Commons Preservation District, Ward 1]. ***Frank Jackson with RBM Construction and Nancy Huff were present to answer questions from the Board. Michelle Beucke made a motion to approve the rear addition to the dwelling, subject to the condition the siding all be the same color as the existing dwelling. Jill Ryan seconded the motion. All were in favor (4-0), the motion passed.***
- (E) Case No. SP-2025-014 1219 South Main Street. John Donnelly. The applicant is requesting after-the-fact approval to construct a new parking area and retaining walls on the property [Landmarks Preservation District, Ward 2]. ***Jeff Moon with BAX Engineering was present to answer questions from the Board. Michelle Beucke made a motion to approve the after-the-fact site plan with conditions recommended by Staff. Jill Ryan seconded the motion. All were in favor (4-0), the motion passed.***

**7. Announcements/Reports from Officers**

***No Reports***

**8. Staff Reports**

***No Reports***

**9. Approval of October 27, 2025 regular meeting minutes**

***Michelle Beucke made a motion to approve the minutes, Jill Ryan seconded the motion. Four were in favor, none were opposed (4-0).***

**10. Adjournment**

*Jill Ryan made a motion to adjourn. Dave Settle seconded the motion. All were in favor (4-0), the meeting adjourned at 6:47p.m.*

\_\_\_\_\_  
SECRETARY

\_\_\_\_\_  
DATE