



PLANNING AND ZONING COMMISSION

AGENDA FOR REGULAR MEETING

February 9, 2026

PLANNING AND ZONING COMMISSION:

Shawn Luesse, Chair
Julie Bartch, Vice-Chair
Missy Palitzsch, Secretary
Dan Borgmeyer, Mayor
Michael Galba, City Council Liaison

John Morgan
Chris DeGuentz
Tyson King
Adriana Perrone
Keith Liston

Commission Members:

A regular meeting of the St. Charles Planning and Zoning Commission will be held on **Monday, February 9, 2026**, beginning at 6:00 p.m. on the fourth floor of City Hall Chambers, 200 North Second Street, St. Charles, Missouri.

1. Call to order and the roll.
2. The Pledge of Allegiance.
3. Approve the minutes of the January 12, 2026 Planning and Zoning Commission meeting.

PUBLIC HEARING: Rezoning

4. Case No. Z-2026-03. (Clement Management Services LLC) An application to establish the zoning for a 150,401 square foot tract of land located at 3707 Veterans Memorial Parkway, to the City of St. Charles "C-2" General Business District. The subject property is located in Ward 6.

PUBLIC HEARING: Rezoning

5. Case No. Z-2026-04. (JD Ferry Inc.) An application to annex and establish the zoning for an 18,324 square foot tract of land located at 3701 Veterans Memorial Parkway, from St. Charles County "C2" General Commercial District to the City of St. Charles "C-2" General Business District. The subject property will be located in Ward 6 upon annexation.

PUBLIC HEARING: Rezoning

6. Case No. Z-2026-01. (Boone's Lick Development LLC) An application to rezone approximately 3.00 acre tract of land, which include three (3) parcels, two (2) of which are generally located at the northwest corner of Allen Avenue and Sandra Avenue from "R-1E/EHP" Single-Family Residential District within the Extended Historic Preservation District and one (1) parcel generally located northwest of the intersection of Reservoir Avenue and Allen Avenue from "C-1/EHP" Neighborhood Business District within the Extended Historic Preservation District to "C-2/EHP" General Business District within the Extended Historic Preservation District for a proposed Motor Court Use (19 total units). The property is located in Ward 2.

PUBLIC HEARING: Rezoning

7. Case No. Z-2026-02. (Jonathan Milo) An application to rezone a one (1) acre (more or less) tract of land located at 1423 S 5th Street from "C-2" General Business District to "C-3" Highway Business District for a proposed Marijuana Facility. The property is located in Ward 2.

PUBLIC HEARING: Conditional Use

8. Case No. CU-2026-01. (Miami Grill – Yaser Fawaqa) An application for a Conditional Use Permit per §400.220(C)(1)(a) for In-Vehicle Sales/Service (a restaurant drive-through) within the “C-2/EHP/FSC-HD” General Business District within the Extended Historic Preservation District and within the Fifth Street Corridor-Hospital District (T4-NMX Neighborhood Mixed Use), located at 620 S. 5th Street. The subject property is located in Ward 2.

PUBLIC HEARING: Conditional Use

9. Case No. CU-2026-02. (Strange Sisters LLC – Sarah & Julie Davison) An application for a Conditional Use Permit per §400.220(C)(1)(a) for Liquor Sales within the “C-2” General Business District, located at 2454 W. Clay Street. The subject property is located in Ward 9.

SITE PLAN:

10. Case No. SP-2026-01. (AEROBIC MO LLC – Michael Kalimtzis) A site plan application for an elevation amendment located at 1095 Regency Parkway and within the C-2 General Business District. The subject property is located in Ward 6.

SITE PLAN:

11. Case No. SP-2026-02. (St. Charles Engineering & Surveying, Inc. – Michael Meiners) A Site Plan application for a new office & warehouse with outdoor storage located on a 1.14-acre tract of land located on the southeast corner of Walsh Court and Elm Point Industrial Drive. The property is zoned -1 Light Industrial District and is located in Ward 8.

PUBLIC HEARING: Text Amendment

12. Case No. TA-2026-01. (City of St. Charles) An application to amend Chapter 400 of the Code of Ordinances specifically concerning Data Centers.

Adjourn

The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY - for the hearing impaired). The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk’s Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.

INCLEMENT WEATHER: In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

Posted on 2/5/2026 at 8:15 AM LB



**PLANNING AND ZONING COMMISSION
MEETING MINUTES
January 12, 2026
City Hall – Council Chambers
200 N Second Street, 4th Floor
St. Charles, MO 63301**

MEMBERS PRESENT:

Shawn Luesse, Chairperson
Julie Bartch, Vice-Chair
Missy Palitzsch, Secretary
Mayor Dan Borgmeyer
Michael Galba, City Council Liaison
Tyson King
Keith Liston
John Morgan

MEMBERS ABSENT

Adriana Perrone
Chris DeGuentz

STAFF PRESENT:

John Boyer, Assist. Director of C.D./Planning Manager
Lara Berry, Planner
Madelyn Brown, Planner
Taylor Moore, Preservation Planner

A regular meeting of the St. Charles Planning and Zoning Commission was held on **Monday, January 12, 2026**, beginning at 6:00 p.m. on the fourth floor of City Hall Chambers, 200 North Second Street, St. Charles, Missouri.

The meeting was called to order by Chair, Sean Luesse, at 6:00 p.m. Secretary took roll. Those in attendance are noted above.

1. Call to order and the roll.
2. The Pledge of Allegiance.
3. Approve the minutes of the December 8, 2025 Planning and Zoning Commission meeting.

Mayor Borgmeyer made a motion to approve the minutes. Vice-Chair Bartch seconded the motion. All were in favor. The minutes were approved.

PUBLIC HEARING: Conditional Use

1. Case No. CU-2025-26. (Sazon Tacos & Margaritas) An application for a Conditional Use Permit per §400.220(C)(1)(a) for Liquor Sales associated with a permitted Restaurant use within the “C-2/EHP/FSC-HD” General Business District within the Extended Historic Preservation District and within the Fifth Street Corridor-Hospital District overlay (T4-NMX Neighborhood Mixed Use) located at 416 S. 5th Street. The subject property is located in Ward 2.

Planner Berry provided the Commission with an overview of the Conditional Use request. The applicant and property owner addressed the Commission. The public hearing for the application opened with two (2) speakers from the public, one (1) in favor and one (1) with concerns about parking, traffic, noise, and hours of operation near the adjacent residential neighborhood. Vice-Chair Bartch made a motion to close the public hearing. Secretary Palitzsch seconded the motion. All were in favor and the public hearing closed.

Secretary Palitzsch motioned to forward the Conditional Use application, with the following conditions:

1. **This conditional use permit for liquor sales associated with a restaurant use shall be issued to the applicant (Cristien Gavier) with Sazon Tacos & Margaritas restaurant only for an approximately 1,900 square-foot interior tenant space located at 416 S. Fifth Street and is not transferable to another location and/or tenant/business.**
2. **Any change to the submitted proposal, including but not limited to additional dining area, outdoor patio expansion, or live music, may require additional approvals from the City.**

3. **Approval of this Conditional Use is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.**
4. **Liquor sales shall not occur independently of the primary business use and shall only be accessory to the operation of the restaurant use.**
5. **Non-compliance with any building codes, property maintenance codes, fire codes, noise control ordinances, or conditions of this approval is grounds for revocation of the conditional use approval.**
6. **Violations of Chapter 600 (Liquor/Alcoholic Beverages) may be grounds for revocation of this Conditional Use.**

Vice-Chair Bartch seconded the motion. The Conditional Use application will be forwarded to the City Council with a favorable recommendation (8 In Favor, 0 Opposed) at their February 3, 2026 meeting.

PUBLIC HEARING: Conditional Use

5. Case No. CU-2025-29. (Arzolas Fajitas & Margaritas – Ronald Webb) An application for a Conditional Use Permit per §400.270(C)(1) for Liquor Sales associated with a permitted Restaurant use within the CBD/HDD Central Business District within the Historic Downtown District located at 142 N. Main Street. The subject property is located in Ward 1.

Planner Moore provided the Commission with an overview of the Conditional Use request. The applicant addressed the Commission. The public hearing for the application opened with no speakers from the public. Secretary Palitzsch made a motion to close the public hearing. Councilmember Galba seconded the motion. All were in favor and the public hearing closed. Secretary Palitzsch motioned to forward the Conditional Use application, with the following conditions:

1. **This conditional use permit for liquor sales associated with a restaurant use is issued to the applicant (Ron Webb) with Arzola’s Fajitas and Margaritas restaurant only for an approximately 2,100 square-foot interior tenant located at 142 N. Main Street and is not transferable to another location and/or tenant/business.**
2. **Any change to the submitted proposal, including but not limited to additional dining area, outdoor patio expansion, or live music, may require additional approvals from the City.**
3. **Approval of this Conditional Use is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.**
4. **Liquor sales shall not occur independently of the primary business use and shall only be accessory to the submitted restaurant use.**
5. **Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.**
6. **Violations of Chapter 600 dealing with Liquor/Alcoholic Beverages may be grounds for revocation of this Conditional Use.**

Vice-Chair Bartch seconded the motion. The Conditional Use application will be forwarded to the City Council with a favorable recommendation (8 In Favor, 0 Opposed) at their February 3, 2026 meeting.

PUBLIC HEARING: Planned Development Amendment

6. Case No. PDA-2025-02. (Hummert International) An application for an amendment to the 370 Corporate Center Planned Development – Industrial District (Ord #11-45), specifically to add a new land use to be titled as “interior

manufacturing and processing of soil”. The subject properties are zoned PD-I Planned Development – Industrial District and located in Ward 1.

Planner Brown provided the Commission with an overview of this Planned Development Amendment request. The applicant addressed the Commission. The public hearing for the application opened with five (5) speakers from the public with general questions and concerns regarding the district overall. Vice-Chair Bartch made a motion to close the public hearing. Secretary Palitzsch seconded the motion. All were in favor and the public hearing closed. After hearing public comment, the Commission voted to amend the request to specify that storage, in addition to processing, shall be interior only. Secretary Palitzsch motioned to forward the application, as amended. Vice-Chair Bartch seconded the motion. The Amendment application will be forwarded to the City Council with a favorable recommendation (8 In Favor, 0 Opposed) at their February 3, 2026 meeting.

PUBLIC HEARING: Conditional Use

7. Case No. CU-2025-28. (Gwen Keen – QuikTrip Corporation) An application for a Conditional Use Permit per §400.230(C)(1)(a) for an Automobile Service Station and §400.230(C)(1)(a) for Liquor Sales. The property is zoned C-3 Highway Business District located at 3801 Harry S Truman Boulevard. The subject property is located in Ward 6.

Planner Brown provided the Commission with an overview of the Conditional Use Permit and associated Site Plan (Item #8). The applicant and the project’s traffic engineer addressed the Commission. The public hearing for the application opened with no speakers from the public. Secretary Palitzsch made a motion to close the public hearing. Vice-Chair Bartch seconded the motion. All were in favor and the public hearing closed. Secretary Palitzsch motioned to forward the Conditional Use application, with the following conditions:

1. **This Conditional Use Permit for in-vehicle sales and service (gas station) as well as Liquor Sales is issued to QuikTrip only at 3801 Harry S Truman Blvd is not transferable to another location and/or applicant/tenant/business.**
2. **Approval of this Conditional Use for Liquor Sales is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.**
3. **Liquor sales shall not occur independent of the primary business use and shall only be accessory to the submitted operation plan (Automobile Service Station and Convenience Store).**
4. **Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.**
5. **Violations of Chapter 600 dealing with Liquor/Alcoholic Beverages may be grounds for revocation of this Conditional Use.**

Vice-Chair Bartch seconded the motion. The Conditional Use application will be forwarded to the City Council with a favorable recommendation (9 In Favor, 0 Opposed) at their January 6, 2026 meeting.

ADMINISTRATIVE ITEMS:

11. Adoption of the 2026 Comprehensive Plan: “Guiding STC”
Assistant Director Boyer provided the Commission with an overview of the 2026 Comprehensive Plan Update. The public hearing opened with no speakers from the public. Vice-Chair Bartch made a motion to close the public hearing. Commissioner Morgan seconded the motion. All were in favor and the public hearing closed. Secretary Palitzsch motioned to adopt the 2026 Comprehensive Plan Update: “Guiding STC”. All were in favor and the motion was approved.
12. 2026 Officer Elections
Councilmember Galba motioned to keep the existing officers in their positions. Mayor Borgmeyer seconded the motion. All were in favor and the motion was approved.

Adjournment

*The next regular meeting of the Planning and Zoning Commission is scheduled for **February 9, 2026.***

Vice-Chair Bartch made a motion to adjourn the meeting. Commissioner Morgan seconded the motion. All were in favor. The meeting adjourned at 7:19 p.m.

SECRETARY

DATE



AGENDA ITEM #4

**STAFF REPORT
CASE NO. Z-2026-03**

3707 VETERANS MEMORIAL PKWY

**FEBRUARY 9, 2026
BY MADELYN P. BROWN**

APPLICANT/ OWNER: Clement Management Services LLC
190 Spring Drive
St. Charles, MO 63303

ADDRESS/LOCATION: 3707 Veterans Memorial Parkway
Ward 6

ACREAGE: 3.45 acre tract of land (more or less)

REQUESTED ZONING: City C-2 General Business District

SURROUNDING ZONING:

<u><i>Direction</i></u>	<u><i>Zoning</i></u>	<u><i>Use</i></u>
North	N/A	Highway I-70
South	County C2 General Business District	Vehicle Storage
East	C-2 General Business District	Vehicle Sales
West	C-2 General Business District	Vehicle Sales

REQUEST/BACKGROUND

In February of 2025, The City received a request from Clement Management Services LLC to annex the property located at 3707 Veterans Memorial Parkway into the City of St. Charles in order to construct an office/vehicle repair building on the subject property. Common City practice requires that an annexation application, along with the establishment of the zoning district, be reviewed by the Planning and Zoning Commission prior to final approval of an ordinance at City Council. However, due to the unique circumstances of this project, the establishment of zoning did not occur with the annexation as is typical. While annexation was approved at the March 2, 2025 City Council meeting, establishment of zoning did not occur. In order to allow future expansion and current uses at this lot, establishment of zoning is needed and will occur associated with this application.

With the annexation, a site plan was approved by Planning and Zoning Commission (SP-2025-03), but as identified earlier, zoning was inadvertently never assigned to the parcel. Construction of the office/vehicle repair building was designed and approved under the design standards of the C-2 General Business District, even though the parcel had not been officially assigned a zoning district. While the building is currently under construction, with approved building permits being issued, the applicant and staff are requesting that the C-2 Zoning District be officially assigned to 3707 Veterans Memorial Parkway to bring this site into full compliance of City Code.

As stated above, the building is being constructed in compliance with the C-2 standards. The requested establishment of the C-2 zoning district does not constitute any changes to the previously approved site plan, but instead establishes the zoning district for which the project was reviewed and approved. The proposed use, building design, and site layout have already been reviewed by the Planning and Zoning Commission as part of the site plan approval process. Additionally, this zoning request is consistent with the surrounding area zoning and uses.



Figure 1: Area zoning Map.

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

The subject property is located in-between Activity Centers #4 (I-70/Cave Springs Interchange) and #5 (I-70/Zumbehl Interchange). The majority of the properties in the surrounding area are commercial zoning and are also developed for this use. The Department of Community Development considers this annexation and rezoning request to be in general conformance with the Updated 2026 Comprehensive Plan and consistent with existing area land uses around the subject property.

STAFF RECOMMENDATION

After review of the rezoning request, the City's Zoning Ordinance, Comprehensive Plan and area development patterns, staff believes the requested rezoning is appropriate and is compatible with the zoning of the surrounding area. The Department of Community Development recommends that the establishment of zoning request be forwarded to the City Council with a favorable recommendation.

Recommended Motions:

*Motion to forward a **favorable** recommendation of approval to the City Council for the establishment of zoning for the subject property via Z-2026-03.*



Figure 2: Aerial photo of the Subject Property.

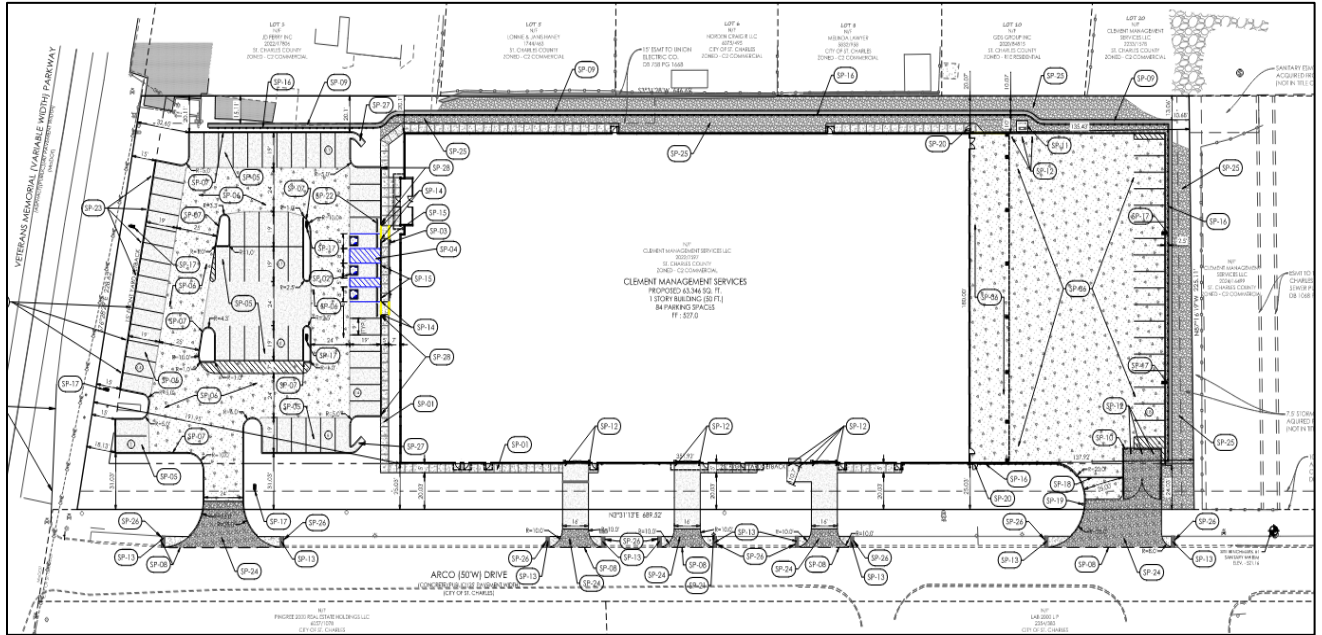


Figure 3: Approved Site Plan.



Figure 4: Photo of the Subject Property.



AGENDA ITEM #5

**STAFF REPORT
CASE NO. Z-2026-04**

3701 VETERANS MEMORIAL PKWY

**FEBRUARY 9, 2026
BY MADELYN P. BROWN**

APPLICANT/ OWNER: JD Ferry Inc.
330 Portico Court
St. Louis, MO 63017

ADDRESS/LOCATION: 3701 Veterans Memorial Parkway
Ward 6 upon annexation

ACREAGE: 0.42 acre tract of land (more or less)

EXISTING ZONING: County C2 General Commercial District

REQUESTED ZONING: City C-2 General Business District

SURROUNDING ZONING:

<u><i>Direction</i></u>	<u><i>Zoning</i></u>	<u><i>Use</i></u>
North	N/A	Highway I-70
South	County R1E Single-Family Residential District	Single-Family Residential
East	C-2 General Business District	Vehicle Sales
West	N/A	Office/Vehicle repair

REQUEST

The City has received an application to rezone 3701 Veterans Memorial Parkway upon annexation from St. Charles County C2 General Commercial District to City C-2 General Business District. The subject property is an approximate 0.42 acre lot (18,324 sqft) and is located on the south side of Veterans Memorial Parkway and west of Clearview Drive. The annexation of this property will help to further incorporate a remaining pocket of property within Unincorporated St. Charles County. The subject property is an existing commercial, vehicle sales use. If the requested rezoning is approved, the property would operate in compliance with the zoning regulations of the C-2 General Business District.

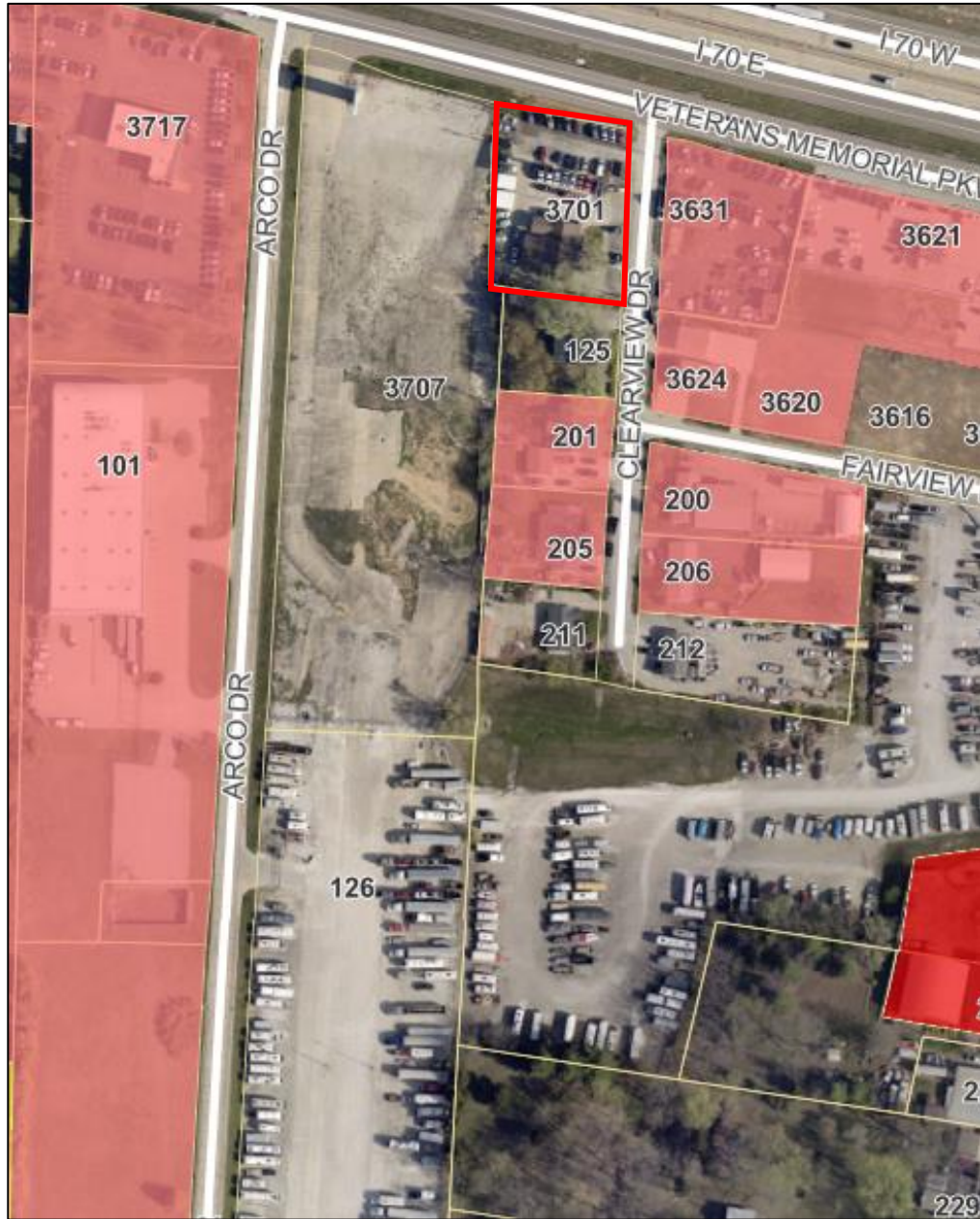


Figure 1: Area zoning Map.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest

activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

The subject property is located in-between Activity Centers #4 (I-70/Cave Springs Interchange) and #5 (I-70/Zumbehl Interchange). The majority of the properties in the surrounding area are commercial zoning and are also developed for this use. The Department of Community Development considers this annexation and rezoning request to be in general conformance with the Updated 2026 Comprehensive Plan and consistent with existing area land uses around the subject property.

STAFF RECOMMENDATION

After review of the rezoning request, the City's Zoning Ordinance, Comprehensive Plan and area development patterns, staff believes the requested rezoning is appropriate and is compatible with the zoning of the surrounding area. The Department of Community Development recommends that the annexation and rezoning request be forwarded to the City Council with a favorable recommendation.

Recommended Motions:

*Motion to forward a **favorable** recommendation to the City Council for annexation of the subject property, as noted in Z-2026-04.*

*Motion to forward a **favorable** recommendation of approval to the City Council for the establishment of zoning for the subject property via Z-2026-04.*



Figure 2: Aerial photo of the Subject Property.



Figure 3: Photo of the Subject Property.



AGENDA ITEM #6

**STAFF REPORT
REZONING CASE NO. Z-2026-01
LOTS 4 & 7 OF THE HALLS SUBDIVISION**

**FEBRUARY 9, 2026
BY MADELYN P. BROWN**

APPLICANT/OWNER: Boone’s Lick Development LLC
1122 Greystone Manor Parkway
Chesterfield, MO 63005

ADDRESS/LOCATION: Lots 4 & 7 of the Halls Subdivision
Ward 2

LOT SIZE: 3.00 acres (more or less)

EXISTING ZONING: Two (2) Parcels: R-1E/EHP Single-Family Residential District within the Extended Historic Preservation

One (1) Parcel: C-1/EHP Neighborhood Business District within the Extended Historic Preservation District

REQUESTED ZONING: C-2/EHP General Business District within the Extended Historic Preservation District

SURROUNDING ZONING:

Direction	Zoning	Use
North	C-2	Vacant
South	R-1E	Single-Family Residence
East	C-1	Restaurant
West	C-2/EHP	Single-Family Residence

SUMMARY /ANALYSIS

The City has received a rezoning application from Boone’s Lick Development LLC to rezone three (3) parcels within the Extended Historic Preservation District. Two (2) parcels, generally located at the northwest corner of Allen Avenue and Sandra Avenue, are currently zoned R-1E/EHP Single-Family Residential within the Extended Historic Preservation District, and one (1) parcel, generally located northwest of the intersection of Reservoir Avenue and Allen Avenue, is currently zoned C-1/EHP Neighborhood Business District within the Extended Historic Preservation District. The applicant is requesting that all three (3) parcels be rezoned to C-2/EHP General Business District within the Extended Historic Preservation District for the purpose of developing

a 19 unit Motor Court use on the subject parcels. The subject parcels are vacant and are a total of 3.00 acres (more or less) in size. The requested C-2 zoning district includes motor courts as a permitted use, where the R-1E and C-1 zoning districts do not.



Figure 1: Aerial Photo of the Subject Property.

A Motor Court is a lodging accommodation specifically identified in the City Code alongside hotels and motels. It is a type of lodging that features individual units with entrances that face a parking area. This is a similar use to a motel; however, a motor court typically consists of individual buildings or small groupings of buildings rather than a single structure. In this case, the developer is proposing five (5) groupings of attached townhomes with 19 units in total to be rented for short term stays. Because the proposed development is more than five units and is located on property zoned for commercial use, it would not be considered a short term rental, which by definition is less than five units. Therefore, this proposal has been categorized under the hotel, motel, and motor court use classification. Through a review of the City Code, staff determined that this proposal most closely aligns with this specific lodging classification.



Figure 2: Rendering of proposed motor court structures.

Because this property is located within the Extended Historic Preservation District, a review of a Site Plan for new development/construction falls under the purview of the Landmarks Board and not the Planning and Zoning Commission. This item is slated for Site Plan review at Landmarks February 23, 2026 meeting. The site plan has been included as an attachment for reference.



Figure 3: Aerial rendering of proposed motor court development.

Area Land Uses

Figure 4, below, illustrates the surrounding zoning of the subject parcel. The C-2 zoning district is assigned to the parcels located directly to the north and northwest with the R-1E district located to the south and east. South of Tompkins Street, the 5th Street corridor is almost entirely commercial uses with C-2 zoning.

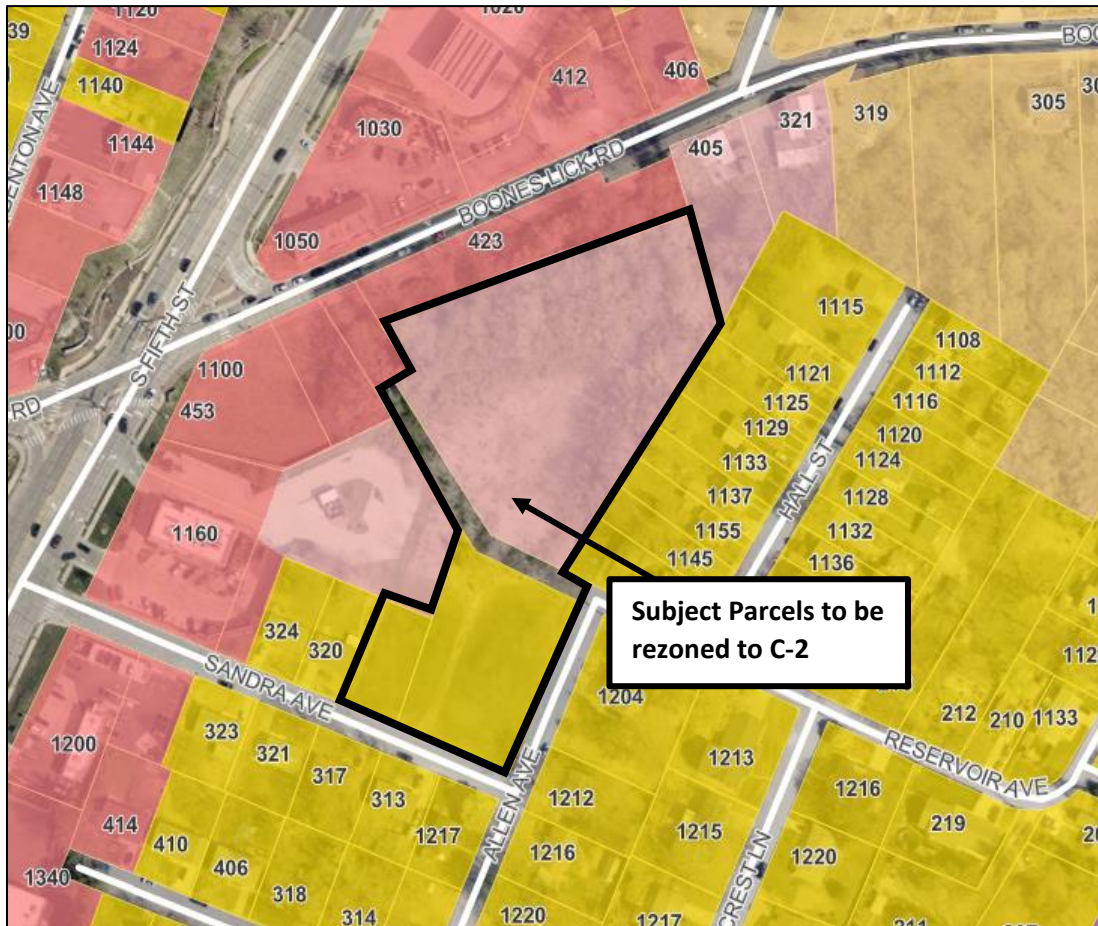


Figure 4: Area zoning and subject parcels for proposed rezoning.

Although the proposed rezoning is adjacent to an established residential district, the requested commercial zoning is consistent with the surrounding land use pattern. Additionally, the low intensity of the proposed motor court with short term stays would serve as a transitional use between the commercial and residential districts.

C-2 Land Uses

Despite this approval being specific to the motor court use, all uses of the C-2 zoning district would be applicable at this location if these rezonings were to be approved. This includes uses that are already permitted within the C-1 Neighborhood Commercial district, as well as additional uses allowed under C-2. The uses specific to the C-2 district are listed in the chart, below and on page 5 (proposed land use is highlighted for convenience).

Permitted Uses	Conditional Uses
Ambulance services, public or private	Indoor firearm ranges.
Amusement places, including dance halls and similar activities	Motor vehicle sales and rentals, new and used and temporary motor vehicle storage
Archery ranges	Microbreweries, brew pubs, craft distilleries, bars and wineries
Building contractor establishment	Shipping container structures.
One (1) dwelling unit is permitted above the first floor	Secondhand sales
Dry cleaning or laundry establishment	Taxicab stations and stands
Equipment rental and leasing services, including lawn mower, yard and garden equipment, trailers (not mobile homes) and other such items	Taxidermy
Exterminators	
Hotels, motels or motor court/lodges, bed-and-breakfast establishments and inns	
Meeting facility	
Motor Vehicle Repair	
Plumbing, heating and air-conditioning shop, upholstering shop (not involving furniture manufacture), appliance repairs and general service and repair establishments similar in character to those listed in this item.	
Recreational uses, outdoor	
Schools for industrial training, trade or business.	

Table 1: C-2 Zoning District Uses (highlighted is the intended land use)

It is Staff opinion that of the 21 uses listed in the table above, most would not have a negative impact on the established residential area to the east and south, while others would be limited/constrained by C-2 and other City Design Standards, limiting possible negative impacts.

Many of the more intense uses of the C-2 district, such as vehicle sales, indoor firearm ranges, and liquor establishments, would not be permitted by right and would instead require conditional use review prior to approval. This additional review would allow the City and residents to evaluate the use on a case-by-case basis to determine the appropriateness. As indicated earlier, design standards are in place to protect neighboring residential properties from potential adverse impact of the more intense by right uses. These standards include protective landscaped screening, greater building setbacks, and outdoor storage restrictions which are subject to additional Site Plan review by the City. Specifically, the following design standards must be met when a site adjoins a residential property:

- A landscaped greenbelt at least twenty (20) feet planted with trees and shrubs.
 - In addition to either a visual screen with a minimum height of six (6) feet in height or a masonry wall/wood fence of at least six (6) feet in height
- A twenty (20) foot rear yard building setback
- A twenty (20) side yard building setback
- All storage must be located within a completely enclosed building unless appropriately screened from the street with a wall or fence

That being said, the requested C-2/EHP zoning, including the proposed motor court, is consistent with the character of the district and are appropriate with the surrounding area/development patterns. Many of the remaining uses permitted within the district should also be appropriate, especially with the applicable special review processes and design standards of the C-2 District as pointed out above.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

The subject property is located in-between Activity Center #6 (Historic Downtown) and Activity Center #7 (I-70/5th Street Interchange). These Activity Centers are intended to support a mixed-use urban environment, with a broad spectrum of residential and commercial uses. The purpose of these Activity Centers is to foster a vibrant downtown area that serves as a central hub for the community while also a gateway into the downtown area via this intersection/corridor.

The proposed rezoning to C-2/EHP aligns with the Activity Center objectives by permitting a mix of uses, such as the proposed commercial motor court and other permitted uses in the C-2 zoning, and providing a transitional buffer between 5th Street and the Residential district to the west via

required design standards. Additionally, C-2 zoning is already present directly to the west, and extends along the corridor along 5th Street, establishing consistency with the existing zoning pattern.

Furthermore, the proposed C-2 zoning district is also compatible with the goal of the Historic Downtown Sub-District to allow for “infill in areas outside of the Sub-District’s main corridors, incorporating an appropriate mix of uses and respecting the historic character”.

After review, The Department of Community Development finds that the proposed rezoning is consistent with the adopted Comprehensive Plan.

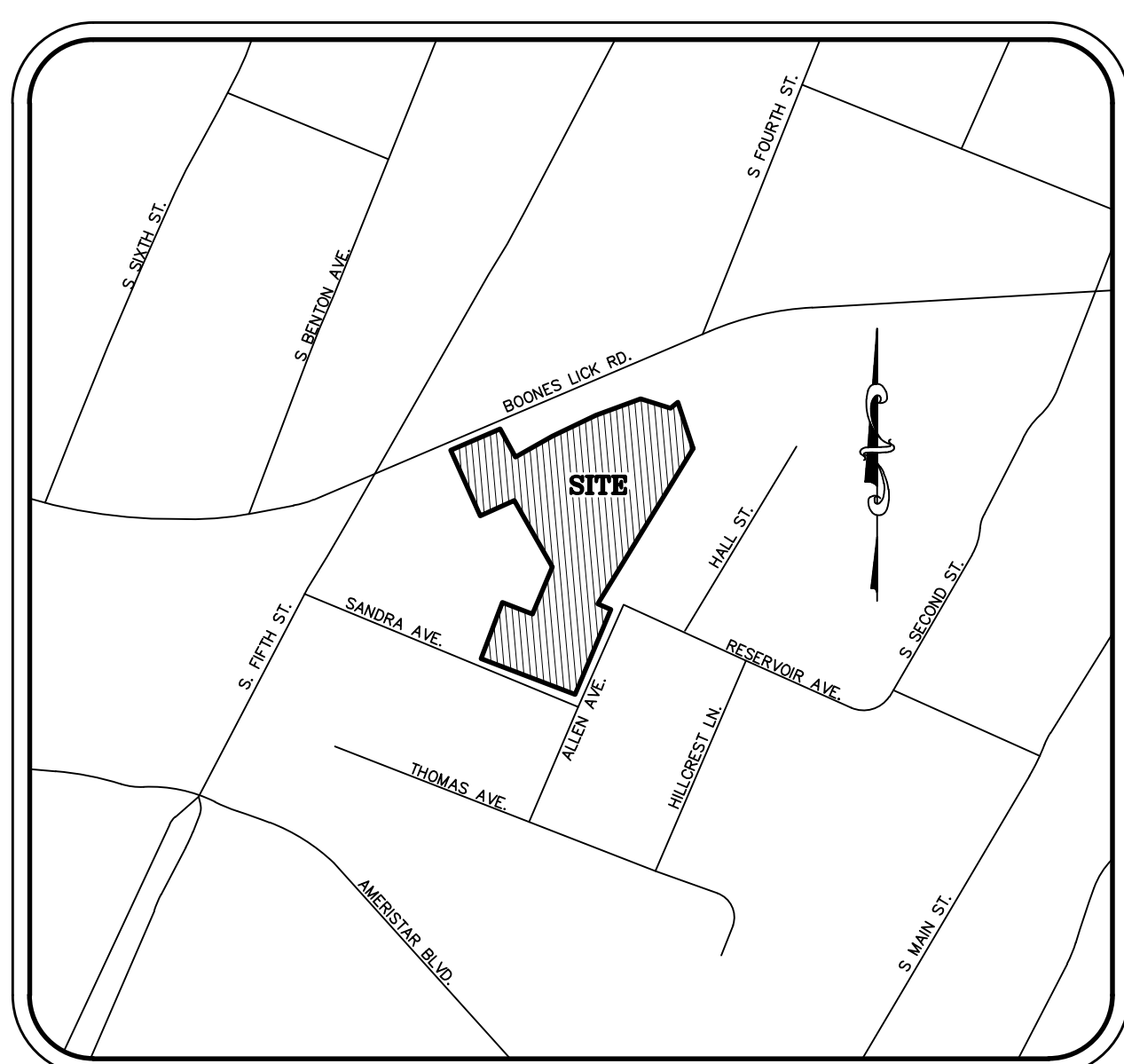
STAFF RECOMMENDATION

After review of the rezoning request, potential land uses within the City’s Zoning Ordinance and area development patterns, staff believes the requested rezoning justified. The Department of Community Development recommends the rezoning request be forwarded to the City Council with a favorable recommendation.

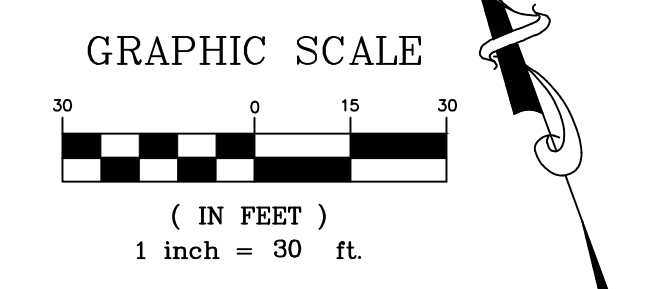
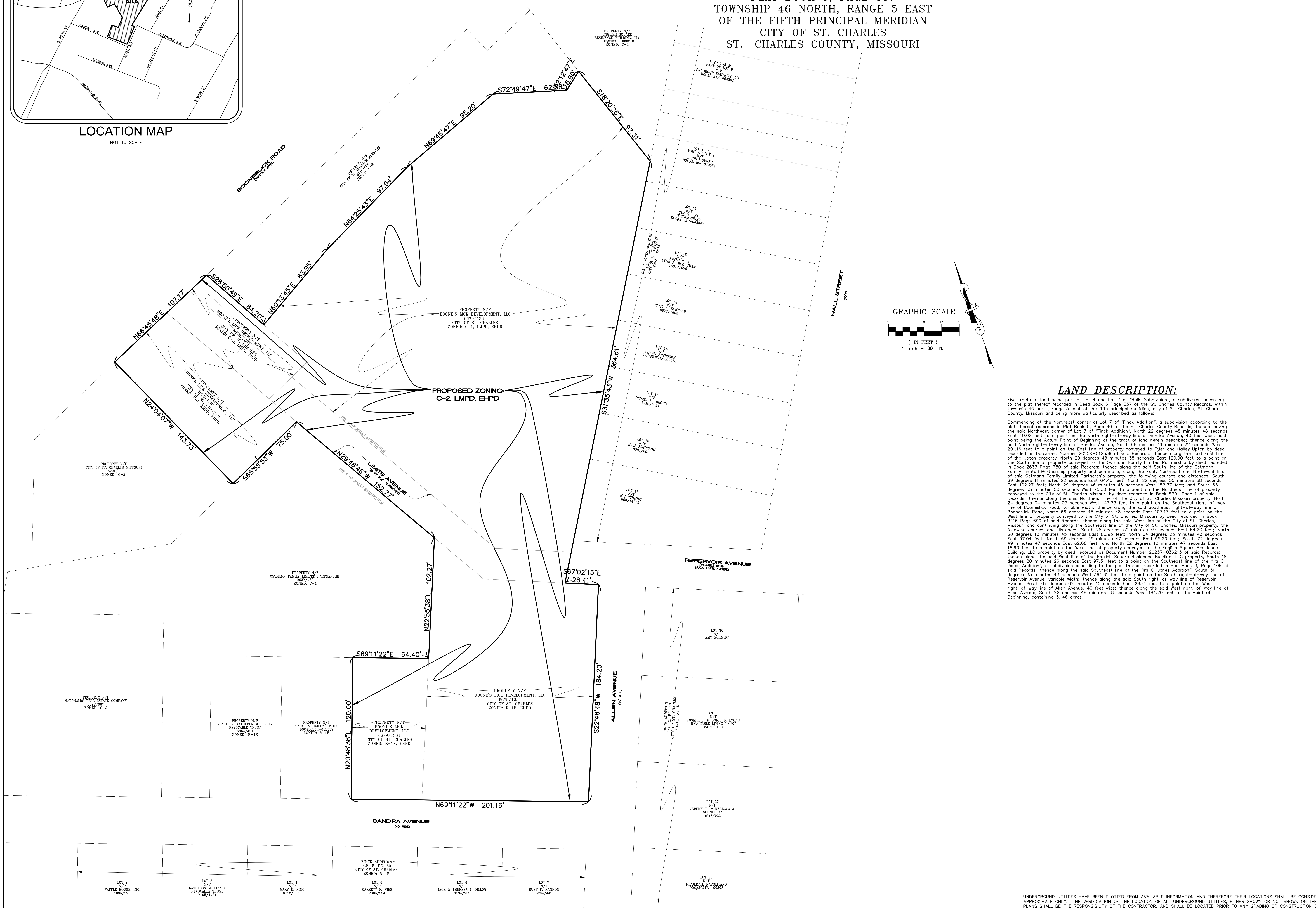
Recommended Motion:

Motion to forward application Z-2026-01, to the City Council with a favorable recommendation as submitted.

**A REZONING EXHIBIT FOR
BOONE'S LICK
STORT TERM STAY**
FIVE TRACTS OF LAND BEING PART OF LOT 4 & LOT 7 OF
"HALLS SUBDIVISION"
PLAT BOOK 3, PAGE 337
TOWNSHIP 46 NORTH, RANGE 5 EAST
OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF ST. CHARLES
ST. CHARLES COUNTY, MISSOURI



LOCATION MAP
NOT TO SCALE



LAND DESCRIPTION:

Five tracts of land being part of Lot 4 and Lot 7 of "Halls Subdivision", a subdivision according to the plat thereof recorded in Deed Book 3, Page 337 of the St. Charles County Records, within township 46 north, range 5 east of the fifth principal meridian, city of St. Charles, St. Charles County, Missouri and being more particularly described as follows:

Commencing at the Northeast corner of Lot 7 of "Halls Subdivision", a subdivision according to the plat thereof recorded in Deed Book 3, Page 337 of the St. Charles County Records, thence leaving the said Northeast corner of Lot 7 of "Halls Subdivision", North 22 degrees 48 minutes 48 seconds East 40.02 feet to a point on the North right-of-way line of Sandra Avenue, 40 feet wide, said point being the Actual Point of Beginning of the tract of land herein described; thence along the said North right-of-way line of Sandra Avenue, North 69 degrees 11 minutes 22 seconds West 201.16 feet to a point on the East line of property conveyed to Tyler and Holly Upton by deed recorded as Document Number 2023R-012559 of said Records; thence along the said East line of the Upton property, North 20 degrees 48 minutes 38 seconds East 120.00 feet to a point on the South line of property conveyed to the Oatman Family Limited Partnership by deed recorded in Book 2637 Page 780 of said Records; thence along the said South line of the Oatman Family Limited Partnership property and continuing along the East, Northeast and Northwest line of said Oatman Family Limited Partnership property, the following courses and distances, South 69 degrees 11 minutes 22 seconds East 64.40 feet; North 22 degrees 55 minutes 38 seconds East 102.27 feet; North 29 degrees 46 minutes 46 seconds West 152.77 feet; and South 65 degrees 53 minutes 53 seconds West 75.00 feet to a point on the Northeast line of property conveyed to the City of St. Charles Missouri by deed recorded in Book 5791 Page 1 of said Records; thence along the said Northeast line of the City of St. Charles Missouri property, North 24 degrees 04 minutes 07 seconds West 143.73 feet to a point on the Southeast right-of-way line of Boone's Lick Road, variable width; thence along the said Southeast right-of-way line of Boone's Lick Road, North 66 degrees 45 minutes 48 seconds East 107.17 feet to a point on the West line of property conveyed to the City of St. Charles, Missouri by deed recorded in Book 3416 Page 699 of said Records; thence along the said West line of the City of St. Charles, Missouri and continuing along the Southeast line of the City of St. Charles, Missouri property, the following courses and distances, South 28 degrees 20 minutes 49 seconds East 64.20 feet; North 60 degrees 13 minutes 45 seconds East 83.95 feet; North 64 degrees 25 minutes 43 seconds East 97.04 feet; North 69 degrees 45 minutes 47 seconds East 65.20 feet; South 72 degrees 48 minutes 47 seconds East 62.68 feet; and North 52 degrees 12 minutes 47 seconds East 18.90 feet to a point on the West line of property conveyed to the English Square Residence Building, LLC property by deed recorded as Document Number 2023R-036213 of said Records; thence along the said West line of the English Square Residence Building, LLC property, South 18 degrees 20 minutes 26 seconds East 97.31 feet to a point on the Southeast line of the "Ira C. Jones Addition", a subdivision according to the plat thereof recorded in Plat Book 3, Page 106 of said Records; thence along the said Southeast line of the "Ira C. Jones Addition", South 3 degrees 35 minutes 43 seconds West 364.61 feet to a point on the South right-of-way line of Reservoir Avenue, variable width; thence along the said South right-of-way line of Reservoir Avenue, South 67 degrees 02 minutes 15 seconds East 28.41 feet to a point on the West right-of-way line of Allen Avenue, 40 feet wide; thence along the said West right-of-way line of Allen Avenue, South 22 degrees 48 minutes 48 seconds West 184.20 feet to the Point of Beginning, containing 3.146 acres.

A REZONING EXHIBIT FOR
BOONE'S LICK STORT TERM STAY
SANDRA AVENUE
CITY OF ST. CHARLES, ST. CHARLES COUNTY, MO 63301

EP

**ENGINEERING
PLANNING
SURVEYING**

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 636-928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000635
Missouri State Certificate of Authority
Surveying #000144

REVISIONS

NO.	DATE	DESCRIPTION

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

01/12/2026
DATE
16-16858B
PROJECT NUMBER
16858Bpre.dwg
FILE NAME
CLM
DRAWN
CAW
DESIGNED
CHECKED

**REZONING
EXHIBIT**

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.











ENGINEERING
PLANNING
SURVEYING

Land Description

3.146 Acres

January 12, 2026

Bax Project No. 16-16858B

JLH

Five tracts of land being part of Lot 4 and Lot 7 of "Halls Subdivision", a subdivision according to the plat thereof recorded in Deed Book 3 Page 337 of the St. Charles County Records, within township 46 north, range 5 east of the fifth principal meridian, city of St. Charles, St. Charles County, Missouri and being more particularly described as follows:

Commencing at the Northeast corner of Lot 7 of "Finck Addition", a subdivision according to the plat thereof recorded in Plat Book 5, Page 60 of the St. Charles County Records; thence leaving the said Northeast corner of Lot 7 of "Finck Addition", North 22 degrees 48 minutes 48 seconds East 40.02 feet to a point on the North right-of-way line of Sandra Avenue, 40 feet wide, said point being the Actual Point of Beginning of the tract of land herein described; thence along the said North right-of-way line of Sandra Avenue, North 69 degrees 11 minutes 22 seconds West 201.16 feet to a point on the East line of property conveyed to Tyler and Hailey Upton by deed recorded as Document Number 2025R-012559 of said Records; thence along the said East line of the Upton property, North 20 degrees 48 minutes 38 seconds East 120.00 feet to a point on the South line of property conveyed to the Ostmann Family Limited Partnership by deed recorded in Book 2637 Page 780 of said Records; thence along the said South line of the Ostmann Family Limited Partnership property and continuing along the East, Northeast and Northwest line of said Ostmann Family Limited Partnership property, the following courses and distances, South 69 degrees 11 minutes 22 seconds East 64.40 feet; North 22 degrees 55 minutes 38 seconds East 102.27 feet; North 29 degrees 46 minutes 46 seconds West 152.77 feet; and South 65 degrees 55 minutes 53 seconds West 75.00 feet to a point on the Northeast line of property conveyed to the City of St. Charles Missouri by deed recorded in Book 5791 Page 1 of said Records; thence along the said Northeast line of the City of St. Charles Missouri property, North 24 degrees 04 minutes 07 seconds West 143.73 feet to a point on the Southeast right-of-way line of Booneslick Road, variable width; thence along the said Southeast right-of-way line of Booneslick Road, North 66 degrees 45 minutes 48 seconds East 107.17 feet to a point on the West line of property conveyed to the City of St. Charles, Missouri by deed recorded in Book 3416 Page 699 of said Records; thence along the said West line of the City of St. Charles, Missouri and continuing along the Southeast line of the City of St. Charles, Missouri property, the following courses and distances, South 28 degrees 50 minutes 49 seconds East 64.20 feet; North 60 degrees 13 minutes 45 seconds East 83.95 feet; North 64 degrees 25 minutes 43 seconds East 97.04 feet; North 69 degrees 45 minutes 47 seconds East 95.20 feet; South 72 degrees 49 minutes 47 seconds East 62.68 feet; and North 52 degrees 12 minutes 47 seconds East 18.90 feet to a point on the West line of property conveyed to the English Square Residence Building, LLC property by deed recorded as Document Number 2023R-036213 of said Records; thence along the said West line of the English Square Residence Building, LLC property, South 18 degrees 20 minutes 26 seconds East 97.31 feet to a point on the Southeast line of the "Ira C. Jones Addition", a subdivision according to the plat thereof recorded in Plat Book 3, Page 106 of said Records; thence along the said Southeast line of the "Ira C. Jones Addition", South 31 degrees 35 minutes 43 seconds West 364.61 feet to a point on the South right-of-way line of Reservoir Avenue, variable width;

BAX ENGINEERING CO.
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(636) 928-5552 Fax: (636) 928-1718
www.baxengineering.com



ENGINEERING
PLANNING

Land Description

3.146 Acres

January 12, 2026

Bax Project No. 16-16858B

JLH

Page 2 of 2

thence along the said South right-of-way line of Reservoir Avenue, South 67 degrees 02 minutes 15 seconds East 28.41 feet to a point on the West right-of-way line of Allen Avenue, 40 feet wide; thence along the said West right-of-way line of Allen Avenue, South 22 degrees 48 minutes 48 seconds West 184.20 feet to the Point of Beginning, containing 3.146 acres.

January 12, 2026

City of St. Charles
Planning and Zoning
200 N. Second Street, Suite 303
St. Charles, MO 63303

Greetings:

I am writing on behalf of the development team for Boone's Lick Development, located at Sandra Drive near Fifth Street. We are excited about our proposal to bring a variety of upscale short term leased units to the City of St. Charles. The development will consist of a variety of townhome type units marketed toward professionals and tourists to the City of St. Charles. Proximity to shopping, convention center and Historic Main Steet make it attractive for visitors to the City.

The development will consist of a variety of 1, 2 and 3 bedroom units. Each will have a small living area and bedrooms. The overall site will consist of 5 buildings with a historic appearance. The site will be served by a private drive with gate. Amenities include a picnic table with BBQ pits and pickleball court for recreation.

Sincerely,

Boone's Lick Development Team



AGENDA ITEMS #7

**STAFF REPORT
CASE NO. Z-2026-02
REZONING: C-2 TO C-3
1423 S. FIFTH STREET**

**FEBRUARY 9, 2026
BY LARA BERRY**

APPLICANT: Jonathan Milo
7110 N. Broadway
St. Louis, Missouri 63147

OWNER: Erkmann Properties, LLC
102 Bellardia Court
Montgomery, Texas 77316

ADDRESS/LOCATION: 1423 S. Fifth Street
Ward 2

LOT SIZE: 1.0 acre

EXISTING ZONING: C-2 General Business District

REQUESTED ZONING: C-3 Highway Business District

PROPOSED USE: Marijuana Dispensary

SURROUNDING ZONING:

Direction	Zoning	Land Use
North	C-2	Gas Station with Convenience Store
South	Interstate 70	Interstate Highway/MODOT Right-of-Way
East	C-2	Multi-Tenant Plaza – Office/Retail
West	C-2	Hotel

SUMMARY OF REQUEST

The City has received an application to rezone the subject property from C-2 General Business District to C-3 Highway Business District for the purpose of allowing a proposed Marijuana Facility (Dispensary). This location has an existing structure that was most recently used as a Denny’s Restaurant which has since been abandoned with no current tenant/use.

On June 20, 2023, the City Council passed Ordinance #23-071 relating to the regulation of marijuana and associated businesses in compliance with Section XIV of the Missouri Constitution. Among a number of amendments to the previously approved Medical Marijuana Regulations (Chapter 675 of the City of St. Charles Code of Ordinances) and most relevant to this application,

there were amendments made to Permitted Locations (Section 675.110). These locations are provided below:

Permitted Locations:

- A. *A Marijuana Facility may be located in any of the following zoning districts as a permitted use:*
- *I-2 Heavy Industrial District*
 - *I-1 Light Industrial District*
 - *C-3 Highway Business District*
- B. *No Marijuana Facility shall be located at the following locations:*
1. *Within one thousand (1, 000) feet of a daycare as defined in Article 14 of the Missouri Constitution;*
 2. *Within one thousand (1, 000) feet of any educational institution or school as defined in Article 14 of the Missouri Constitution, or college or university, either public or private;*
 3. *Within one thousand (1, 000) feet of any church as defined in Article 14 of the Missouri Constitution;*
 4. *Within one thousand (1, 000) feet of any public park or public pool*
 5. *Within one thousand (1, 000) feet of any halfway house or correctional facility;*
 6. *Within one thousand (1, 000) feet of any other Marijuana Facility; or*
 7. *Within any building or structure that contains a residential unit.*
- C. *No Marijuana Facility shall be located more than one thousand (1, 000) feet from the centerlines of Interstate 70 or Interstate 370.*

While this application is specific to rezone a parcel for the expressed use of a marijuana dispensary, all uses within the C-3 District should be evaluated for appropriateness. Accordingly, staff's review focuses on whether the requested C-3 Highway Business District is appropriate for this location, independent of any single proposed use, and whether the district's permitted and conditional uses are compatible with the surrounding development pattern.

Additionally, although this application is specific to a future marijuana dispensary, no official site plan has been submitted at this time. However, according to the applicant, they plan to make exterior alterations. If the rezoning were to be approved by the City, a future Site Plan application may be necessary before construction, in which staff will evaluate all design standards of the Code (design, parking, any potential traffic concerns which may include a Traffic Impact Study for the change in use, landscaping, lighting, etc., associated with a proposed use, etc.).

PAST REVIEWS

The Commission may recall two (2) other rezoning requests from the last few years for this general area. Staff provides the following summaries of these requests:

Z-2022-16

In November of 2022, the Three Flags Center, the multi-tenant plaza, to the east of this subject site, requested a rezoning of the 2.37-acre parcel. Associated with this request, the applicant was also requesting a Conditional Use Permit (CU-2022-74) for a Tattoo Establishment. While Planning Staff provided a favorable recommendation for both the rezoning and conditional use request, the Commission forwarded the rezoning application to the City Council with a non-

favorable recommendation (0 in favor, 7 opposed); however, the Commission did provide a favorable recommendation (7 in favor, 0 opposed) to Council regarding the conditional use. The Commission provided the explanation for the non-favorable recommendation on the rezoning proposal being they had concerns with the other land uses associated with the proposed rezoning for this prominent property. Subsequently, the City Council also did not vote in favor (1 in favor, 7 opposed) of the rezoning and the request failed due to similar reasons as the Commission.

Z-2023-12

In September of 2023, an undeveloped parcel just east of the Three Flags Center, requested a rezoning for a 0.67-acre parcel. This application was also for a proposed Marijuana Facility. Although Planning Staff provided a favorable recommendation for the rezoning request, staff received a request to withdraw the application the morning before the Planning and Zoning Commission meeting that the request was to be considered.

While prior rezoning requests in the immediate area were not ultimately approved or were withdrawn, staff's current recommendation is based on the specific location of the subject property, its direct adjacency to Interstate 70, allowed land uses of the C-3 district and its correlation to a designated Activity Center where higher-intensity commercial uses are anticipated by the Comprehensive Plan.

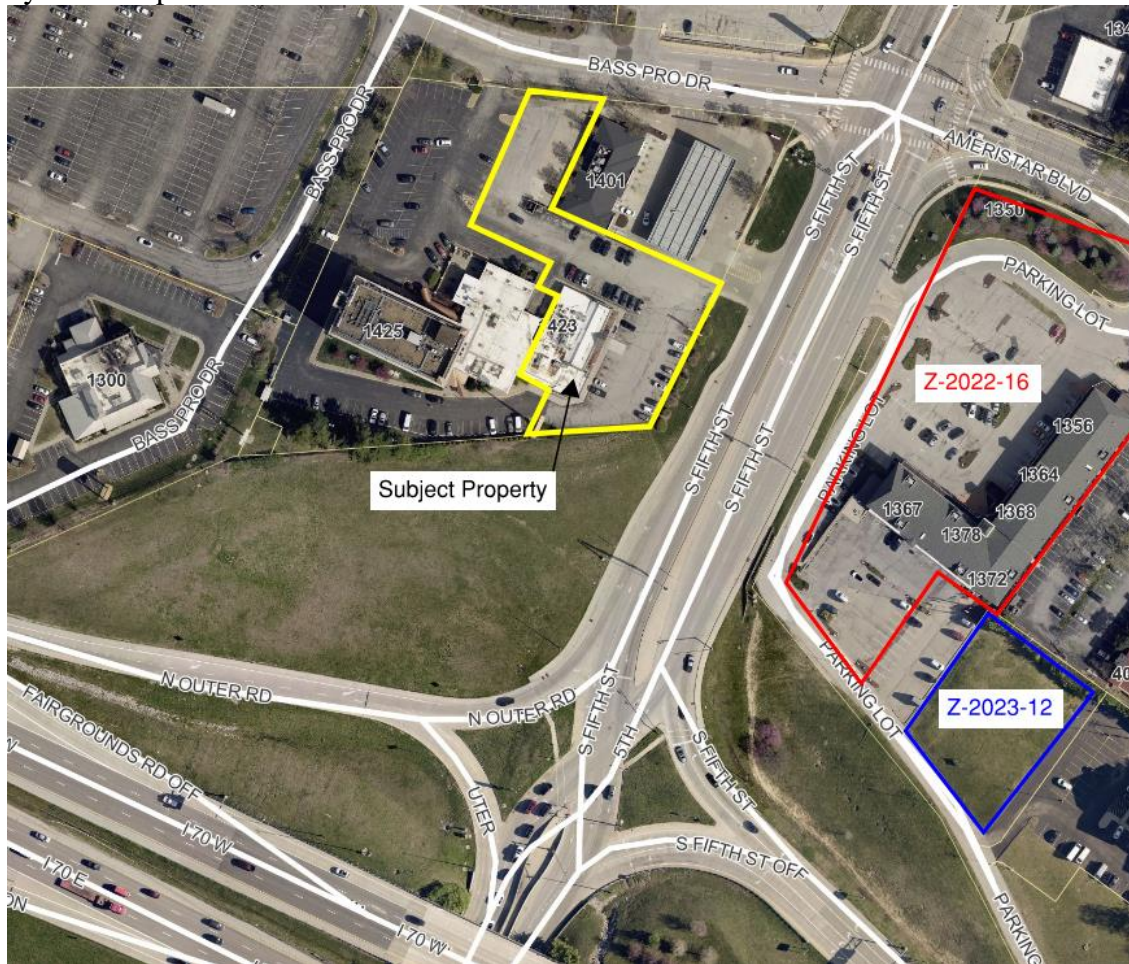


Figure 1: Aerial Photo of the Subject Property with Previous Applications Identified.

ANALYSIS

Figure 2 below identifies area zoning of the subject parcel along with adjacent parcels. Predominantly, every parcel north of the S. 5th Street and I-70 interchange is zoned C-2 General Business District, with C-3 Highway Business District just west of the subject property within Mark Twain Village directly adjacent to I-70. On the surface, due to the subject property's location in relation to the highway and other C-3 zoned properties, this rezoning could fit within this vicinity. The property's immediate adjacency to I-70 and its placement within a regional commercial node distinguish it from other C-2 properties further removed from the interchange.

Per the Purpose statement of the C-3 Highway Business District, it is intended to be a zoning district which permits all types of commercial activity: retailing, wholesaling, warehousing, provision of personal and business services, and entertainment. While this application should focus on the appropriateness of the proposed Zoning District, staff notes that currently, this property appears to comply with all location requirements of a Marijuana Facility, except for being in a qualifying zoning district.

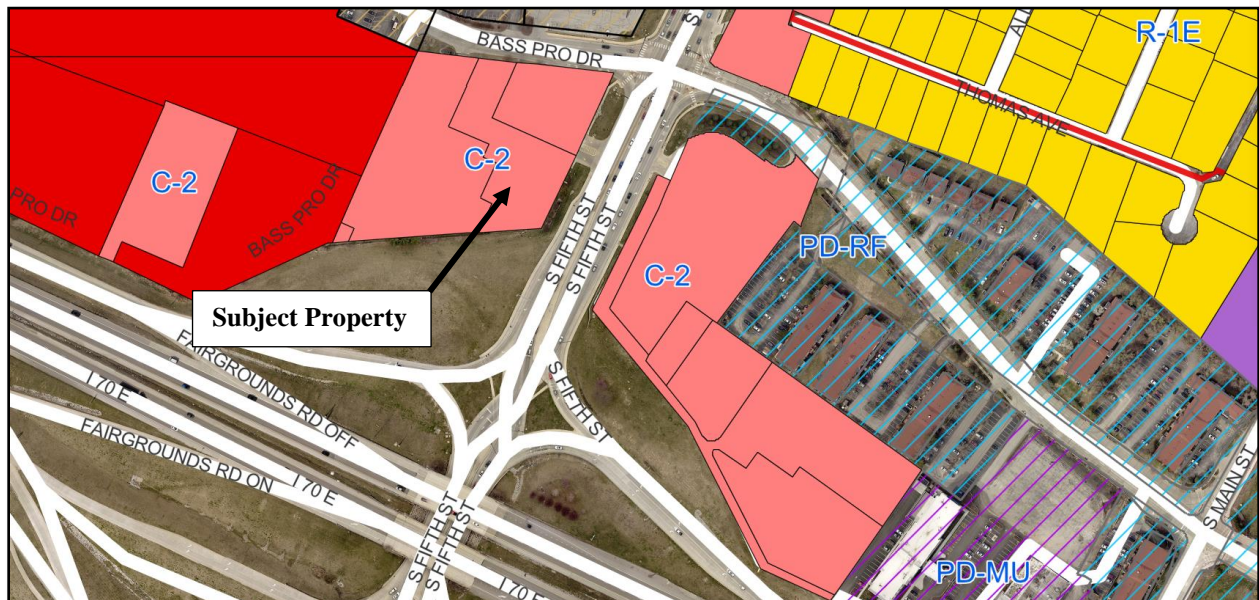


Figure 2: Area Zoning of the Subject Property.

Staff notes that changing the zoning of this property could potentially open this property to a number of other uses, both permitted by right and conditional uses (special review) within the C-3 District. These uses are listed in the table on the following page (proposed land use is highlighted for convenience).

Permitted Uses	Conditional Uses
Animal service establishments with or without a kennel for overnight stays	Fertilizer storage associated with a retail business
Kratom products facility	Material storage yards, in connection with a permitted use
Lumber and building materials stores, but not a lumberyard.	Sale or storage of stone products
Marijuana facility	Welding or soldering shops
Mini-warehouses	Agricultural or farm implements for sale, storage or repair
Mortuary and monument sales	Boat and boat trailer, repair, sales and storage
Nurseries for growing plants, trees, shrubs	Mobile home sales
Painting shops and bottling works	Tattooing, body piercing or branding establishment
Printing, publishing and engraving establishments	Truck stop
Radio and television stations and studios or recording studios	Bus terminal
Retail establishments greater than eight thousand (8,000) square feet	More than one (1) dwelling unit above the ground floor up to a maximum of eighteen (18) units per acre
Wholesale establishment, truck terminal or warehouse (less than 15,000 sf)	Taverns and bars

Table 1: C-3 Zoning District Uses (highlighted is the intended land use).

Many of the uses permitted within the C-3 Highway Business District are commercial in nature and similar in intensity to existing development along the Interstate 70 corridor. Several uses are also subject to additional performance standards or spacing requirements, which further limits potential incompatibility with surrounding properties.

While this property is currently a vacant restaurant and the applicant has proposed a specific use, Planning Staff, the Commission, and the City Council must consider the possibility of this property being redeveloped in the future for any uses allowed via the C-3 district. Staff would encourage the Commission and Council to consider the potential available uses and discuss any concerns regarding the more restrictive uses. Currently, the Zoning Code provides additional regulations on some of the more sensitive uses, such as Tattoo Establishments and Animal Service

Establishments, whereas Marijuana uses are additionally regulated via Chapter 675 of the Municipal Code (identified earlier)

Some of these have additional regulations that could exclude the subject property from these uses are:

- One tattoo, body piercing or branding establishment shall not be located within seven thousand five hundred (7,500) feet of a similar establishment.

Staff's Comment(s): The closest tattoo establishment, Frenchtown Tattoo Company, is just over 7,500 feet. As mentioned in the Past Reviews portion of this report, both staff and the Commission provided a favorable recommendation for a Tattoo Establishment; however, that was contingent upon the rezoning request.

- Animal service establishments with or without a kennel for overnight stays, including veterinarian, small animal hospital, pet adoption, grooming and other similar uses. Any rooms, cages, or pens be maintained within a completely enclosed, soundproof building and that such use be operated in such a way as to produce no objectionable noise or odors outside its walls. Open pens or runs shall be at least three hundred (300) feet from a residential district.

Staff's Comment(s): This may be an available use, as the closest residential district is over 300 feet of the property on the north side of Ameristar Boulevard.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

The subject property is located near the I-70/Fifth Street Interchange and has been identified as Activity Center #7. This area should accommodate more intense uses and density. This node interchange is the location of generally the densest commercial development of the City, for example, Ameristar Casino, Bass Pro Shop (Mark Twain Village), Streets of St. Charles, and Riverpointe. Based upon its proximity to this node, it has been identified and planned that more intense uses should be appropriate. Within the Comprehensive Plan, and described above, adjacency to nodes/activity centers are encouraged to accommodate higher densities and intense uses. As you move further from that node/activity center, the intensity/density should decrease. Based upon this information, a more intense zoning, like C-3 Highway Business District, would be supported by the Comprehensive Plan.

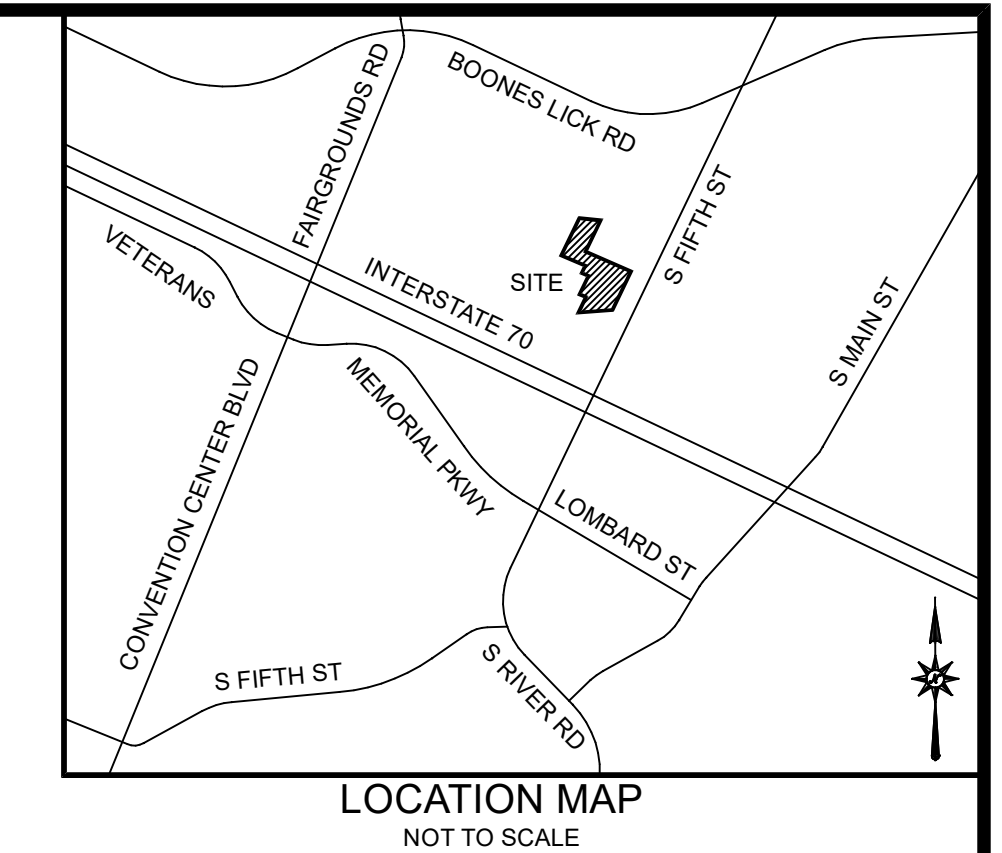
STAFF RECOMMENDATION

After review of the rezoning request, potential land uses within the City's Zoning Ordinance, the updated 2026 Comprehensive Plan, area development patterns, staff finds the requested rezoning to be appropriate and compatible with the surrounding area land uses and zoning. The Department of Community Development recommends the rezoning request be forwarded to the City Council with a favorable recommendation, as submitted.

Recommended Motions:

Motion to forward a favorable recommendation to the City Council for application Z-2026-02.

ADJUSTED PARCEL 2 OF "BOUNDARY ADJUSTMENT PLAT OF TRACTS OF LAND IN U.S. SURVEY 3280" PB 41 PG 199, ST CHARLES COUNTY, MISSOURI ALTA/NSPS LAND TITLE SURVEY



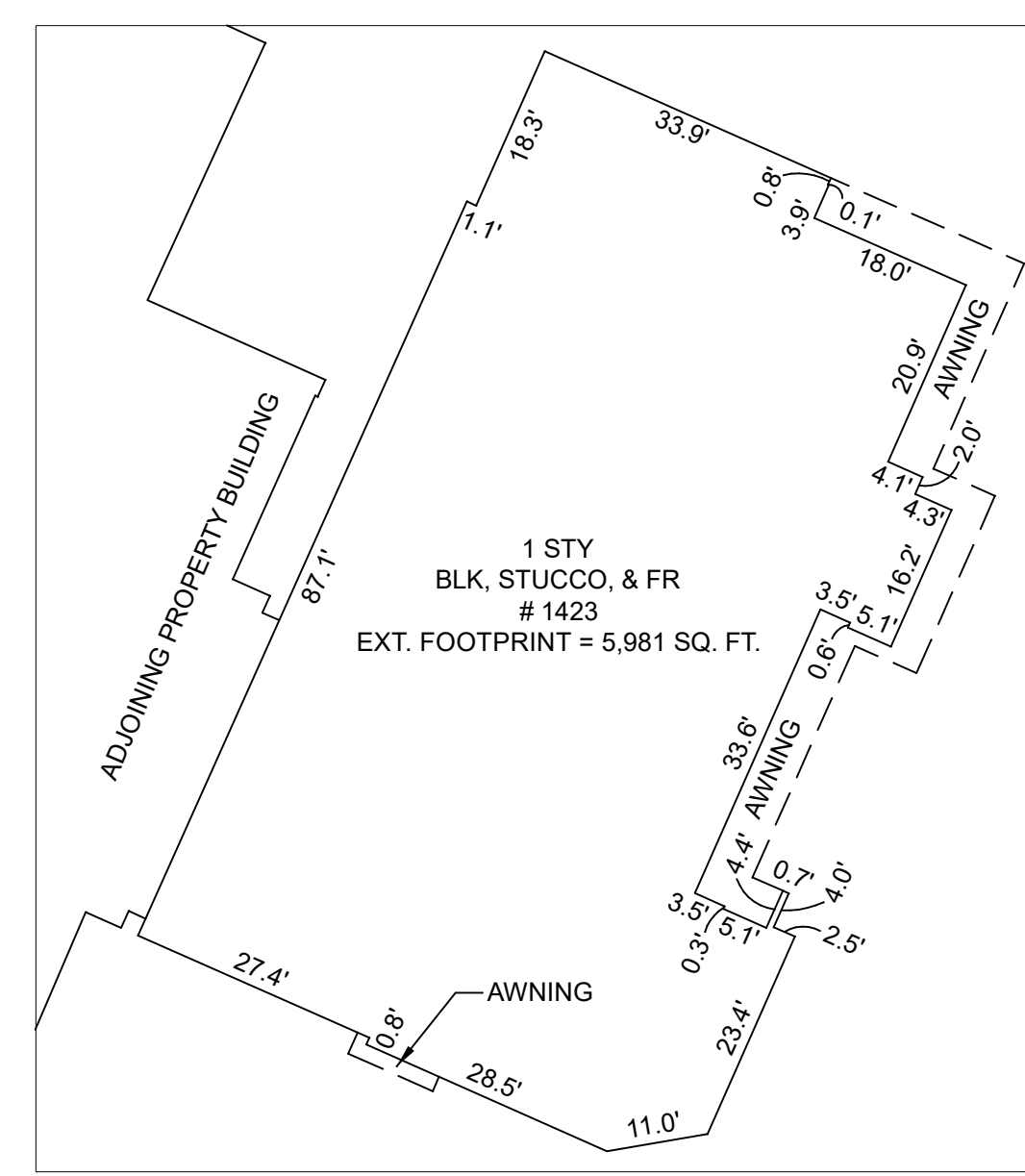
TITLE DESCRIPTION:

ADJUSTED PARCEL 2 OF THE BOUNDARY ADJUSTMENT PLAT OF TRACTS OF LAND IN U.S. SURVEY 3280 ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 41 PAGE 199 OF THE ST. CHARLES COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PARCEL OF GROUND IN U.S. SURVEY 3280, TOWNSHIP 46 NORTH, RANGE 5 EAST, ST. CHARLES COUNTY, MISSOURI SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE 70 (MARK TWAIN HIGHWAY) AT ITS INTERSECTION WITH THE WESTERN LINE OF 5TH STREET; THENCE ALONG THE NORTH LINE OF SAID INTERSTATE 70, SOUTH 85 DEGREES 04 MINUTES 00 SECONDS WEST, 139.31 FEET TO A POINT; THENCE LEAVING SAID NORTH LINE, NORTH 24 DEGREES 11 MINUTES 00 SECONDS EAST, 63.64 FEET TO A POINT; THENCE NORTH 65 DEGREES 49 MINUTES 00 SECONDS WEST, 27.48 FEET TO A POINT; THENCE NORTH 24 DEGREES 11 MINUTES 00 SECONDS EAST, 80.82 FEET TO A POINT; THENCE NORTH 65 DEGREES 49 MINUTES 00 SECONDS WEST, 27.00 FEET TO A POINT; THENCE NORTH 24 DEGREES 11 MINUTES 00 SECONDS EAST, 30.00 FEET TO A POINT; THENCE NORTH 65 DEGREES 49 MINUTES 00 SECONDS WEST, 94.12 FEET TO A POINT; THENCE NORTH 24 DEGREES 11 MINUTES 00 SECONDS EAST, 156.49 FEET TO A POINT ON THE NORTHERN LINE OF PROPERTY FIRST DESCRIBED IN DEED TO ST. CHARLES FOODS, INC., RECORDED IN BOOK 469, PAGE 209, ST. CHARLES COUNTY RECORDER'S OFFICE; THENCE ALONG SAID NORTHERN LINE, SOUTH 83 DEGREES 42 MINUTES 00 SECONDS EAST, 78.08 FEET TO A POINT; THENCE LEAVING SAID NORTHERN LINE, SOUTH 24 DEGREES 11 MINUTES 00 SECONDS WEST, 128.45 FEET TO A POINT; THENCE SOUTH 65 DEGREES 49 MINUTES 00 SECONDS EAST, 196.00 FEET TO A POINT ON THE WEST LINE OF FIFTH STREET; THENCE SOUTHWARDLY 4.95 FEET ALONG THE WESTERN LINE OF FIFTH STREET, BEING A CURVE TO THE LEFT, HAVING A RADIUS OF 11549.20 FEET (CHORD BEARING OF SOUTH 24 DEGREES 11 MINUTES 44 SECONDS WEST, 4.95 FEET) TO A POINT; THENCE SOUTH 24 DEGREES 11 MINUTES 00 SECONDS WEST, 153.74 FEET TO A POINT; TO THE POINT OF BEGINNING AND CONTAINING 1.003 ACRES (43,677 SQUARE FEET) MORE OR LESS.

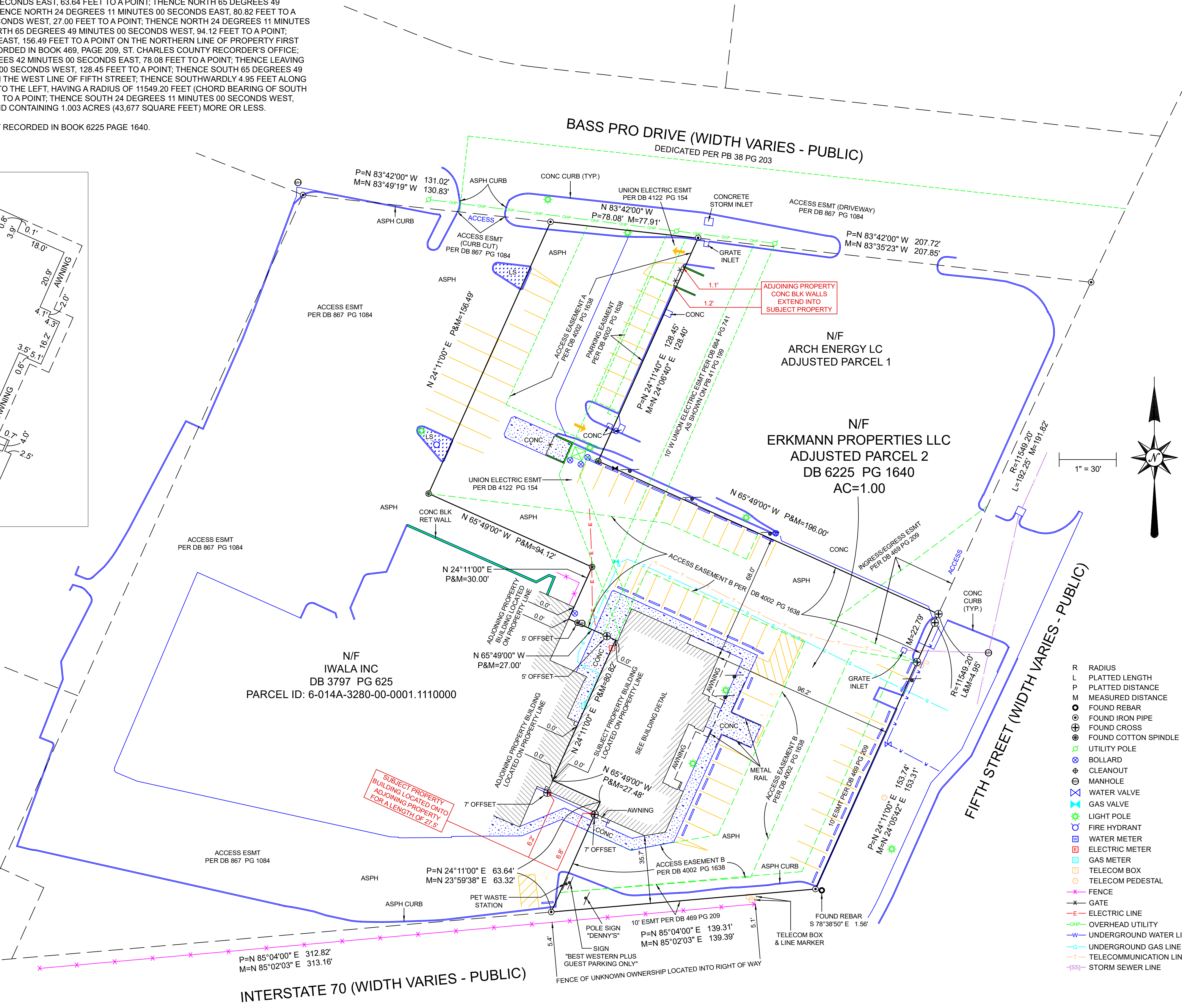
BEING THE SAME PROPERTY ACQUIRED BY INSTRUMENT RECORDED IN BOOK 6225 PAGE 1640.

SURVEYOR'S NOTES:

1. BASIS OF BEARING ADOPTED FROM THE RECORD PLAT OF "BOUNDARY ADJUSTMENT PLAT OF TRACTS OF LAND IN U.S. SURVEY 3280" AS RECORDED IN PLAT BOOK 41 PAGE 199 OF THE ST CHARLES COUNTY RECORDS.
1. BEARINGS SHOWN ON DRAWING REFERENCED TO GRID NORTH OF THE MISSOURI COORDINATE SYSTEM 1983 EAST ZONE PER MODOT VRS GPS OBSERVATION ON (INSERT DATE).
2. UTILITY LINES AS SHOWN ON THIS DRAWING ARE THOSE LINES THAT WERE VISIBLY IDENTIFIED AT THE TIME OF FIELD WORK AND LOCATED PER MISSOURI ONE CALL TICKET NUMBER 253510736. ADDITIONAL LINES AND UTILITIES MAY BE LOCATED ON THE SUBJECT PROPERTY.
3. PARKING SPACE: 59 REGULAR SPACES
2 HANDICAP SPACES
61 TOTAL SPACES
4. BUILDING LINES SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT. SETBACK AND SIDEWALK REQUIREMENTS MAY EXIST ACCORDING TO CURRENT ORDINANCE AND ZONING STANDARDS AND ARE NOT SHOWN ON THIS DRAWING.
5. THIS CERTIFIED DOCUMENT SHOWS THE CONDITIONS AT THE TIME THE SURVEY WAS COMPLETED. ANY PROPOSED STRUCTURES, ADDITIONS, AND UNAUTHORIZED ALTERATIONS TO THE DRAWING VOID ALL CERTIFICATIONS AND LIABILITY OF THE SURVEYOR.
6. NO RESEARCH PERTAINING TO EASEMENTS WAS COMPLETED BY CARDINAL SURVEYING & MAPPING AND THE PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS. ITEMS LOCATED INTO EASEMENT AREAS MAY OR MAY NOT BE AT RISK. SEEK LEGAL ADVICE IF YOU HAVE QUESTIONS. THE EASEMENTS SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT AND THOSE LISTED IN THE TITLE COMMITMENT PROVIDED BY OLD REPUBLIC TITLE COMPANY ON DEC 15, 2025 COMMITMENT NO. 2504798. PROPERTY SUBJECT TO FOLLOWING EXCEPTIONS PER TITLE COMMITMENT SCHEDULE B-II AS FOLLOWS:
ITEMS 1 THRU 3 - STANDARD EXCEPTIONS AND/OR NOT OF A SURVEY NATURE.
ITEM 4 - EASEMENT(S) TO UNION ELECTRIC COMPANY RECORDED IN BOOK 684 PAGE 741 AND BOOK 4122 PAGE 154. - PLOTTED AND NOTED HEREON.
ITEM 5 - TERMS AND PROVISIONS OF EASEMENT AGREEMENT RECORDED IN BOOK 867 PAGE 1084.
- INGRESS AND EGRESS OVER EXISTING DRIVEWAY AND CURB CUT LOCATED ON ADJOINING PROPERTY.
- DRIVEWAY AREA (AS DESCRIBED) AND CURB CUT (AS DESCRIBED AND LOCATED) HAVE BEEN PLOTTED AND NOTED HEREON.
- NO PLOTTABLE AREA DEFINED FOR USE OF ADJOINING PROPERTY; USE OF DRIVE AISLES IMPLIED BY USE OF CURB CUT.
ITEM 6 - AN EASEMENT FOR THE PURPOSES HERE STATED AND INCIDENTAL PURPOSES, AS DISCLOSED BY AN INSTRUMENT RECORDED IN BOOK 599, PAGE 300. FOR: UTILITY.
- REPLACED AND SUPERCEDED BY THE ACCESS EASEMENT RECORDED IN BOOK 4002 PAGE 1638, NOT SHOWN HEREON.
ITEM 7 - AN EASEMENT FOR THE PURPOSES HERE STATED AND INCIDENTAL PURPOSES, AS DISCLOSED BY AN INSTRUMENT RECORDED INBOOK 469, PAGE 209. FOR: INGRESS AND EGRESS.
- PLOTTED AND NOTED HEREON.
ITEM 8 - EASEMENT GRANTED TO MERCANTILE BANK RECORDED IN BOOK 1009 PAGE 1138.
- LOCATED OUTSIDE SUBJECT PROPERTY, NOT SHOWN HEREON.
ITEM 9 - TERMS AND PROVISIONS OF EASEMENT AGREEMENT RECORDED IN BOOK 4002 PAGE 1638.
- PLOTTED AND NOTED HEREON.
ITEMS 10 THRU 12 - NOT OF A SURVEY NATURE.



BUILDING DETAIL
NOT TO SCALE



- R RADIUS
- L PLATTED LENGTH
- P PLATTED DISTANCE
- M MEASURED DISTANCE
- FOUND REBAR
- FOUND IRON PIPE
- FOUND CROSS
- FOUND COTTON SPINDLE
- UTILITY POLE
- BOLLARD
- CLEANOUT
- MANHOLE
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- FIRE HYDRANT
- WATER METER
- ELECTRIC METER
- GAS METER
- TELECOM BOX
- TELECOM PEDESTAL
- FENCE
- GATE
- ELECTRIC LINE
- OVERHEAD UTILITY
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- TELECOMMUNICATION LINE
- STORM SEWER LINE

SURVEYOR'S CERTIFICATE

To: BLUE 3 LLC, OLD REPUBLIC TITLE COMPANY OF ST. LOUIS, INC.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 7(a), 7(b)(1), 8, 9, 11(a), 11(b), & 13 OF TABLE A THEREOF. FIELDWORK WAS PERFORMED ON DEC 22, 2025. THIS SURVEY WAS EXECUTED IN COMPLIANCE WITH THE CURRENT STANDARDS FOR PROPERTY BOUNDARY SURVEYS (20 CSR 2030-16) OF THE MISSOURI CODE OF STATE REGULATIONS. THIS SURVEY MEETS THE ACCURACY STANDARDS SET FORTH FOR AN URBAN PROPERTY.

William Jacob Clark DATE: 1/8/2026

WILLIAM JACOB CLARK PLS 2002014101
STATE OF MISSOURI

CARDINAL SURVEYING AND MAPPING INCORPORATED
CORPORATE #2005000229

PO BOX 278 COTTLEVILLE, MO 63338
636.922.1001 OFFICE
WWW.CARDINALSURVEYING.COM
INBOX@CARDINALSURVEYING.COM
DRAWN BY: ARS CHECKED BY: WJC
FIELDWORK BY: ZSN/JCW
JOB #2512094 FB 813:24
1423 S 5TH ST, ST CHARLES, MO 63301

REVISIONS: NONE	
--------------------	--



Lara Berry

From: [REDACTED]
Sent: Friday, January 16, 2026 8:28 AM
To: Lara Berry
Cc: [REDACTED]
Subject: RE: Rezoning Application - 1423 S 5th Street
Attachments: DownloadAndView.pdf

CAUTION: This email originated from outside of the City of Saint Charles. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lara,

Please accept the below statement as a narrative for the proposed use of the existing Denny's building. The warranty deed is attached.

“We are requesting a zoning change from C-2 to C-3 to accommodate a cannabis dispensary, a use permitted under C-3 but restricted under C-2. The surrounding commercial uses and existing development patterns are consistent with C-3 zoning, and the requested change is compatible with the character and intensity of the neighboring businesses.”

Thanks, Shawn

Shawn Luesse
Vice-President
Hughes Custom Homes, LLC

[REDACTED]
[REDACTED]

From: Brandon Smart [REDACTED]
Sent: Thursday, January 15, 2026 7:09 PM
To: Jonathan Milo [REDACTED]; Tom Hughes [REDACTED]; Shawn Luesse [REDACTED]
Subject: Re: Rezoning Application - 1423 S 5th Street

Will respond tomorrow

Get [Outlook for iOS](#)

From: Jonathan Milo [REDACTED]
Sent: Thursday, January 15, 2026 7:06:38 PM
To: Brandon Smart [REDACTED]; Tom Hughes [REDACTED]; Shawn Luesse [REDACTED]
Subject: Fw: Rezoning Application - 1423 S 5th Street

FYI, looks like we need some immediate responses.

From: Lara Berry <[REDACTED]>
Sent: Thursday, January 15, 2026 4:20:25 PM
To: Jonathan Milo <[REDACTED]>
Subject: Rezoning Application - 1423 S 5th Street

Good afternoon,

Upon a completeness review of the applications submitted for the February 9, 2026 P&Z Commission meeting, staff has the following comments for the 1423 S 5th Street rezoning application:

- 1) Please provide a brief narrative explaining the reason for this request. In other words, is there an intended use for the property that cannot be achieved through the existing zoning?
- 2) Please provide a copy of the General Warranty Deed for the property.

Please provide the above information **by 8:00 am on Tuesday, January 20, 2026** to move this application forward.

Thanks,

Lara Berry

Planner

Department of Community Development

City of Saint Charles

200 North Second Street

St. Charles, MO 63301

Main Office 636.949.3222

Direct Phone 636.949.3230

Fax 636.949.3557



AGENDA ITEM #8

**STAFF REPORT
CONDITIONAL USE NO. CU-2026-01
DRIVE-THRU USE
620 S 5TH STREET**

**FEBRUARY 9, 2026
BY MADELYN P. BROWN**

APPLICANT/OWNER: Yaser Fawaqa
Miami Grill
1114 The Crossings Drive
O’Fallon, MO 63366

ADDRESS/LOCATION: 620 S 5th Street
Ward 2

LOT SIZE: Approx. 0.61 acre lot

CURRENT ZONING: C-2/EHP/FSC-HD General Business District within the Extended Historic Preservation District and within the Fifth Street Corridor-Hospital District (T4-NMX Neighborhood Mixed Use)

PROPOSED USE: Drive-thru associated with a permitted restaurant use

SUMMARY/ANALYSIS

This request is for in-vehicle sales (drive-thru) specifically associated with a new restaurant use (Miami Grill) located 620 S 5th Street. The property is zoned C-2/EHP/FSC-HD General Business District within the Extended Historic Preservation District and within the Fifth Street Corridor-Hospital District (T4-NMX Neighborhood Mixed Use). City Ordinance requires approval of a Conditional Use Permit for establishments with a drive-thru use. This request is specific to the drive-thru use only and is not applicable to the other uses permitted by right within the referenced zoning district.

The building was formerly the location of a Taco Bell restaurant, which has been closed for an extended period of time. The applicant is proposing to utilize the existing drive-thru lane and window associated with the prior restaurant use. No modifications to the site, parking area, or drive-thru configuration are proposed as a part of this application. An application has been submitted for updates to the parking lot lighting on site; however, this lighting application is to be reviewed by the Landmarks Board at their February 23, 2026 meeting, as the subject property is located within the Landmarks Preservation District. Miami Grill provides various food options; including wings, sandwiches, various entrees, etc. Liquor sales are not associated with proposed business.

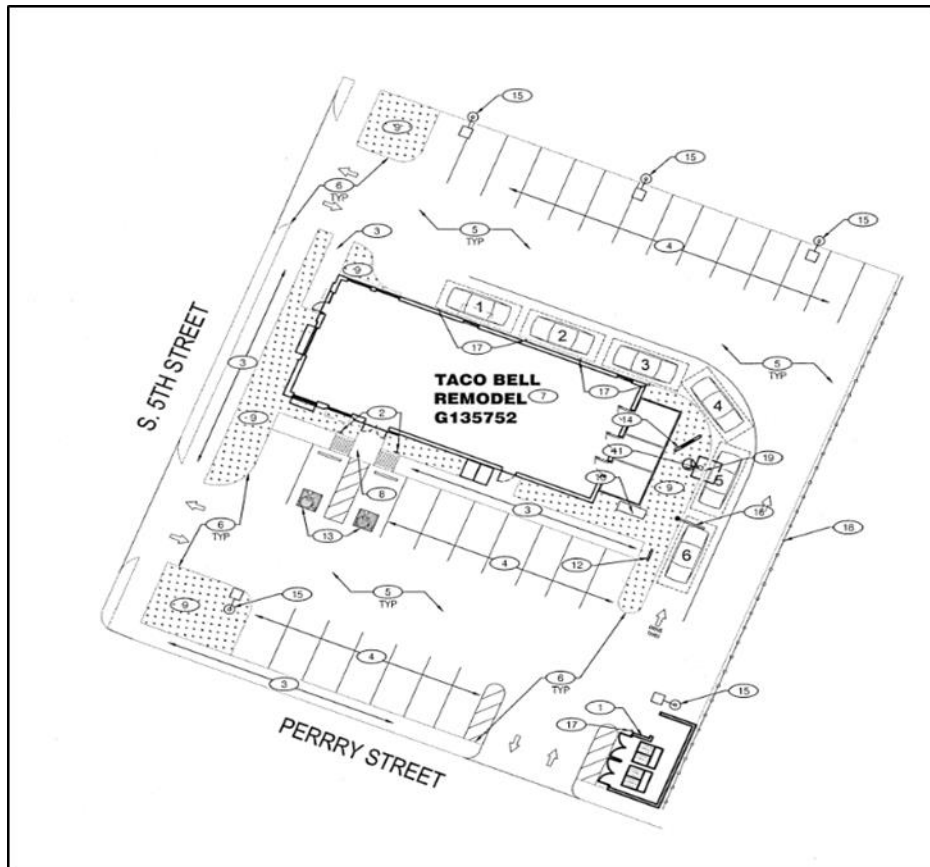


Figure 1: Original drive-thru site plan approved for subject property.

Consistency with Comprehensive Plan

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project’s location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City’s long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

This property is located closest to Activity Center #6 (Historic Downtown). The proposed drive-thru at this location associated with a permitted use can be compatible with its commercial surroundings along 5th Street.

Consistency with Conditional Use standards

Section 400.980 of the City Code outlines standards of review for the conditional use application. The standards are as follows:

- a) How the proposed conditional use (the use in general) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.
- b) Whether the proposed conditional use (in its proposed location) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.

Regarding a) and b), Conditional Uses are not allowed by-right as they can be problematic if not located and/or conditioned properly. In this case, the proposal is located at 620 S 5th Street, closest to Activity Center #6. This intensity pattern is consistent with the goals of the Comprehensive Plan, and the proposed use at this location could operate in conformance with the density, intensity, and activity guidelines provided above.

- c) Whether the proposed conditional use, in its proposed location and as depicted on the required site plan, results in a substantial or undue adverse impact on the adjacent property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions and policies of the Zoning Ordinance, Comprehensive Plan, or any other plan, program, or ordinance adopted or under consideration pursuant to official notice by the city.

Based upon a review of the proposed land uses, if conditioned properly and operated in compliance with the Zoning Ordinance, the proposal should not have an adverse impact on the character of the neighborhood, public safety and general welfare of the city. Additionally, this site was previously the location of a drive-thru use. This further reduces any potential of adverse impact.

- d) Whether the proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property as directed by the Comprehensive Plan.

Staff believes the restaurant with a drive-thru use as proposed can be compatible within its commercial surroundings and should not produce negative effects to adjacent properties or the neighborhood. Staff believes this use will operate in a manner that is consistent with the area.

- e) Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

Staff believes the proposed conditional use in this location will not have an undue burden on public services as this proposal has been reviewed by Community Development,

Finance, and Fire Departments with no outstanding comments.

- f) Whether the public benefits of the proposed conditional use outweigh the potential adverse impacts of the proposed conditional use as identified above, after taking into consideration any proposal by the petitioner and any requirements recommended by the petitioner and/or City Staff to ameliorate such impacts.

After review of the proposal, and the above standards for evaluating Conditional Uses, staff believes the proposed uses if conditioned properly would prevent any potential adverse impacts and the public benefits would outweigh any potential adverse impacts.

Furthermore, the City Code allows the Planning and Zoning Commission to recommend conditions of approval to protect surrounding properties, as well as to give consideration with respect to location in the recommendations. The proposed use complies with the above standards.

STAFF RECOMMENDATION

This conditional use can operate in conformance with City requirements, is compatible with surrounding land uses and complies with the Comprehensive Plan of the City of St. Charles. Staff recommends **approval** of the proposed conditional use for in-vehicle sales (drive-thru) associated with a permitted restaurant use subject to the following conditions:

1. This conditional use permit for in-vehicle sales (drive-thru) associated with a permitted restaurant is issued to the applicant (Yaser Fawaqa) and business (Miami Grill) only for the property located at 620 S 5th Street and is not transferable to another location and/or tenant/business.
2. Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.

Recommended Motion:

Motion to forward the Conditional Use Permit application for in-vehicle sales (drive-thru) associated with a permitted restaurant use at 620 S 5th Street to the City Council with a favorable recommendation, subject to the conditions recommended by staff.



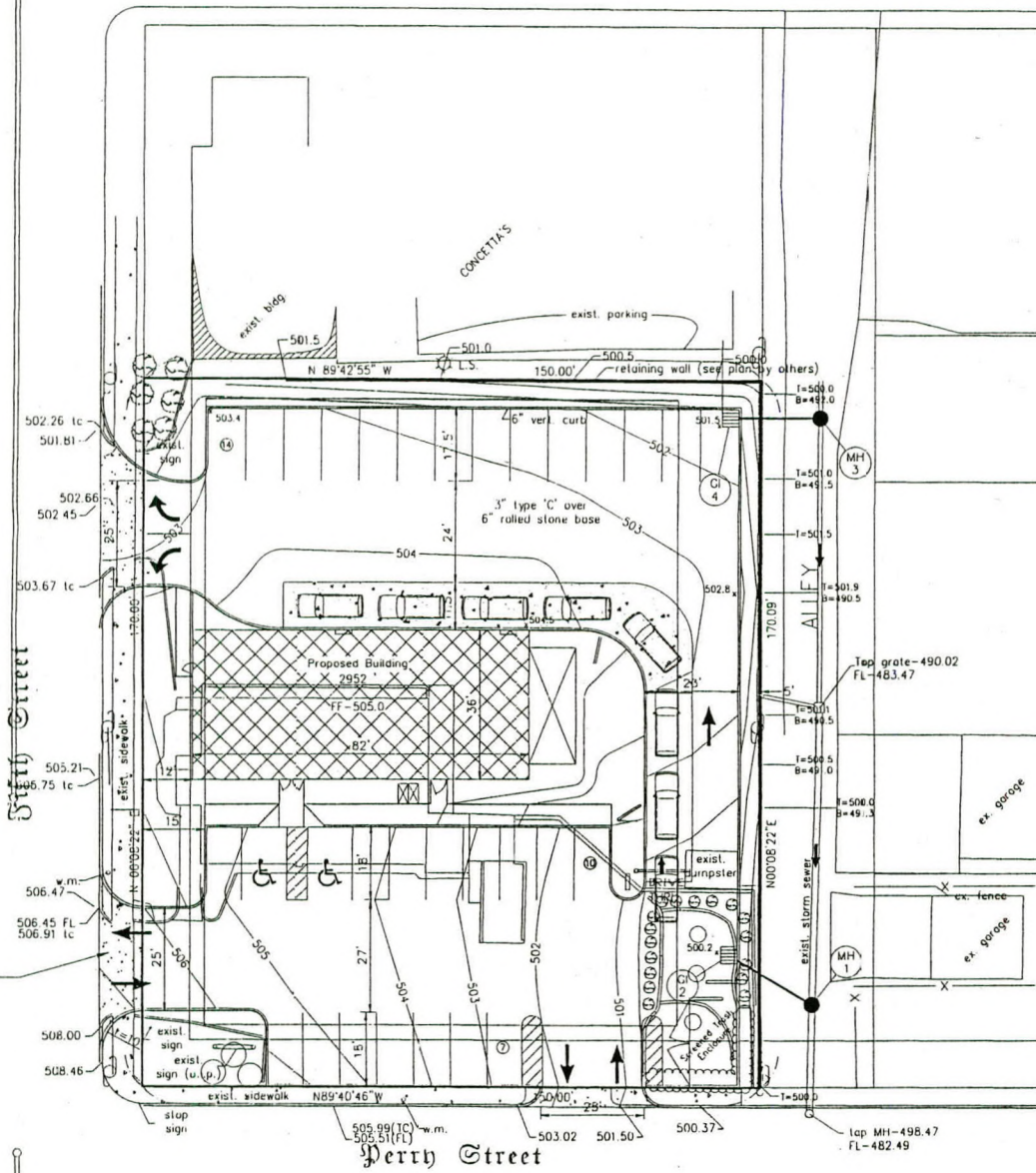
Figure 2: Aerial view of the subject site.



Figure 3: Street view of the subject site.

1 SITE PLAN
SCALE: 1" = 30'-0"

Dike Street



Two-lane Approach
7" P.C. Concrete Pavement
on 4" Aggregate Base
Sawcut where new approach
meets exist. edge of pmt.

Perry Street

S.J. Hollander Architect P.C.
Stephen J. Hollander, AIA
519 First Capitol Drive Suite 200
St. Charles, Missouri 63301
Phone (636) 947-440 Fax (636) 947-795

PROPOSED ELEVATION FOR:
K.F.C. AND TACO BELL
620 SOUTH FIFTH STREET
ST. CHARLES, MO 63301

REV	
DRAWING	
DATE	SHEET NO.
CHECKED	



AGENDA ITEM #9

**STAFF REPORT
CONDITIONAL USE NO. CU-2026-02
LIQUOR SALES
2454 WEST CLAY STREET**

**FEBRUARY 9, 2026
BY MADELYN P. BROWN**

APPLICANT: Sarah & Julie Davison
Strange Sisters LLC
901B S 8th Street
St. Charles, MO 63301

OWNER: St. Louis Commercial Realty
Stan Hoffman
727 Craig Road, Suite 100
St. Louis, MO 63141

ADDRESS/LOCATION: 2454 West Clay Street
Ward 9

LOT SIZE: Approx. 3,660 square feet (building)

CURRENT ZONING: C-2 General Business District

PROPOSED USE: Liquor Sales associated with a permitted retail/bar use

SUMMARY/ANALYSIS

This request is for liquor sales specifically associated with a new retail/cocktail bar use (Tomes & Tonics) located 2454 West Clay Street. The property is zoned C-2 General Business District. City Ordinance requires approval of a Conditional Use Permit within this zoning district for establishments that apply for a Liquor License. This request is specific to the liquor sales only and is not applicable to the other uses permitted by right within the referenced zoning district.

The building was formerly the location of Excel Physical Therapy. Prior to occupancy, the applicant will be required to obtain building permits to convert the tenant space for a retail/bar use. A condition has been added to this approval to ensure all applicable building permits are issued and completed prior to operation.

Per the written development plan provided by the applicant, Tomes and Tonics is a bookstore and cocktail for customers at least 21 years of age. The applicant states the business will be “an inclusive ‘third space’ combining curated literature, craft cocktails, mocktails, and community events”. The business space will include a bar space which offers cocktails, beer, mocktails, and coffee beverages. A list of example cocktail offerings has been provided in the development plan.

The business space will also include reading nooks, a retail area with books and other related merchandise, and an event space (permitted by right within the zoning district). The proposed hours of operation are Tuesday through Thursday 2:00 p.m. to 11:00 p.m., Friday and Saturdays 11:00 a.m. to 11:00 p.m., Sunday 11:00 a.m. to 9:00 p.m., and closed on Mondays. The applicant has provided photos of the property with this application, and these are included with this report.

Consistency with Comprehensive Plan

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

This property is located closest to Activity Center #5 (I-70/Zumbahl Interchange). The proposed liquor license at this location associated with a permitted use can be compatible with its commercial/residential surroundings along West Clay.

Consistency with Conditional Use standards

Section 400.980 of the City Code outlines standards of review for the conditional use application. The standards are as follows:

- a) How the proposed conditional use (the use in general) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.
- b) Whether the proposed conditional use (in its proposed location) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.

Regarding a) and b), Conditional Uses are not allowed by-right as they can be problematic if not located and/or conditioned properly. In this case, the proposal is located at 2454 West Clay, closest to Activity Center #5. This intensity pattern is consistent with the goals of the Comprehensive Plan, and the proposed use at this location could operate in conformance with the density, intensity, and activity guidelines provided above.

- c) Whether the proposed conditional use, in its proposed location and as depicted on the required site plan, results in a substantial or undue adverse impact on the adjacent property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be

developed as a result of the implementation of the provisions and policies of the Zoning Ordinance, Comprehensive Plan, or any other plan, program, or ordinance adopted or under consideration pursuant to official notice by the city.

Based upon a review of the proposed land uses, if conditioned properly and operated in compliance with the Zoning Ordinance, the proposal should not have an adverse impact on the character of the neighborhood, public safety and general welfare of the city.

- d) Whether the proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property as directed by the Comprehensive Plan.

Staff believes the retail/bar with liquor sales use as proposed can be compatible within its commercial/residential surroundings and should not produce negative effects to adjacent properties or the neighborhood. Staff believes this use will operate in a manner that is consistent with the area.

- e) Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

Staff believes the proposed conditional use in this location will not have an undue burden on public services as this proposal has been reviewed by Community Development, Finance, and Fire Departments with no outstanding comments.

- f) Whether the public benefits of the proposed conditional use outweigh the potential adverse impacts of the proposed conditional use as identified above, after taking into consideration any proposal by the petitioner and any requirements recommended by the petitioner and/or City Staff to ameliorate such impacts.

After review of the proposal, and the above standards for evaluating Conditional Uses, staff believes the proposed uses if conditioned properly would prevent any potential adverse impacts and the public benefits would outweigh any potential adverse impacts.

Furthermore, the City Code allows the Planning and Zoning Commission to recommend conditions of approval to protect surrounding properties, as well as to give consideration with respect to location in the recommendations. The proposed use complies with the above standards.

Consistency with Chapter 600 (Alcoholic Beverages)

Section 600.280 of the City Code outlines limitations on granting a liquor license. Specifically subsection (C) states the following:

“No liquor license or restaurant liquor license shall be granted to any person for any premises if the property line of the premises sought to be licensed is less than three hundred (300) feet from the property line of any property used as a hospital, school or church, from the property line of any property in a residential zoning district, any residential land use in the "HCD" zoning district, or in the O-I zoning district, unless the applicant for the license shall first obtain the consent of the City Council. Such consent shall not be granted until at least ten (10) days' written notice has

been provided to all owners of property within three hundred (300) feet of the proposed licensed premises.”

The subject property is located in close proximity to a multiple-family residential development along Broadmoor Lane. Because of this adjacency, the notification provisions of Section 600.280(C) are applicable. However, since a Conditional Use Permit is associated with a public hearing, and all property owners within 300 feet of the subject property are notified 15 days prior to the hearing, this notification process constitutes compliance with the above-mentioned code section. Therefore, the requirements of Chapter 600 related to notification of surrounding property owners are satisfied through the City’s Conditional Use Permit process.

STAFF RECOMMENDATION

This conditional use can operate in conformance with City requirements, is compatible with surrounding land uses and complies with the Comprehensive Plan of the City of St. Charles. Staff recommends **approval** of the proposed conditional use for a liquor sales associated with a permitted retail/bar use subject to the following conditions:

1. This conditional use permit for a liquor sales associated with a retail/bar use is issued to the applicant (Sarah & Julie Davison) and business (Tomes & Tonics) only for the property located at 2454 West Clay Street and is not transferable to another location and/or tenant/business.
2. Approval of this Conditional Use is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.
3. Liquor sales shall not occur independent of the primary business use and shall only be accessory to the submitted retail/bar.
4. Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.
5. Violations of Chapter 600 dealing with Liquor/Alcoholic Beverages may be grounds for revocation of this Conditional Use.

Recommended Motion:

Motion to forward the Conditional Use Permit application for a Liquor Sales associated with a permitted retail/bar use at 2454 West Clay Street to the City Council with a favorable recommendation, subject to the conditions recommended by staff.



Figure 1: Aerial photo of the subject site.



Figure 2: Street view of the subject site.



BUSINESS PLAN
DECEMBER 2025

CONTACT:

Julie Davison
Sarah Davison |



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EXECUTIVE SUMMARY

Strange Sisters LLC will open the first **2I+ bookstore and cocktail bar** in St. Charles, Missouri—an inclusive “third space” combining curated literature, craft cocktails, mocktails, and community events. The concept sits at the crossroads of two growing industries: independent bookstores and experiential bar service.

Independent bookstores have grown steadily for over a decade, with 2024 seeing **323 new stores and only 37 closures** nationwide. At the same time, demand for low-key, experience-driven bars and sober-friendly venues is surging, particularly among **Millennial and Gen Z consumers** seeking intentional, community-oriented spaces.

Our target market includes adults aged 25–45 who value reading, local culture, sustainability, and relaxed social environments. The location—near a walkable, tourism-rich historic district with a median household income of \$103,000—offers year-round visitor traffic from Main Street attractions, Lindenwood University, and Ameristar Casino.

The business will feature:

- A **curated mix** of new and used books highlighting diverse voices and trending genres.
- Craft cocktails, mocktails, and locally roasted coffee inspired by literature.
- **Locally made gifts and merchandise** from minority, LGBTQ+, and women-owned suppliers and artists.
- A **regular events calendar**, including author readings, themed nights, and creative workshops.

Financially, Strange Sisters projects **\$418k in annual net sales** and **\$201k in operating profit** at steady state, with a healthy **48.1% operating margin**. Break-even occurs at \$31k in monthly sales—well below the base forecast.

We are seeking **\$250,000 in startup funding**, allocated to lease, build-out, inventory, equipment, marketing, licensing, and six months’ working capital. This investment will establish Strange Sisters as a **cultural anchor** in St. Charles: a destination that celebrates books, craft beverages, and inclusive community.



MARKET ANALYSIS

Industry Overview

The bookstore/cocktail bar concept sits at the intersection of two steadily evolving industries: independent bookstores and experiential bar service. Despite challenges in traditional retail, the **American Booksellers Association** has reported year-over-year growth in independent bookstores over the past decade, with consumers increasingly seeking curated, community-driven spaces over big-box chains. They report strong growth for independents in 2024, with membership and store locations increasing and **323 new brick-and-mortar, pop-up, and mobile stores opening in 2024** ([The American Booksellers Association](#)). According to [PublishersWeekly.com](#), ABA membership reached 2,844 stores in 2024, an 11% YOY increase.

Simultaneously, **cocktail culture** continues to rise, with particular interest in craft drinks, sober-friendly options, and venues that prioritize ambiance and conversation over volume and nightlife.

According to the **National Restaurant Association**, low-key, experiential bars (including book bars, board game cafés, and themed lounges) are growing in popularity—especially among Millennials and Gen Z adults who value intentional spaces and community ([NRAnationalrestaurantshow.com](#)).

Target Market

The primary audience for this concept includes **adults aged 25–45** who are:

- Avid or casual readers:
 - Book-centric social media such as BookTok and Instagram continues to drive foot traffic into bookstores. According to [People.com](#), Barnes & Noble plans to add 60 new stores in 2025 as ‘third-spaces’ continue to boom.
- Looking for relaxing, aesthetic experiences
- Environmentally and socially conscious:
 - **66% of U.S. consumers** are willing to pay more for sustainable products—even amid inflation pressures ([Sustainable Brands](#)).
 - **72% of global consumers** say they would pay a premium for sustainable products while **34%** are more likely to buy products labeled with sustainable credentials ([arbor.eco](#)).
 - **78% of U.S. consumers** believe that living sustainably is important to them ([McKinsey & Company](#)).
- Interested in unique gifts and local art
- Seeking alternatives to noisy bar scenes

This demographic often includes professionals, creatives, educators, and students—many of whom live, work, or socialize in **St. Charles and the greater St. Louis metro area**.

In addition, the bookstore’s sober-friendly options and inclusive culture will appeal to:

- The growing “**sober curious**” movement, the below illustrating strong demand growth for sophisticated, low- and no-alcohol alternatives:
 - “In 2023, U.S. volumes of non-alcoholic beverages grew 29% year-over-year—beating low-alcohol alternatives by a wide margin. Specifically, non-alcoholic RTDs rose 36%, non-alcoholic spirits by 32%, and non-alcoholic beer increased 30%.” [Escoffier](#)
 - “The U.S. non-alcoholic beverages market was estimated at ~\$280.2 billion in 2023 and is forecast to grow at a 7.4% CAGR (2024–2030).” [Grand View Research](#)
- LGBTQ+ adults seeking safe, affirming social spaces
- Customers with sensory sensitivities or social anxiety who prefer calm atmospheres

Location and Local Market

St. Charles, Missouri offers a unique opportunity for this business. It blends a historic, walkable downtown with an evolving population of young professionals and creatives. The city hosts tourism year-round and includes Lindenwood University, which brings a steady flow of college-age and graduate-level readers and drinkers.

- St Charles County population is approx. 400,000 ([Census.gov](#), Census Business Builder)
- 32.6% of population is aged 25-44 and the median HH income \$103,000 ([Census.gov](#), Census Business Builder)
- St. Charles’ Historic Main Street hosts numerous annual festivals and attractions drawing **millions of visitors** yearly; Ameristar Casino nearby attracts double-digit millions of visitors annually—supporting strong tourist foot traffic in the downtown area.”
cdn.placewise.com/discoverstcharles.com

The area currently offers a range of bars and independent shops, but no known 21+ venue that **blends literary culture with curated cocktails**. This hybrid format fills a gap between a bookstore, a lounge, and a community event space—offering a new experience that complements the city’s established tourism and local business ecosystem.

Competitive Landscape

While there are several independent bookstores and bars in the St. Louis region, none in St. Charles appear to combine both offerings under one roof. The closest analogs may be:

- Indie bookstores offering coffee or light snacks
- Speakeasy-style bars with niche atmospheres
- Themed cafés (e.g., board game or art cafés)

This venture's unique selling points include:

- 21+ entry, ensuring an adult-focused space
- Mocktail and coffee bar offerings
- Sustainability and vintage decor focus
- Partnerships with local-, minority-, LGBTQ-, and women-owned suppliers
- Later hours than other bookshops (IIPM closing)
- Use of refurbished furniture and local art
- Potential event space for book clubs, themed events, or pop-ups

Market Trends & Opportunity

Trends supporting this venture include:

- Growth of **“third spaces”**: non-work, non-home places where people gather and connect
- Increased interest in **sober/social** venues
- Consumers prioritizing **experiences over goods**
- Support for local, ethical, and sustainable businesses
- A rising **bookish aesthetic** seen across Instagram, BookTok, and TikTok

This business model leverages these trends to create a space that's part community lounge, part cultural hub, and part ethical retail shop. With thoughtful execution and community outreach, the bookstore/bar can become a beloved anchor in the St. Charles scene.



ORGANIZATION & MANAGEMENT

Strange Sisters LLC is registered as a Limited Liability Company in the state of Missouri. The business will operate under a DBA (Doing Business As) name, which will reflect the unique identity and theme of the 2I+ bookstore and cocktail bar.

Ownership of the business is equally shared between sisters **Sarah Davison** and **Julie Davison**, with each holding a 50% stake in the company.

Founding Team

Sarah Davison, MBA brings a strong background in marketing, branding, and creative development. As an Associate Creative Director: Writer for Purina Checkmark, she has led campaigns and social media strategies with a focus on consumer engagement. Sarah's creative strategy skills and existing network of business and personal contacts will play a key role in developing the brand identity and promoting the business to the local and regional community. In addition, she will manage bar operations, train bartenders, and oversee all marketing and online activities.

Julie Davison currently serves as an Operations Manager for Genpact and has a decade of prior experience as a Walgreens store manager. She brings a proven track record in retail operations, staffing, and customer service. Julie has successfully led both frontline and administrative teams, with particular strength in reducing employee turnover and optimizing workflow. She will manage bookstore inventory, retail operations, and hiring and supervision of staff.

Resumes for both partners are attached.

Roles and Staffing Plan

While there will be significant collaboration between the owners during startup and early operations, initial responsibilities will be divided as follows:

- **Sarah Davison** – Bar management, drink program development, marketing and branding, community engagement
- **Julie Davison** – Retail management, book inventory and merchandising, staff hiring and operations

At launch, the business plans to hire at least two additional employees, including one bartender. As the business grows, staffing will expand to include additional bartenders, baristas, and part-time booksellers as needed.



PRODUCTS & SERVICES

Strange Sisters will offer a curated and evolving collection of books, beverages, merchandise, and experiences that reflect our reader-centric identity, inclusive values, and commitment to local community. Our offerings are designed to create a space that invites discovery, creativity, comfort, and connection.

At launch, proposed business hours will be:

- Sundays 11AM to 9PM
- Closed Mondays
- Tuesdays

Books

We will offer a rotating selection of **new and used books**, carefully chosen to center diverse voices, trending genres, and reader favorites. Categories will include:

- Gothic Horror
- Romantasy
- Historical Fiction
- Supernatural & Paranormal
- BookTok Favorites
- Nonfiction & Social Justice
- Personal Growth
- Dystopian
- True Crime
- Mystery & Thriller
- Employee Picks

Used books will be accepted for **store credit trade-ins**, encouraging both recycling and repeat visits. We will explore potential partnerships with local libraries and literacy organizations to source additional used inventory and support literacy initiatives.

New titles and merchandising will be purchased through **local and minority-owned suppliers** whenever possible. We will also seek collaborations with **Main Street Books**, other independent retailers, and small presses to promote local authors and amplify underrepresented voices. While we are competitors to other local bookshops, we are all united in supporting the art of reading, writing and kindness, and we will thus support fellow businesses in the industry.

Beverages

Our bar menu will feature **reading-themed craft cocktails, mocktails, coffee, tea, and a rotating selection of local beer and non-alcoholic options**. Seasonal menus will draw inspiration from books, authors, and cultural moments. Example offerings may include:

- “The Basgiath Bramble” (blackberry gin cocktail)
- “The Mad Hatter” (herbal tea-based mocktail)
- “Tall, Dark & Stormy” (modern twist on a dark & stormy)

Key beverage partners may include:

- **Switchgrass Spirits** (St. Louis-based, female-owned distillery)
- Picasso’s Coffee Roasters (St. Charles local)
- Side Project, Narrow Gauge, Second Shift, other local breweries
- Local tea maker

Pending local regulations, we may offer a **corkage fee** for customers who wish to bring their own beer or wine, and our bar staff will be trained to prioritize both hospitality and inclusivity—offering sober-friendly service with the same care and craft.

Merchandise & Gifts

Our retail space will feature an array of **book- and socially themed merchandise**, much of which will be designed by local and underrepresented artists. Inventory will include:

- Bookmarks, reading lights, and reading accessibility tools
- Candles, blankets, mugs, coasters, jewelry and apparel
- Book-based craft kits (for DIY bedazzling and cover art)
- Seasonal or theme-based bundles and displays

Select merchandise sales will directly benefit **local pet rescues, LGBTQ+ organizations, and social justice causes** through planned donation drives and seasonal campaigns.

Events & Community Experiences

Strange Sisters will offer a regular calendar of inclusive, creative, and interactive events. These will drive foot traffic, encourage community, and reinforce our role as a third space for people to gather, learn, and relax. *Full details can be found in the Marketing & Sales section.*

Planned events include:

- Silent Story Nights
 - Build-A-Story Nights
 - Book Bedazzling & Page Stenciling Workshops
 - Local Author Readings & Signings
 - Rotating Art Galleries
 - Theme Nights
-

Event Rentals & Community Room

If the final location allows, one room will be designated as a **bookable event space** for:

- Book clubs, private parties, and ladies nights out
- Adult birthday celebrations
- **Workshops and meet-ups for mission-aligned nonprofits** (space will be donated or deeply discounted in support of community causes)
- Small literary and romantasy-themed weddings with stylized floral and genre décor

Delivery menus from nearby local restaurants and **food truck collaborations** will supplement events in lieu of a full kitchen, and guests will be encouraged to bring or order in food from nearby businesses.

One-of-a-Kind Atmosphere

The experience of visiting our shop will be immersive and calming, with:

- Instrumental pop music playing at low volume
- Upcycled vintage furniture and sustainable décor
- Soft lighting and warm, layered textures
- Rotating installations of local artwork (available for purchase)

By intentionally curating every detail—from books and drinks to music and merch—we will offer a space unlike anything else in St. Charles: **a bookish bar that feels like a second home, brimming with charm and inspiring imagination.**



MARKETING & SALES

Customer Acquisition

For any new business, driving awareness leading up to and beyond the grand opening is critical. Given the immediate and enthusiastic response of everyone who has heard the business model approach, we feel confident this is a winning concept, but our key to success lies in getting the word out.

Social Media Engagement

Once financing and a lease is secured, we will launch social accounts on TikTok, Instagram, BlueSky and Facebook. These accounts will document the progress of the space buildout, share insider looks at the authors and genres we'll be carrying and inviting feedback, finding and highlighting local designers and artists, and connecting on a personal level with followers to drive interest and excitement.

We will feature giveaways for store merch and credits as we hit key follower milestones (1000, 5000, etc), encouraging current followers to share our accounts with their friends as well. Two weeks before the grand opening event, we will give away 3 pairs of VIP tickets to our grand opening event, which will grant the holders to a free cocktail or mocktail, one free t-shirt to choose at the event, and one free book—plus a printed photo from the “read” carpet to commemorate the event.

Social ad spend will be determined based on organic performance leading up to business grand opening.

Influencer Engagement

We will identify 3 to 5 key influencers in the local book community and mixology community that align with our inclusive culture and invite them to tour the space prior to the grand opening. Book influencers will have a featured book with their name and account info on display, while our mixologist influencers will have featured cocktails or mocktails named in their honor, with their info listed on the event menus. In return, they will share information about the location with their followers, including live updates from the grand opening and a set number of posts after the event as well.

Grassroots Outreach

To be truly rooted in community means that we will work hard to connect with key organizations in the neighborhoods around us. We'll create flyers to be hung in local like-minded businesses to drive grassroots awareness, and will engage with them in the channels they prefer to help support them reciprocally.

Events & Community Experiences

Strange Sisters will offer a regular calendar of inclusive, creative, and interactive events. These will drive foot traffic, encourage community, and reinforce our role as a third space for people to gather, learn, and relax.

Planned events include:

- **Silent Story Nights** – Guests listen to audiobooks/podcasts via headphones while shopping, reading, or sipping, followed by optional discussion in a designated “Talk About It” space.
- **Build-a-Story Nights** – Collaborative storytelling open mics where participants weave a tale from randomized prompts.
- **Book Bedazzling & Page Stenciling Workshops** – Supplies + a drink included with ticket; participants can choose a favorite book from their own collection, or buy one from us.
- **Local Author Readings & Signings** – Co-hosted with Main Street Books, Novel Neighbor, or indie publishers.
- **Rotating Art Galleries** – Organized in collaboration with MOMA (Missouri Artists on Main Gallery) and local artists.
- **Theme Nights** – Regular drink and merch promotions tied to genres, events, or pop culture/TV shows/movies (e.g., Drag Race, Halloween Wars, "Halloween Every Month", movies and shows based on popular books).

Podcast

Currently, Sarah is in the process of launching a podcast that discusses her life post-divorce in her early 40s and all that comes with it, including finally realizing she can achieve her dream of opening this business with Julie. While in its infancy, as the following grows, it will drive excitement and awareness of this business and its opening date.

Followers will be informed on giveaways and social support, and will hear how the business was dreamed up, organized, funded, designed and opened. Not only will the podcast openly share learnings about opening a small business, it will create a very human connection with its founders and help followers see the magic of reading, and of finding a safe space to hang out in with likeminded cohorts.

Traditional Advertising

With limited funds available beyond essential startup costs, there are no current plans to spend advertising dollars in many traditional channels, although community newspapers provide one exception. With the help of peers in the industry, we plan to host pre-opening interviews with area journalists, podcasters, and bloggers, which may include small advertising buys with key outlets.

Customer Retention

Loyalty & Rewards Programs

To build a repeat customer base, we plan to implement two key programs: a rewards program that earns patrons store credits to keep them coming back, and a fun nostalgia-driven loyal reader program that encourages social sharing and tagging to earn extra freebies, driving word-of-mouth marketing at a low cost.

REWARDS: Rewards Due Cards

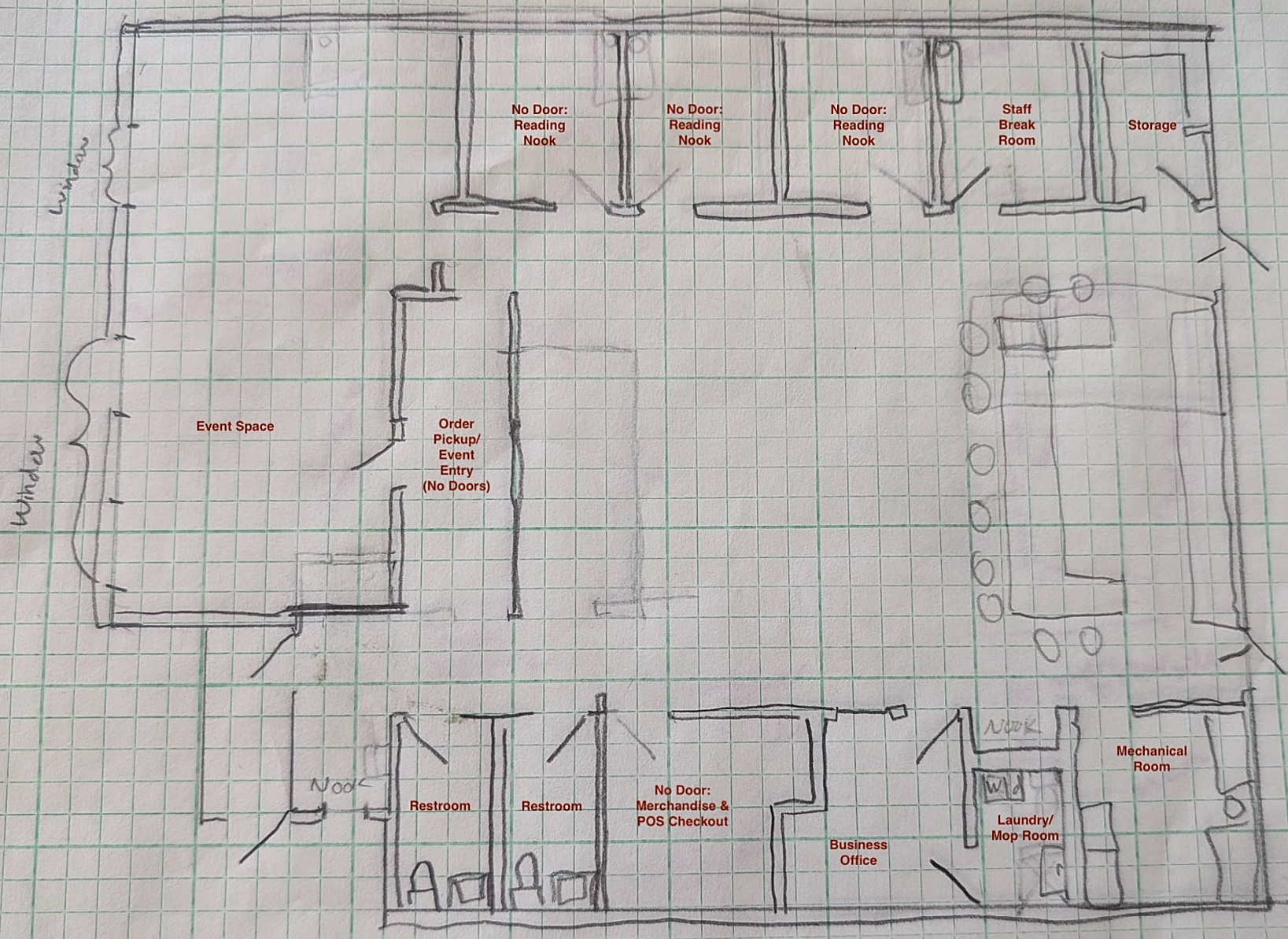
Playing on library themed due date cards, our rewards program will be a simple stamp & fill card, designed to look like a mini version of the due date cards in old library books, and each stamp will be a date stamp of the purchase date. Every \$10 spent earns one date stamp, with 15 slots to be stamped prior to redemption. Once all 15 slots are stamped, the bearer can choose a free t-shirt, a free NEW book (up to \$30 list price), or a \$25 store credit.

Stamps are earned at the bar as well as with retail purchases and can be redeemed in both spaces as well.

LOYAL READERS: Book'd It

Pizza Hut famously ran the BookIt program for grade school readers for years, rewarding reading with free personal pan pizzas. As an adult, wouldn't it be nice to be able to read your way to free stuff, too? We have always thought so. Meet Book'd It, our loyal readers program. Every time a customer tags us in a post with what book they just finished reading and shares on Instagram, TikTok and/or Facebook, they earn a star sticker on their Book'd It badge. For every 5 books they finish and tag us in, they earn a free coffee, tea or featured mocktail.







AGENDA ITEM #10

**STAFF REPORT
CASE NO. SP-2026-01
ELEVATION AMENDMENT
1095 REGENCY PARKWAY**

**FEBRUARY 9, 2026
BY LARA BERRY**

APPLICANT/ OWNER: AEROBIC (MO), LLC
Michael Kalimtzis – W.P. Carey, Inc.
395 9th Avenue, 58th Floor
New York, NY 10001

ADDRESS/LOCATION: 1095 Regency Parkway
Ward 6

TENANT SPACE/ACREAGE: Approx. 17,000 square feet tenant space
Approx. 39,000 square feet building
9.08 acre lot

CURRENT ZONING: C-2 General Business District

PROPOSED USE: Elevation Modification

REQUEST

The applicant is requesting approval of an elevation modification at 1095 Regency Parkway, specifically for the extension of the parapet above the north elevation. The site is zoned C-2 General Business District and is a multi-tenant commercial/retail plaza, Regency Square.

BACKGROUND

The overall plaza consists of two (2) large multi-tenant structures and four (4) outlots with smaller single- and two-tenant structures. The subject structure has been used for multiple businesses, among those, a movie theater, gym, and most recently been divided into to retail tenant spaces.

The subject structure and the other larger building in the plaza were originally built in the late 1980s, prior to the establishment of the current Architectural and Design Standards, with an EIFS material and an arched metal overhang. Although a large portion of the subject structure has been recently upgraded (ALDI), the remainder of this building and the other larger structure remain with the original materials. In addition to the larger buildings, two (2) of the four (4) outlots have buildings that are also comprised of EIFS; however, the other two (2) newer outlot structures (T-Mobile and Popeyes) have approximately 55-80% masonry materials.

Upon approval of Aldi grocery store's exterior elevation alterations in 2021, their new façade introduced a material that had a masonry appearance. Although the Spec-Brik concrete masonry veneer did not meet current Zoning Code requirement the visual effect made it appear more compliant than the EIFS material (see Figures 1 & 2, on Page 2).



Figure 1: ALDI's Proposed Elevations (2021).



Figure 2: ALDI's North Elevation and Existing Façade of the Subject Property.

REQUEST

The applicant is proposing to remove a portion of the arched overhang, replace one set of storefront doors with additional windows, extend the EIFS parapet above the storefront, and carry matching concrete masonry material used for Aldi, into the recessed main entrance. The parapet will extend seven (7) feet above the storefront entrance for thirty-five (35) feet, or 245 square feet (see Figure 3, below). The addition of the non-compliant materials and exterior building changes require Planning and Zoning Commission review.

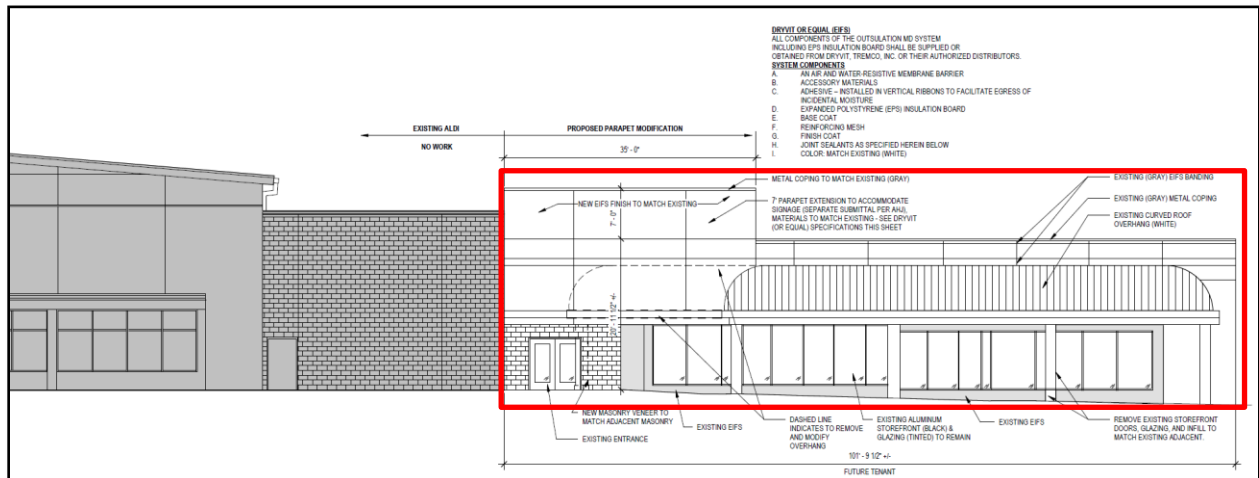


Figure 3: Proposed Elevation Changes.

ANALYSIS

Considering the existing noncompliance with the City's masonry requirement, staff takes no issue with the introduction of proposed materials for the elevation; however, staff remains concerned that the proposal represents a limited approach to façade improvement for the remainder of the structure. As proposed, the secondary tenant space would update only a portion of the building elevation, resulting in an exterior appearance that lacks continuity across the full façade.

The purpose of the Architectural and Design Standards is to ensure the highest quality and most aesthetically pleasing development throughout the City. Staff believes that achieving this intent requires coordinated architectural elements, materials, and color treatments across the entire building elevation in order to present a cohesive appearance.

Originally, the applicant proposed to only extend the parapet, remove a portion of the overhang, and remove and replace the secondary set of doors. After discussions with staff regarding concerns about façade consistency and overall building design, the applicant added the matching concrete masonry veneer to the recessed entrance. Staff also recommended the remainder of the façade have additional minimal alterations, such as repainting or other matching materials, to compliment ALLDI's portion of the building.

After further discussions with the applicant, staff was informed that the intent of the parapet extension is to fulfill their contract with the proposed tenant to allow for wall signage, since the existing area is limited. Without any further details from the anticipated business, staff also has concerns that additional upgrades may not be planned for this location. As proposed, the design does not fully address consistency across the entire building elevation, and staff retains concerns with the overall appearance.

The Planning and Zoning Commission may discuss this matter further and consider the applicant's proposal and/or provide additional comments/conditions (as warranted).

STAFF RECOMMENDATION

Staff recommends approval of the proposed elevation modification; however, staff notes that the proposed improvements do not fully address the visual consistency of the entire building façade. Staff recommends that the Planning and Zoning Commission consider whether further façade enhancements are warranted in order to promote a unified and cohesive architectural appearance consistent with the intent of the City's Architectural and Design Standards. Staff provides the following condition, for consideration:

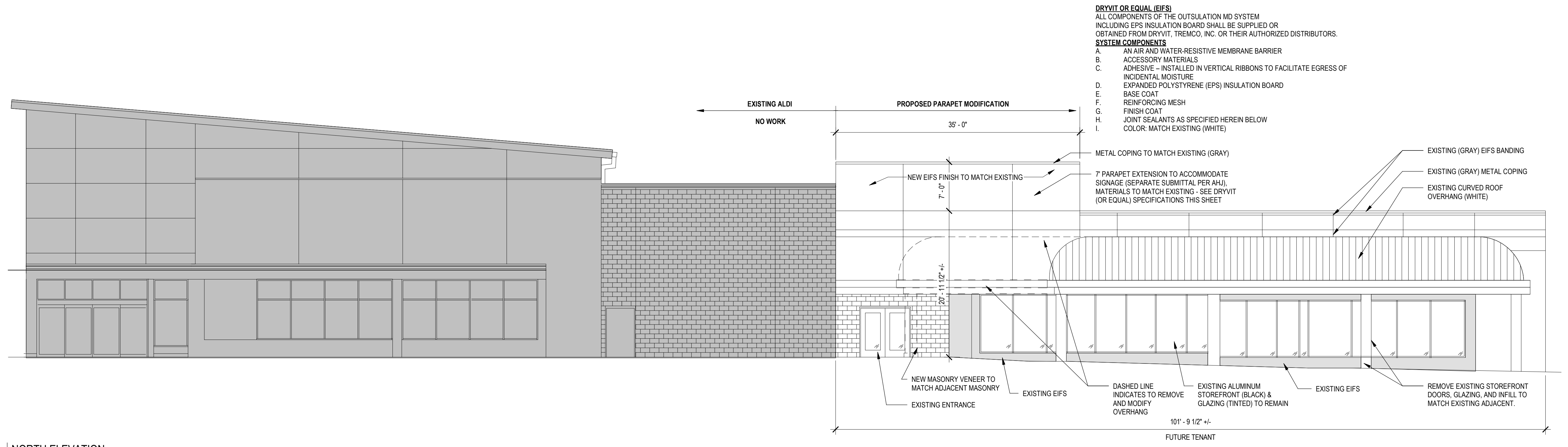
1. Prior to issuance of a building permit, the applicant shall revise the building elevations for further façade enhancements to promote a cohesive architectural appearance of the entire structure.

Recommended Motion:

Motion to approve the SP-2026-01, subject to the condition recommended by staff.



Figure 4: Aerial Photo of the Subject Property (Yellow Outline) and Proposed Project Area (Red Outline).



1 | NORTH ELEVATION
PZ-1 | 1/8" = 1'-0"



2 | EXISTING CONDITION PHOTO
PZ-1 | NOT TO SCALE



AGENDA ITEMS #11

**STAFF REPORT
SITE PLAN NO. SP-2026-02
NEW OFFICE/WAREHOUSE CONSTRUCTION
LOT 1 OF ADJUSTED LOT 23 OF
ELM POINT INDUSTRIAL PLAT 3**

**FEBRUARY 9, 2026
BY LARA BERRY**

APPLICANT: St. Charles Engineering & Surveying, Inc.
Michael Meiners
801 S. 5th Street, Suite 202
St. Charles, Missouri 63301

OWNER: Al Droste & Sons Construction Company
Nate Droste
1517 N 3rd Street
St. Charles, Missouri 63301

ADDRESS/LOCATION: 1.14-acre tract of land located on the southeast corner of Walsh Court and Elm Point Industrial Drive
Ward 8

ZONING: I-1 Light Industrial District

PROPOSED USE: Building Contractor Establishment

SUMMARY OF REQUEST

The applicant has submitted a Site Plan application for the development of a 1.14-acre undeveloped lot located on the southeast corner of Walsh Court and Elm Point Industrial Drive, proposing the construction of a 10,400-square-foot commercial building with an approximately 13,500-square-foot accessory outdoor storage area. The intended user, Al Droste & Sons Construction Company, plans to utilize the building for office space and a warehouse area. The site plan also includes a parking lot and an outdoor storage area enclosed with a fence. According to the applicant, company trailers and roll-off dumpsters will be stored within the outdoor storage area.

SITE PLAN ANALYSIS

Building Materials/Elevations

The proposed building is oriented with its primary entrance facing east toward Walsh Court. The office portion of the building features a brick veneer wainscot with board and batten siding above, while the warehouse portion is proposed to be clad in metal siding, as shown in Figures 1 and 2 on Page 2. At the time of this report, material specification sheets have not been provided for staff review; therefore, it is unclear whether the proposed veneer is manufactured or natural. City Code allows veneer to be considered as long as the thickness is at least one (1) inch and meets the City's

masonry standard.

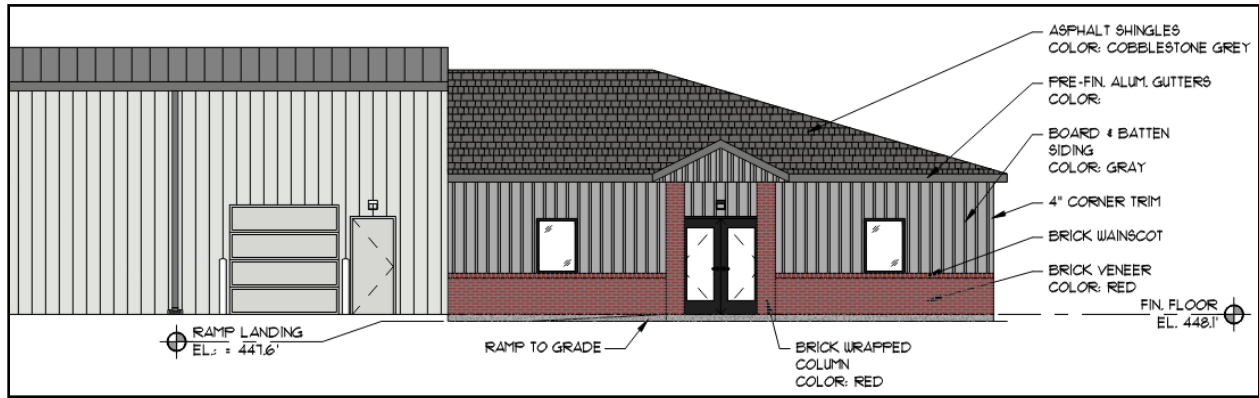


Figure 1: Screenshot of Proposed East Elevation (Facing Walsh Ct).

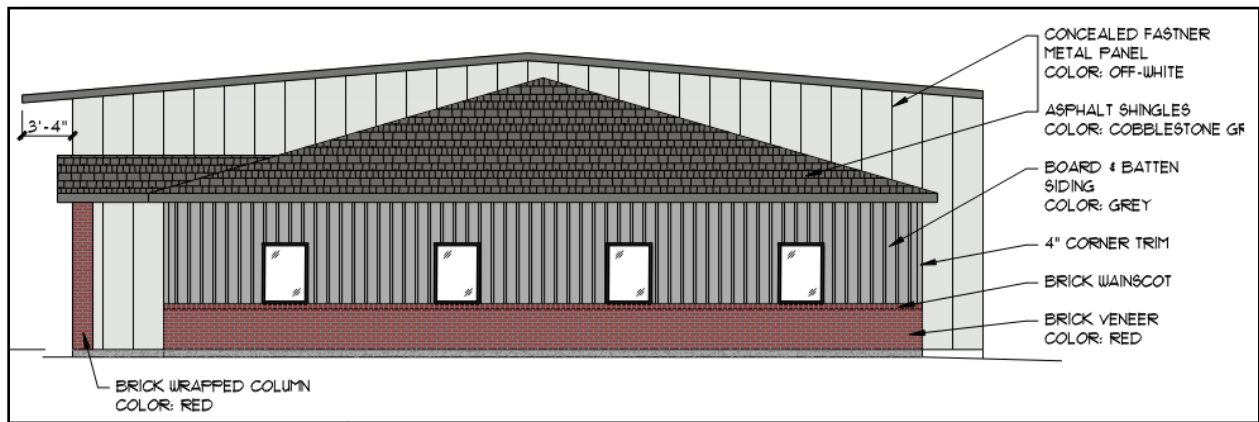


Figure 2: Screenshot of Proposed North Elevation (Facing Elm Point Industrial Drive).

The applicant has submitted building elevations illustrating the proposed exterior materials, which are included in this packet. As proposed, the building does not meet the Architectural Design Standards requirement for 100% masonry, as the majority of the exterior consists of metal siding, with brick veneer wainscoting and board and batten siding limited to the office portion of the elevations. According to the applicant’s response to staff comments (also included in this packet for the Commission’s review), masonry comprises approximately 40% of the office portion of the building. While the proposal does not comply with the masonry standard, the Commission has the authority to grant exceptions to the standards, upon a finding of good cause.

Based on the submitted elevations and applicable code standards, the proposed building does not qualify for a masonry exception by right and would require Planning and Zoning Commission action to deviate from the Architectural Design Standards. The analysis below is provided to evaluate whether an exception would be appropriate in this context.

The Purpose Statement of the Architectural Design Standards of this section states:

“The purpose of these architectural and design standards is to ensure the highest quality and most aesthetically pleasing development in all areas of the City. Redevelopment and new development in the City reflects on the image of St. Charles and it is crucial that new structures and rehabilitation or additions to old structures adhere to a higher standard to reflect positively on the City's progressive attitude toward its future. These standards are

not intended to restrict imagination or variety, but rather to assist in focusing on a design which results in an architectural style that creates a signature appearance that is distinctly St. Charles.”

Per City Code, other non-masonry exterior finish materials can be considered as accent materials and shall be limited to a maximum area of twenty-five percent (25%) of all exterior wall surfaces excluding windows and doors.

Beyond the accent material exception above, the Code provides additional exceptions to the masonry standard based on the Building Code use group, the structure’s square footage, and the degree to which the design is cohesive with surrounding development (see Table 1 below). Per the Building Code, the proposed structure would have two (2) designated use groups; “B” Business for the office portion and “S” Storage for the warehouse portion. Based on the submitted plans, the office portion of the building is 2,000 square feet and the warehouse is 8,000 square feet. According to the table below, the masonry exception does not apply.

Building Code Use Group	Covered Structure Footprint Area In Square Feet	Height And/Or Stories
Assembly "A-1," "A-2," "A-3," "A-4"	11,500	50 feet and/or 2 stories
Business "B"	18,000	50 feet and/or 3 stories
Educational "E"	18,500	50 feet and/or 1 story
Factory Group "F"	14,000	50 feet and/or 2 stories
High Hazard Group "H"	7,500	50 feet and/or 1 story
Institution "I-1"	10,500	50 feet and/or 3 stories
Institution "I-2"	9,500	50 feet and/or 1 story
Institution "I-3"	7,500	50 feet and/or 2 stories
Institution "I-4"	18,500	50 feet and/or 1 story
Mercantile "M"	14,000	50 feet and/or 3 stories
Residential "R-1," "R-2," "R-4"	12,000	50 feet and/or 3 stories
Storage Group "S"	14,000	50 feet and/or 3 stories
Utility and Miscellaneous Group "U"	9,000	50 feet and/or 2 stories

Table 1: Masonry exception schedule.

To assess consistency with prior Commission decisions and surrounding development patterns, staff reviewed comparable properties cited by the applicant, as well as more recent Site Plan approvals within the City. As the applicant indicated in their response letter, there are structures nearby that incorporate limited masonry along street frontages in a similar fashion. Below, staff provides additional analysis of the identified properties:

2932 Elm Point Industrial Drive:

This property received Planning and Zoning Commission approval via Site Plan (SP-2016-04) review in March 2016. According to the staff report for this review, the Building Code Use Group is “F” Factory and met the parameters, under the Zoning Code at that time, to receive the masonry exception. (Figure 3, Page 4)



Figure 3: 2932 Elm Point Industrial Drive

2901 Elm Point Industrial Drive:

This property received Planning and Zoning Commission approval via Site Plan (SP-22-07) review in May 2007. According to the staff report for this review, the architecture and building materials were not subject to compliance with applicable Code section that required a masonry finish and materials. At that time, the Zoning Code did not regulate architectural standards for that Building Code Use Group.



Figure 4: 2901 Elm Point Industrial Drive

2960 Elm Point Industrial Drive:

Although this property is the most similar in design (metal storage building with office) to the proposed building on the subject property, the land use for this property is mini-warehouses (self-storage lot). While the majority of the buildings on this property do not have masonry, the office building appears to be full masonry (Figure 5, Page 5).



Figure 5: Office of 2960 Elm Point Industrial Drive.

Since the approvals of the above-mentioned buildings, the City has refined their Architectural and Design Standards along with the masonry exceptions based on the Building Code Use Group.

Most recently, the Planning and Zoning Commission has approved two (2) other Site Plans (SP-2024-03 and SP-2025-10) that included office with mini-warehouse and office with warehouse. Below, staff provides addition information and elevations for these proposals:

SP-2024-03:

This property is located directly adjacent to the Subject Property and received Planning and Zoning Commission approval in January 2024; however, the proposed buildings have not been built and the Site Plan has expired.

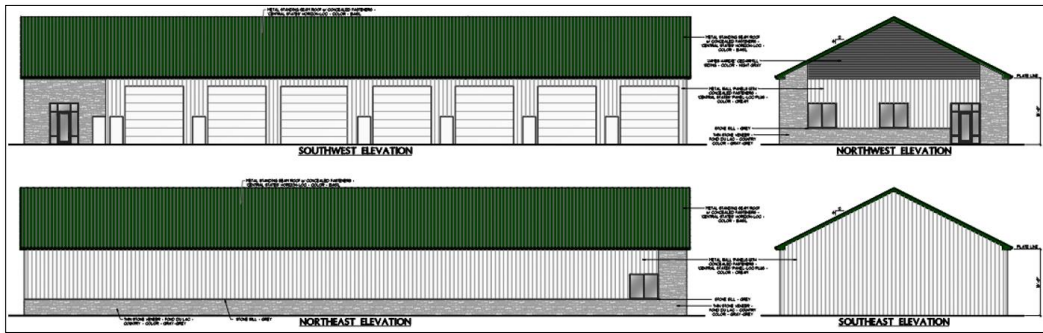


Figure 6: Proposed elevations for the office and mini-warehouse storage building.

SP-2025-10:

This property is located at 2040 Exchange Drive and received Planning and Zoning Commission approval in November 2025. During this meeting, there was extensive discussion between the Commission and the applicant regarding the masonry. Ultimately, the Site Plan was approved with a condition to:

“Amend the elevations to include full height masonry (as shown on the west elevation) to encapsulate the office area, extending approximately three (3) feet past the main entrance door on the south elevation and match to the same extent on the north elevation.”

The intent of this condition was to provide an architectural visual separation between the office portion of the building and the warehouse.



Figure 7: Proposed elevations for the office and mini-warehouse storage building.

Overall, staff is generally supportive of the proposed building design and massing. However, to remain consistent with adopted Architectural Design Standards and recent Planning and Zoning Commission approvals, staff recommends additional masonry treatment along street-facing elevations, particularly to better define and visually distinguish the office component from the warehouse portion of the building. Staff believes this approach would strengthen the building’s architectural presence while maintaining flexibility for the applicant.

Industrial Performance Standards

Outdoor Storage

As proposed, the secured storage area will be surrounded by a six-foot-tall vinyl privacy fence along the street frontage, with a six (6) foot tall chain-link fence proposed along the eastern property line. Section 400.240(E) of the Industrial Performance Standards requires that outdoor storage be enclosed within a building or screened from the street or any residential or business district.

In the applicant’s response letter, they note that other properties in the area provide screening only along the street frontage and indicates that the outdoor storage area will be used for company trailers and roll-off dumpsters; however, the applicant’s use differs from the referenced property that appears to store semi-truck trailers. Staff further notes that the property immediately east of the subject site is currently undeveloped and not zoned for residential use. While future development on this parcel could provide additional screening, there is no guarantee of development, and the timing of any potential development is unknown.

Lot 1 of Adjusted Lot 23 of Elm Point Industrial Plat 3

As illustrated in Figure 8 (Street View) of Walsh Court and Figure 9 (Aerial Photo of the Subject Site), the street-facing portion of the outdoor storage would be largely screened from public view, while the eastern side remains partially visible from adjacent areas. Additional screening or landscaping along the eastern property line could further reduce potential visual impacts and provide greater long-term consistency with the intent of the Industrial Performance Standards.

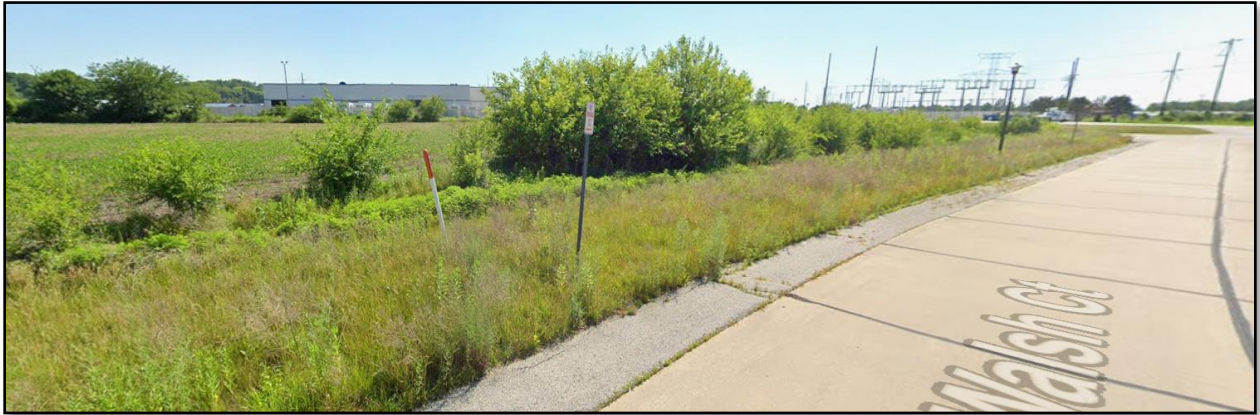


Figure 8: Street View from Walsh Court.



Figure 9: Overlay of Proposed Site Plan on Aerial Photo.

The Planning and Zoning Commission may wish to consider whether the proposed chain-link fence, with or without supplemental landscaping, is sufficient, or whether full screening of the outdoor storage area would be more appropriate. Staff provides this analysis to inform the Commission's discussion and determination, including whether any condition regarding outdoor storage screening should be applied.

Particulate Matter (Dust)

Outside of the Wellhead Protection District, Site Plans have generally allowed non-paved surfaces for storage; however, all areas used for vehicle parking and maneuvering are required to be paved. As proposed, the secured storage area will include unpaved areas with gravel where trailers and roll-off dumpsters will be stored, adjacent to the paved drive aisle.

The Industrial Performance Standards address dust generated from storage areas, yards, roads, and similar sources within lot boundaries, prohibiting emissions of smoke, dust, or particulate matter in amounts that create a general nuisance to adjoining properties. Emissions must be minimized using appropriate measures, such as landscaping, paving, oiling, fencing, or other acceptable methods.

While gravel is permitted for this use, from a long-term maintenance perspective and for potential future users, reclaimed asphalt may be a more durable and dust-reducing option. Staff recommends that the Commission discuss whether reclaimed asphalt would be preferable to gravel to further minimize dust generation. If the Commission determines it is warranted, a condition could be included to specify the use of reclaimed asphalt or other measures to reduce dust.

Access/Parking

As part of the submitted plan, two (2) new access points are proposed. One (1) access point will be located off Elm Point Industrial Drive leading to the parking lot. The second access point will function as an exit from their secured storage area and warehouse onto Walsh Court.

Based on their square footage and the zoning land use, the required number of parking spaces is nine (9). Parking is compliant with eight (8) standard spaces and one (1) van accessible space.

Landscaping

The applicant has not submitted a Landscaping Plan to document compliance with City Code; however, the applicant stated in their response letter that they are working with a landscaping contractor and plan to use native drought-resistant plantings without irrigation. Upon submittal of a building permit, staff will review and verify the proposed landscaping is compliant with City Code. Staff has provided a recommended condition of approval to address the site landscaping.

Lighting

Section 400.700(F) of the Zoning Code requires parking lot lighting when a site has ten (10) or more parking spaces; however, parking lots with less than ten (10) spaces require lighting if the facility is to be used at night. Additionally, the City's Lighting Standards (updated in 2024) also require that all exterior lighting, including wall pack lighting, shall be shielded to direct light straight down, unless it is architectural accent lighting per the below standards.

1. Lighting source shall either be attached to the primary structure or be located at the base of the primary structure. If located at the base of the structure, the lighting source shall be

- located within six (6) feet of the foundation;
- 2. Shall be projected upon the structure only;
- 3. Shall not shine, cast and/or project onto adjacent properties or right-of-way; and
- 4. Lighting shall not flash, change direction or produce any animation.

Any lighting considered “architectural accent lighting” that does not fully comply with the above standards may request a waiver from the Planning and Zoning Commission.

The wall pack lighting proposed for the office portion of the building (Figure 10) appears to comply with these standards. The lighting proposed for the warehouse portion (Figure 11), however, is primarily utilitarian in nature and is not hooded or shielded. While the photometric plan indicates that light levels do not exceed applicable standards or spill onto adjacent properties or right-of-way, this type of fixture does not meet the City’s definition of architectural accent lighting (examples in Figures 12 and 13) and could result in glare or unintended light projection over time.



Figure 10: Proposed Office Wall Pack Lighting.



Figure 11: Proposed Warehouse Wall Pack Lighting.



Figure 12: Accent/Architectural Lighting Example.



Figure 13: Accent/Architectural Lighting Example.

STAFF RECOMMENDATION

Overall, the proposed site plan is generally consistent with the intent of the Zoning Code and Industrial District standards. However, staff has identified specific areas related to exterior building materials, outdoor storage screening and exterior lighting that warrant additional consideration to ensure consistency with adopted Architectural Design Standards, recent Planning and Zoning Commission approvals and City Code. Therefore, the Department of Community Development recommends that application SP-2026-02 be approved with the following conditions:

- 1. Prior to the issuance of a building permit, the applicant shall revise the building elevations to increase masonry treatment along street-facing elevations, with full-height masonry used to define and visually distinguish the office portion of the building from the warehouse component.
- 2. A landscape plan documenting compliance with City Code shall be submitted and approved prior to issuance of a building permit.

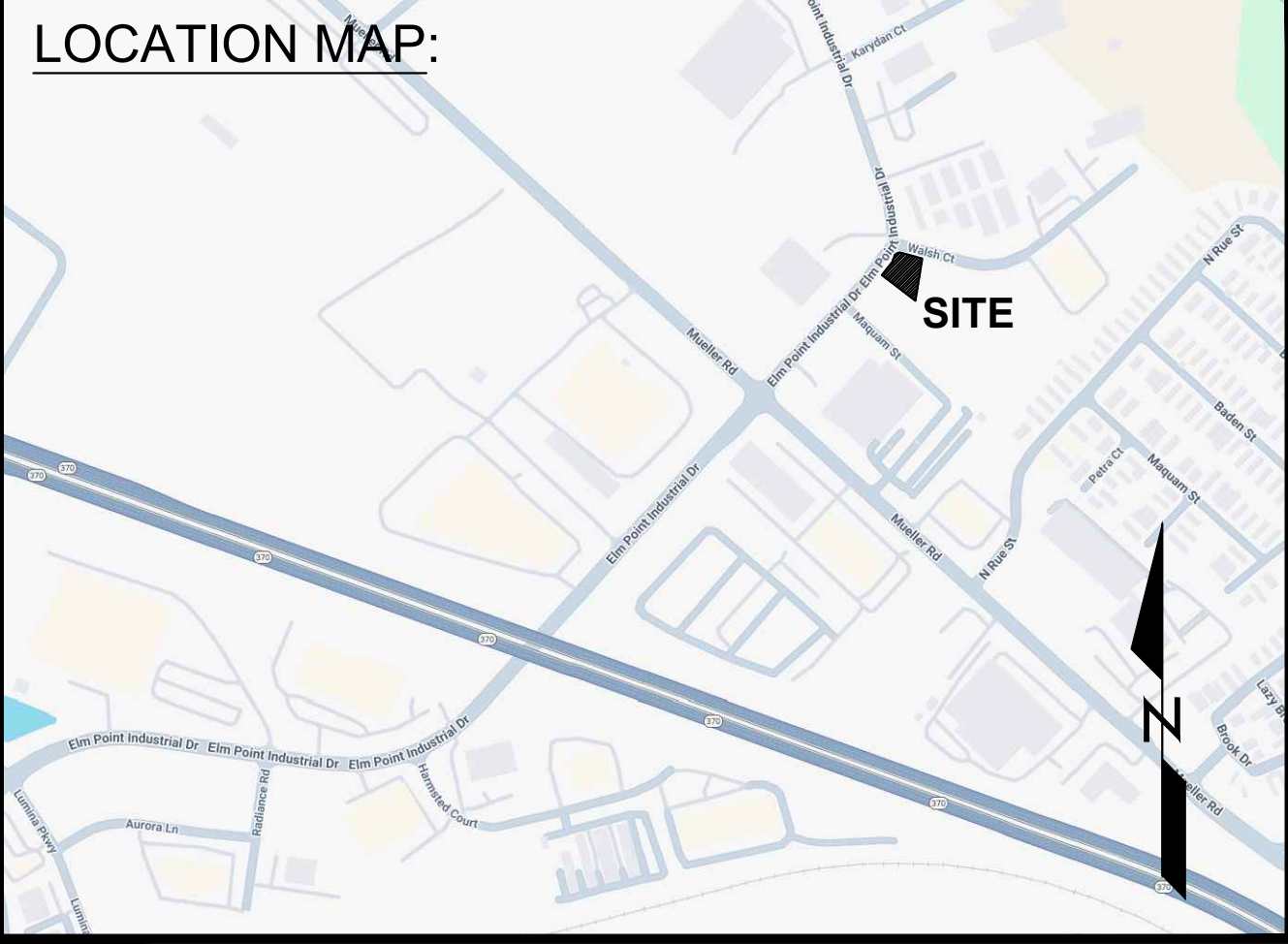
3. All exterior lighting, including wall pack lighting, shall be hooded or shielded to direct light straight down.
4. The outdoor storage area's surface shall be comprised of reclaimed asphalt and shall be properly maintained to control dust and remain in compliance with applicable nuisance and dust control standards.

Recommended Motions:

Motion to approve the SP-2026-02, subject to the conditions recommended by staff.



Figure 12: Aerial Photo of Subject Site.



DEVELOPMENT NOTES:

- PROPERTY INFO:**
 ADDRESS: WALSH COURT
 ST. CHARLES, MISSOURI 63301
 PARCEL ID#: 5-116C-9574-00-0001.0000000
 PARCEL ACCOUNT#: T050500021
- PROPERTY OWNER:**
 DROSTE AL AND SONS CONSTRUCTION COMPANY
 1517 N. 3RD ST.
 ST. CHARLES, MO 63301
- PREPARED FOR:**
 AL DROSTE & SONS CONSTRUCTION COMPANY
 2524 BETHMAN RD.
 ST. CHARLES, MO 63301
 CONTACT: NATE DROSTE
 PHONE: 314-687-6098
 EMAIL: nate@drosbuild.com
- ACREAGE:**
 TOTAL SITE: 1.14 AC.
 DISURBANCE: 1.12 AC.
- ZONING:** I1 - LIGHT INDUSTRIAL W/ FF AND DF OVERLAY DISTRICTS
- PROPOSED USE:** OFFICE / WAREHOUSE
- LOT SETBACKS:**
 FRONT YARD NOT LESS THAN 35 FEET
 SIDE YARD NOT LESS THAN 0 FEET
 REAR YARD NOT LESS THAN 50 FEET
 NO PART OF ANY BUILDING, ASSESSOR STRUCTURE OR SIGN SHALL BE LOCATED CLOSER THAN ON HUNDRED (100) FEET TO ANY RESIDENTIAL DISTRICT BOUNDARY.
 HEIGHT REQUIREMENT: NO BUILDING OR STRUCTURE SHALL EXCEED THREE STORIES ABOVE FINISHED GRADE OR 45 FEET.
 MAXIMUM LOT COVERAGE: NONE
- FEMA:**
 ACCORDING TO FIRM MAP PANEL 29183C026H DATED MARCH 9, 2021, THE SUBJECT PROPERTY IS LOCATED IN THE ZONE AE WITH A VASE FLOOD ELEVATION OF 447.
- UTILITY & SERVICE PROVIDERS:**

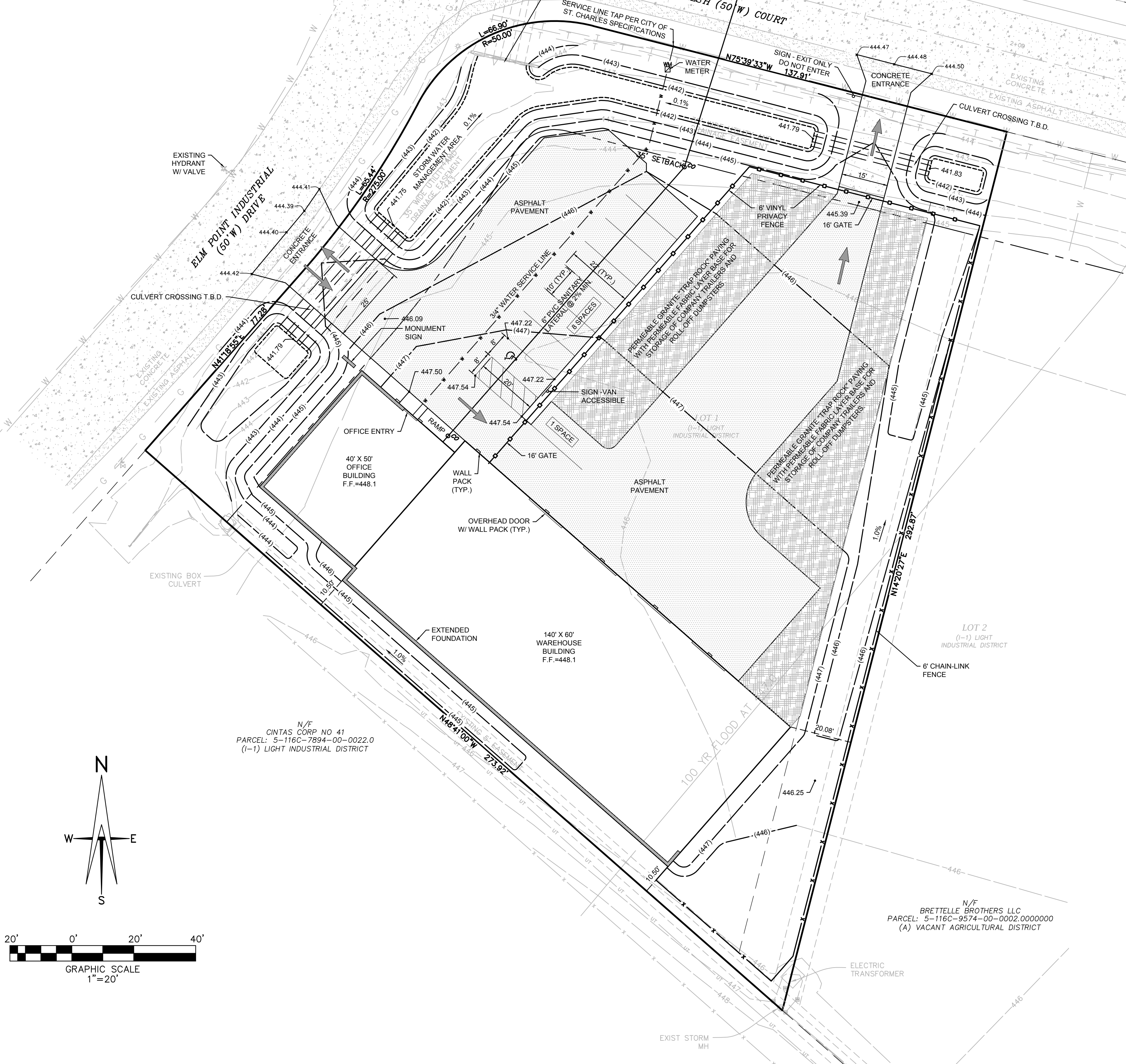
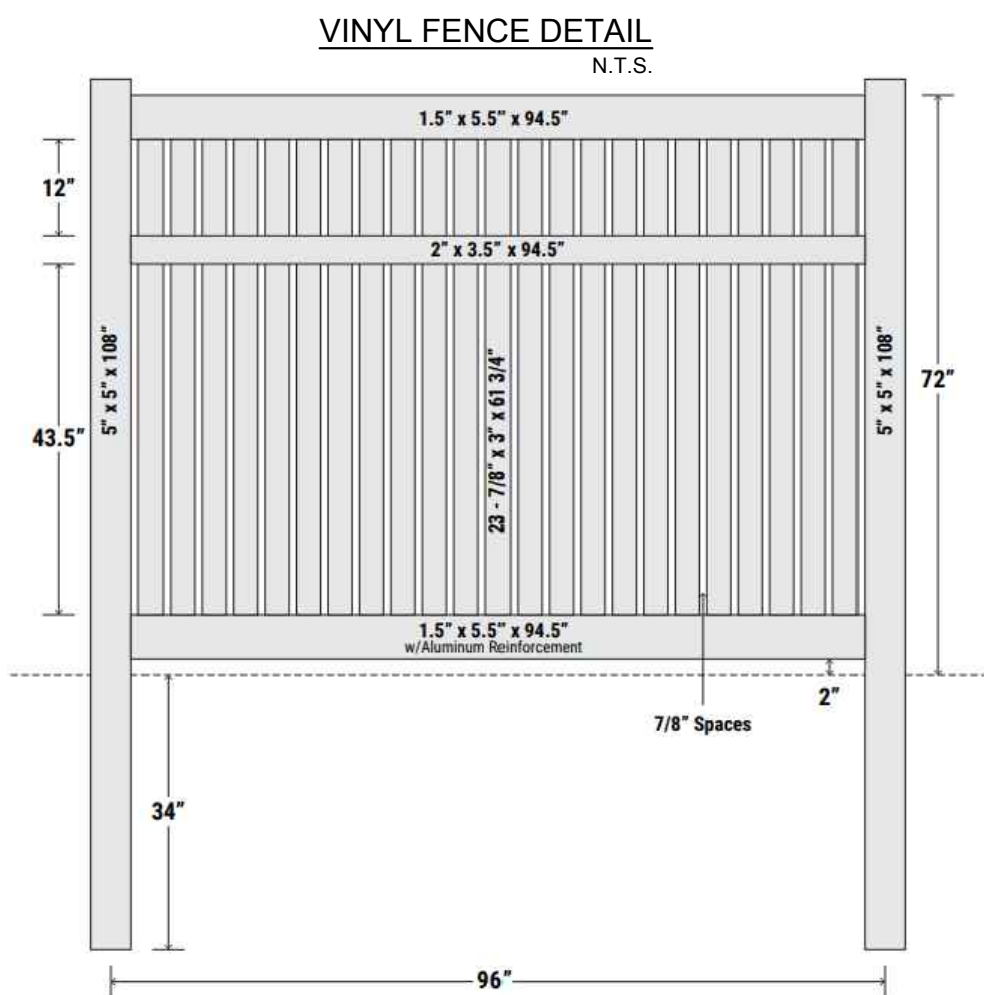
-WATER CITY OF ST. CHARLES	-TELEPHONE ASTT DISTRIBUTION
-ELECTRIC AMEREN MISSOURI ELECTRIC	-GAS SPIRE MO EAST
-SANITARY CITY OF ST. CHARLES	-FIRE DISTRICT CENTRAL COUNTY FIRE & RESCUE
- PARKING CALCULATIONS:**
 OFFICE SPACE: 2,000 S.F. (LESS 350 S.F. FOR STORAGE, BATHROOM, & LOUNGE AREAS)
 WAREHOUSE SPACE: 8,400 S.F.
 1 PER 350 SQUARE FEET OF FLOOR AREA, 2 SPACES MINIMUM
 1 PER 2,000 SQUARE FEET OF WAREHOUSE AREA, PLUS SPACE FOR STORAGE OF TRUCKS OR OTHER VEHICLES
 (1,850 / 350) + (8,400 / 2000) = 8.91 (9 SPACES REQUIRED)
 9 SPACES PROVIDED INCLUDING 1 VAN ACCESSIBLE SPACE
- DIFFERENTIAL RUNOFF CALCULATIONS:**

EXISTING SITE CONDITIONS	1.14 AC. x 1.70 P.I. = 1.84 C.F.S.
GRASS @ 5% IMP	
PROPOSED SITE CONDITIONS	
BUILDING @ 100% IMP	0.24 AC. x 3.54 P.I. = 0.85 C.F.S.
ASPHALT @ 100% IMP	0.33 AC. x 3.54 P.I. = 1.17 C.F.S.
TRAP TAILINGS @ 80% IMP	0.13 AC. x 3.15 P.I. = 0.41 C.F.S.
GRASS @ 5% IMP	0.44 AC. x 1.70 P.I. = 0.74 C.F.S.
TOTAL	3.17 C.F.S.

 DIFFERENTIAL RUNOFF: 3.17 - 1.84 = 1.33 C.F.S.
- THERE ARE NO TRASH ENCLOSURES PROPOSED WITH THIS SITE PLAN.

Call BEFORE you DIG
 TOLL FREE
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM, INC.

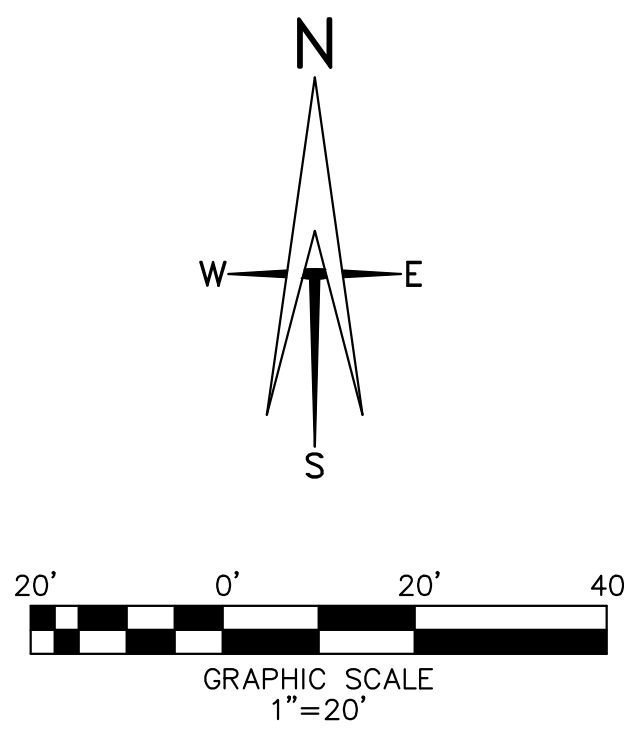
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.



SITE PLAN ELM POINT INDUSTRIAL LOT 1

A TRACT OF LAND BEING LOT 1 OF "SUBDIVISION OF LOT 23 ELM POINT INDUSTRIAL PLAT 3"
 PLAT BOOK 4I, PAGE 70, TOWNSHIP 47 NORTH, RANGES 4 & 5 EAST,
 CITY OF ST. CHARLES, ST. CHARLES COUNTY, MISSOURI

LINE TYPE	SYMBOL	SYMBOL	
—●—	EX. SANITARY SEWER	⊕	STORM MANHOLE
—▲—	PROP. SANITARY SEWER	⊕	SANITARY MANHOLE
—■—	EX. STORM SEWER	⊕	TELEPHONE MANHOLE
—□—	PROP. STORM SEWER	⊕	ELECTRIC MANHOLE
—W—	EX. WATER LINE	⊕	CURB INLET
—W—	PROP. WATER LINE	⊕	AREA INLET
—T—	TELEPHONE LINE	⊕	DOUBLE CURB INLET
—FO—	CABLE LINE	⊕	GRATED INLET
—G—	GAS LINE	⊕	WATER METER
—UG—	OVERHEAD ELECTRIC	⊕	WATER VALVE
—X—	UNDERGROUND ELECTRIC	⊕	GAS METER
—T—	TREE LINE	⊕	GAS VALVE
ABBREVIATION			
TF	TOP OF FOUNDATION	⊕	FIRE HYDRANT
FF	FINISHED FLOOR	⊕	UTILITY POLE
BF	BASEMENT FLOOR	⊕	TREE & BUSHES
CONC	CONCRETE	⊕	SIGN
T	TOP ELEVATION	⊕	TRAFFIC CONTROL BOX
FL	FLOW LINE ELEVATION	⊕	BOREHOLE
TBR	TO BE REMOVED	⊕	FLAGPOLE
TBR&R	TO BE REMOVED & REPLACED	⊕	HANDICAP PARKING SPACE
UIP	USE IN PLACE	⊕	MAILBOX
ATG	ADJUST TO GRADE	⊕	ELECTRIC PEDESTAL
TBA	TO BE ABANDONED	⊕	ELECTRIC METER
EX	EXISTING	⊕	CABLE PEDESTAL
TYP	TYPICAL	⊕	TELEPHONE PEDESTAL
CO	CLEAN OUT	⊕	GUY WIRE
DS	DOWN SPOUT	⊕	CLEANOUT
MIN	MINIMUM	⊕	PARKING METER
R	RADIUS	⊕	BOLLARD
PS	PARKING SPACE	⊕	IRRIGATION CONTROL VALVE
EJ	EXPANSION JOINT	⊕	FLARED END
HATCH			
▒	CONCRETE		
▓	ASPHALT		
▒▒▒	GRAVEL		
▒▒▒▒	LANDSCAPE		



01-29-2026
 01-29-2026
 SITE PLAN SUBMITTAL
 REVISIONS PER CITY COMMENTS

SITE PLAN
 ELM POINT
 INDUSTRIAL LOT 1
 SITE PLAN

ST. CHARLES ENGINEERING & SURVEYING, INC.
 801 S. FIFTH STREET, SUITE 202
 ST. CHARLES, MO 63301
 TEL: (636) 947-0607 FAX: (636) 947-2448
 ST. CHARLES ENGINEERING AND SURVEYING, INC.
 PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
 MISSOURI STATE CERTIFICATE OF AUTHORITY - 001647 & 000379

SIC
 FIS

STATE OF MISSOURI
 REGISTERED PROFESSIONAL ENGINEER
 MICHAEL NEWELL
 MEINERS
 E-22483
 01/29/26

ORDER NO.
 2025095
 DATE
 01/29/2026
 1

ENGINEERS AUTHENTICATION
 THE RESPONSIBILITY FOR THE PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS HEREBY LIMITED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE AND DATE HEREUNDER ATTACHED. RESPONSIBILITY IS DISCLAIMED FOR ALL OTHER ENGINEERING PLANS INVOLVED IN THE PROJECT AND SPECIFICALLY EXCLUDES REVISIONS AFTER THIS DATE UNLESS REAUTHENTICATED.

STEPHEN J. HOLLANDER
MO Architect No. A-6126

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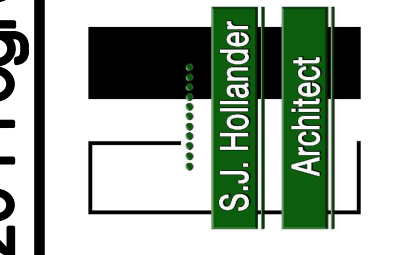
© S.J. HOLLANDER
2026 ARCHITECT

New Construction For:
Al Droste + Sons Construction Company
Walsh Court
St Charles, MO 63301

PROJECT NO.
225096

REVISIONS	NO.	DATE	ITEM

S.J. Hollander Architect
Stephen J. Hollander, AIA
519 First Capitol Drive
St. Charles, Missouri 63301
Phone (636) 947-4140
Missouri Architectural Corporation #000801

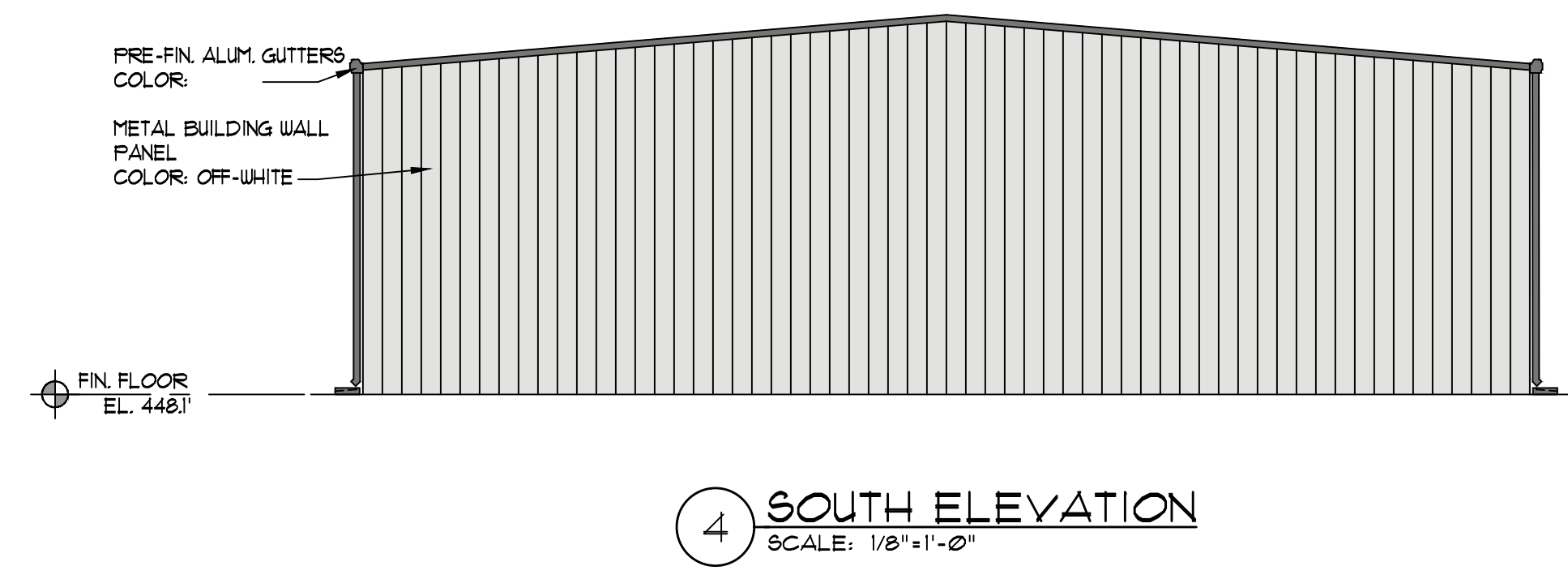
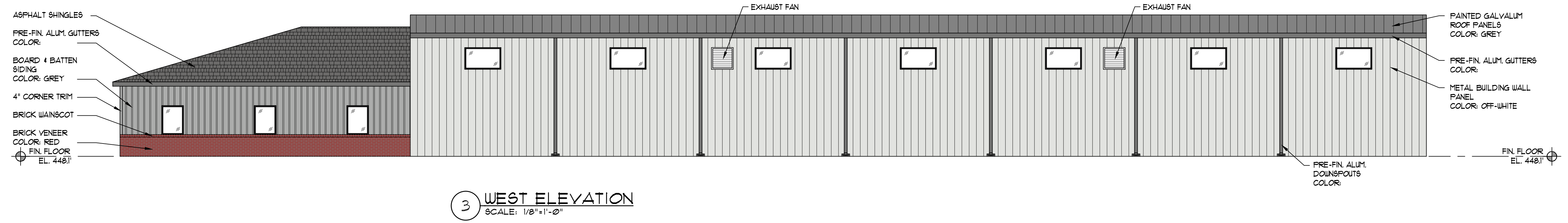
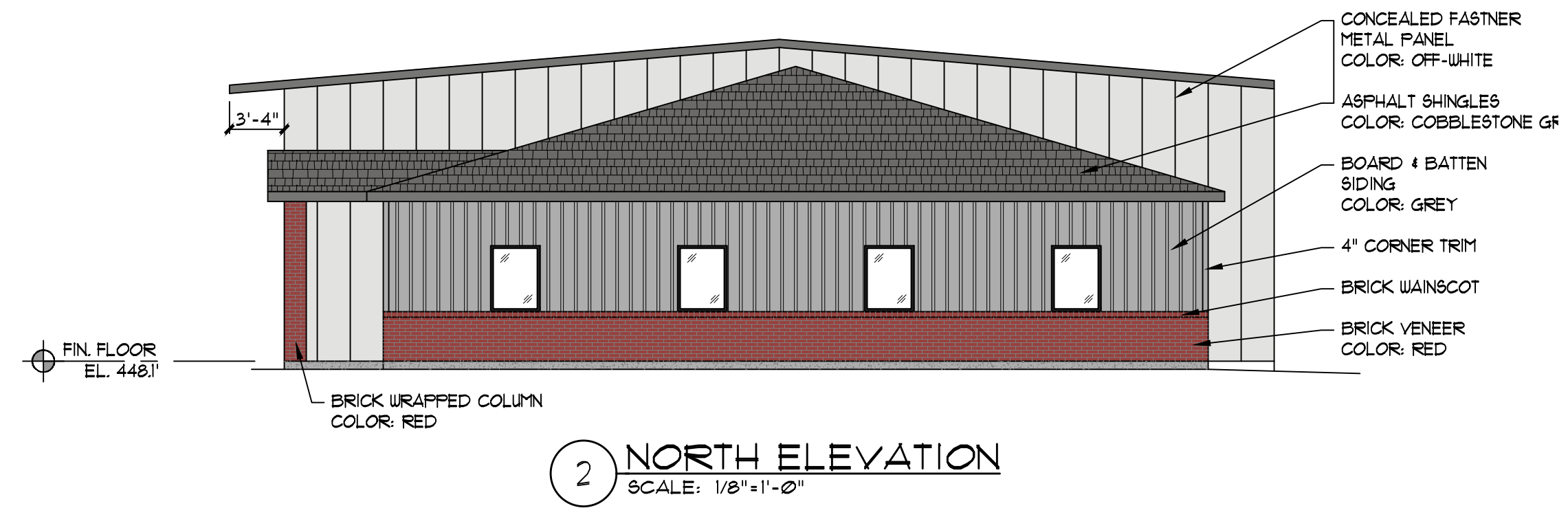
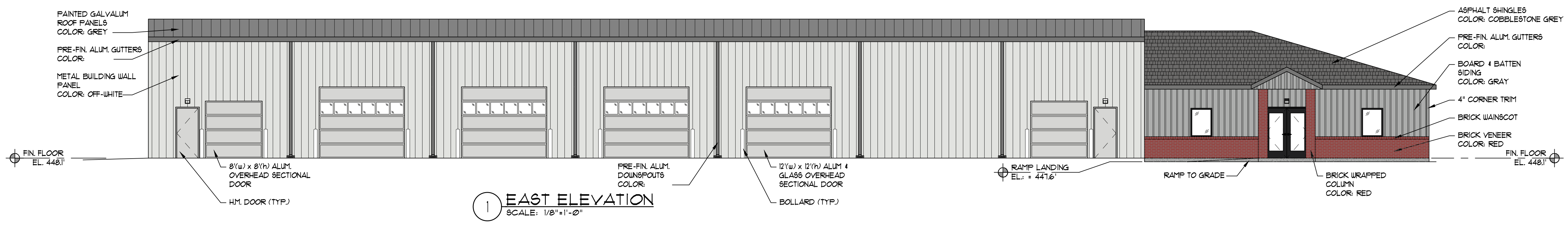


DATE
January 19, 2026

SHEET TITLE
Exterior Elevations

SHEET NO.
A3

Progress Print 1-19-2026 Progress Set - NOT FOR CONSTRUCTION





January 29, 2026

RE: SP-2026-02 – Lot 1 of Adjusted Lot 23 of Elm Point Ind Plat 3

Responses to Staff Comment Letter as follows:

1. Proposed building has two components - smaller height office facing Elm Pt. Ind. Drive is 40% masonry on all three sides with concealed fasteners board & batten metal siding comprising of the rest. Rear warehouse components are comprised of metal panel siding (concealed siding panels facing Elm Pt. Industrial Dr, balance of other three sides to be exposed fasteners vertical siding panels). It is our intention to limit masonry on this building to highlight the other type of work/finishes our company performs while being consistent with comparable neighboring buildings.

Examples of neighboring buildings approved with less than 40% masonry that we feel are examples where high levels of masonry also do not make sense:

Built 2017 – 2932 Elm Pt. Industrial



Built 2019 – 2901 Elm Pt. Industrial



Built 2007 – Elm Pt. Industrial & Walsh Ct.



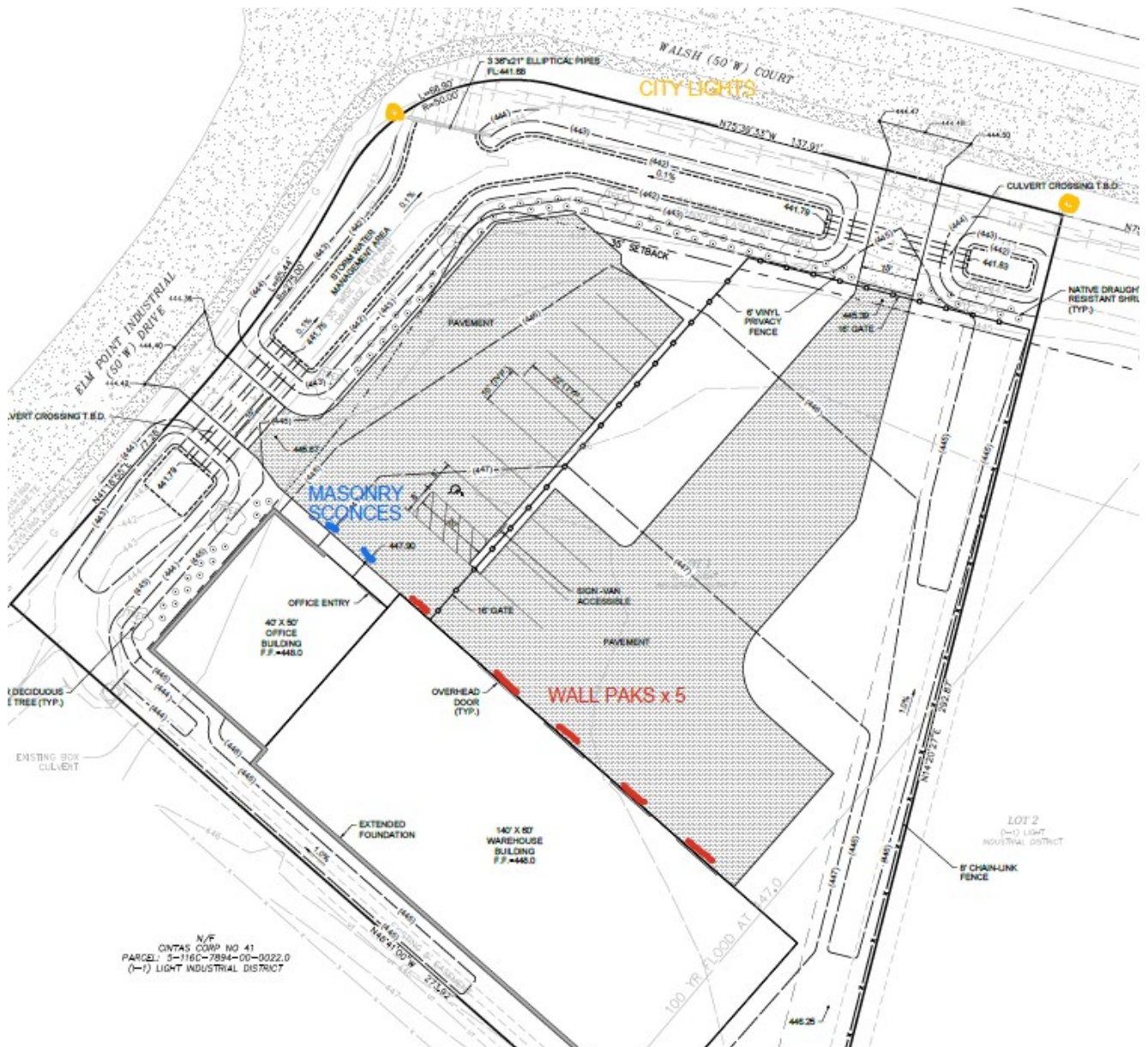
2. No dumpster / trash service planned for site. Our company has always and plans to continue to remove trash off site via our construction company containters/vehicles. These containers will be stored behind the fencing.
3. Inside the fenced area will be used for storage of company trailers and roll-off dumpsters. Gates at both entrance and exit for nighttime security.
 - a. It is our intent to provide privacy fence only along Elm Pt. Ind. Rd. & Walsh Ct. consistent with neighboring properties.

- b. It is our intent to provide a 6' tall chainlink fence along the property lines adjacent to the two other commercial properties to the east & south.

Example of neighboring property fencing (street side on left and side/rear on right)

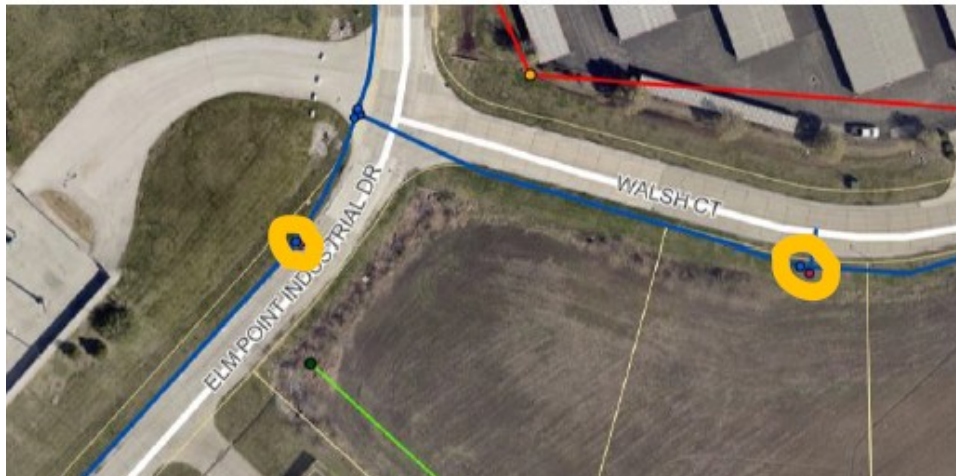


- c. Unpaved area within the fencing to be permeable granite "#57 washed trap rock" paving with permeable fabric layer base for storage of company trailers and roll-off dumpsters.
4. Parking spot required is recalculated for 9 spots needed, no light standard provided. Building hours are 6:30-5:30 M-F, no nighttime hours. Currently two city light poles on street adjacent to our property.
5. Wall Pack Lighting on building @ OH doors on dusk/dawn. Office entry lighting on masonry columns. Lighting levels plan forthcoming by Lighting Associates.



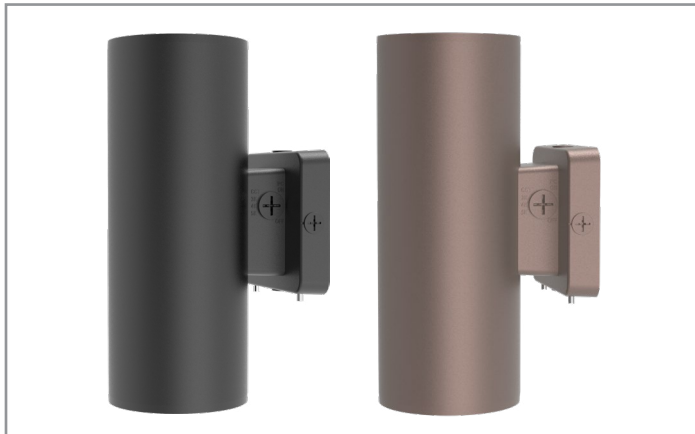
6. No trash service or dumpster will be on site. We will continue to utilize our construction activities/dumpsters to haul trash off site to disposal/landfill facility. This will all be contained indoors or inside the fenced area.
7. We are working with Landscape Technologies, Randy Mardis, on this plant to use drought-resistant plantings without irrigation. His plan is forthcoming.
8. Payment made on 1-29-26.
9. Entrances are pushed as far from intersection as practical.
10. Intention is for entrance & exit off Elm Pt. and exit only off Walsh Ct. updated site plan.

11. Assumed for at time of grading permit
12. Assumed for at time of grading permit
13. Provided by SCES once site plan is approved.
14. Parking spots are sized for convenience of parking due to use of full size, extended cab pickup trucks driven by employees & subcontractors.
15. Two hydrants currently located within 100' of property on both streets. Site plan updated to reflect hydrant locations.



16. Sewer tap will be from across Walsh Ct, water tap will be along Walsh Ct. site plan updated to reflect tap locations.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark AP

Wall Cylinder

Wall Mount Luminaire

Product Features



Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Energy and Performance Data [page 2](#)

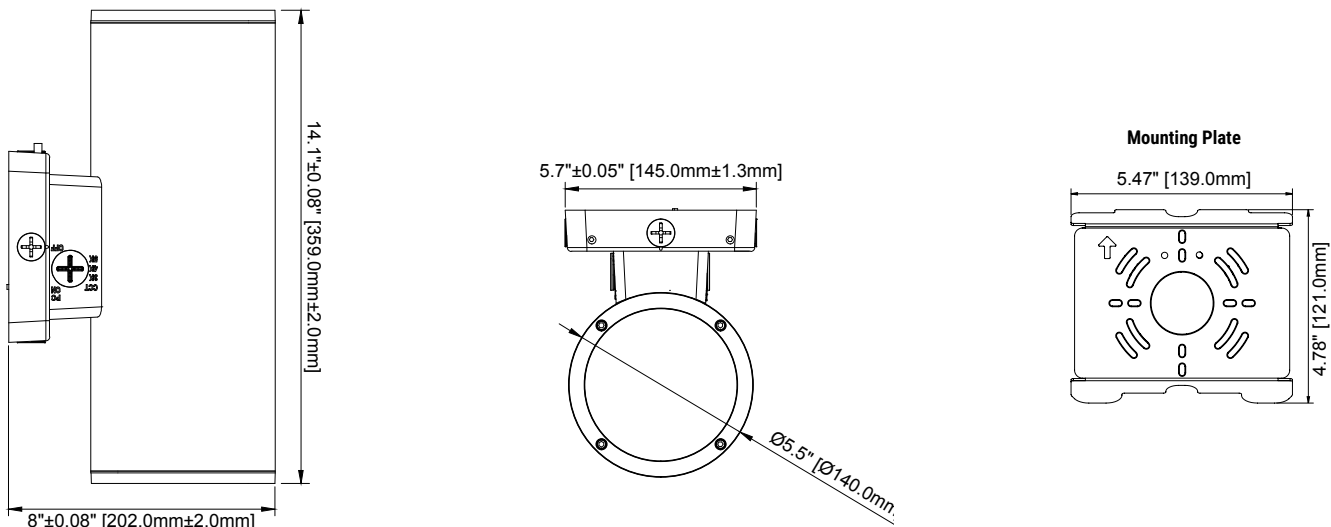
Product Certifications



Quick Facts

- Selectable CCT and Wattage options
- Selectable light distribution (Uplight/ Downlight/Combined [Up + Down])
- Up to 3600 lumens
- Replaces up to 70W HID equivalent
- Efficacies up to 120 lumens per watt
- Energy and maintenance savings up to 57%
- Heat and impact resistant polycarbonate lens

Dimensional Details



Ordering Information

Model Number	Lumens	Wattage	Color Temperature	Voltage	Controls	Finish
CYL-2D-30W-PC-BK	1600-3600lm	15-30W	Selectable CCT: 3000,4000,5000K / 80CRI	120-347V, 50/60Hz	Photocell	Black
CYL-2D-30W-PC-BZ	1600-3600lm	15-30W	Selectable CCT: 3000,4000,5000K / 80CRI	120-347V, 50/60Hz	Photocell	Bronze

Product Specifications

Construction

- Rugged die-cast aluminum housing and PC lens and glass cover
- Housing is completely sealed against moisture and environmental contaminants
- Backside housing includes four 1/2" NPT knockouts

Optics

- 50° light distribution
- 3 Selectable CCTs in 80 CRI
 - » 3000K, 4000K, 5000K

Electrical

- Universal 120-347V input voltage
- -40°C minimum operating temperature
- 40°C maximum operating temperature
- ≥.9 power factor
- ≤20% total harmonic distortion
- 1-10V dimmable driver

Controls

- Optional DC 12V photocell for 120-347V input
- Optional CCT selectable and Wattage selectable

Typical Applications

- Outdoor
- Parking Lots
- Walkways
- Building Areas

Finish

- Black or Bronze powder-coat finish

Shipping Data

- Unit Carton: 7.14 lbs
- Master Carton: 30.84 lbs

Energy and Performance Data

Power and Lumens (Selectable)

Power (Watts)	15W Uplight	15W Downlight	15W Combined (Up + Down)	30W Combined (Up + Down)	
Input Current @ 120V (A)	0.125	0.125	0.125	0.266	
Input Current @ 277V (A)	0.064	0.064	0.064	0.119	
Input Current @ 347V (A)	0.062	0.062	0.062	0.103	
Performance					
3000K	Lumens	1660	1682	1631	3395
	Lumens per Watt	106	107	105	109
4000K	Lumens	1809	1829	1747	3635
	Lumens per Watt	121	121	117	122
5000K	Lumens	1804	1782	1727	3608
	Lumens per Watt	114	114	109	115

CCT Multipliers

CCT	Multipliers
3000K	0.924
4000K	1.000
5000K	0.988

Lumen Maintenance

Configuration	Ambient Temperature	TM-21 Lumen Maintenance (50,000 hrs)	Reported L70 (hrs)
CYL-2D-30W-PC-BK	25°C	88.79%	>54,000
CYL-2D-30W-PC-BZ			

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Axcent

Wall Mount Luminaire

Product Certifications & Features



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Product Specifications [page 4](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 7](#)

Quick Facts

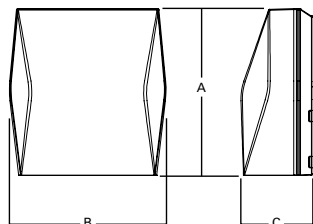
- Available in 12W - 116W (1,800 - 16,000 lumens) models
- Full cutoff and refractive lens models available
- Energy and maintenance savings up to 95% compared to HID
- Energy efficient illumination results in up to 177LPW
- Replaces 70W up to 450W HID equivalents

Connected Systems

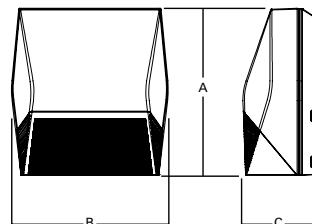
- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details

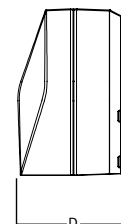
Full Cutoff



Refractive Lens²



Deep Back Housing



Dimensional Data

	AXCS Small	AXCL Large
A	8" [202mm]	11-1/2" [292mm]
B	7-1/2" [190mm]	10-3/4" [273mm]
C	3-5/8" [94mm]	4-7/8" [124mm]
D	6-1/8" [155mm]	7-1/8" [181mm]

NOTES:

1. DarkSky approved for 3000K CCT and warmer, with mounting options less than 10° of tilt.
2. Refractive Lens option does not comply with DarkSky.

Ordering Information

SAMPLE NUMBER: AXCS1A-AP-347V

Domestic Preferences	Model Series ¹	LED Color Temperature	Color	Options (Add as Suffix)
<p>[Blank]=Standard BAA=Buy American Act²⁶ TAA=Trade Agreements Act²⁶ BABA=Build America Buy America Act²⁸</p>	<p>Full Cutoff²⁹ AXCS1A=12W AXCS2A=16W AXCS3A=23W AXCS4A=38W AXCS5A=45W AXCL6A=50W AXCL8A=66W AXCL10A=89W AXCL12A=116W</p> <p>Refractive Lens AXCS1ARL=12W AXCS2ARL=16W AXCS3ARL=23W AXCS4ARL=38W AXCS5ARL=45W AXCL6ARL=50W AXCL8ARL=66W AXCL10ARL=89W AXCL12ARL=116W</p>	<p>[Blank]=4000K, Neutral C=5000K, Cool W=3000K, Warm²⁹</p>	<p>[Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black AP=Grey GM=Graphite Metallic DP=Dark Platinum</p>	<p>347V=347V² 480V=480V² PC1=Photocontrol 120V^{3,4,5} PC2=Photocontrol 208-277V, 347V, 480V^{4,5,6} PC=Photocontrol 120-277V, 347V, 480V^{4,7,8} KKIT=Knuckle Floodlight Mount⁷ TRNKIT=Trunnion Floodlight Mount SFKIT=Slipfitter Floodlight Mount PMAKIT=Pole Mount Arm WPS2XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height^{4,9,10,11} WPS4XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height^{4,9,10,11} WLS2XX=WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting^{4,9,10,11} WLS4XX=WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting^{4,9,10,11} MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height^{4,9,12} MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height^{4,9,12} MSP-L12=Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height^{4,9,12} MSP-L30=Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height^{4,9,12} CBP=Cold Weather Battery Pack^{3,14,15,16,17,18} CBP-CEC=Cold Weather Battery Pack, CEC compliant^{3,14,15,16,17} 10K=10kV/10kA Surge Protection HA=50°C High Ambient^{14,18} GRF=Glare Reducing Lens¹⁹ AHD145=After Hours Dim, 5 Hours^{5,20} AHD245=After Hours Dim, 6 Hours^{5,20} AHD255=After Hours Dim, 7 Hours^{5,20} AHD355=After Hours Dim, 8 Hours^{5,20}</p>
Accessories (Order Separately) ^{21,27}				
<p>VS/AXCS-XX=Vandal Shield Axcent Small^{7,22} VS/AXCS-MS=Vandal Shield Axcent Small (With Motion Sensor)^{7,22} WG/AXCS=Wire Guard Axcent Small⁷ WG/AXCS-MS=Wire Guard Axcent Small (With Motion Sensor)⁷ VS/AXCL-XX=Vandal Shield Axcent Large^{5,22} VS/AXCL-MS=Vandal Shield Axcent (With Motion Sensor)^{5,22} WG/AXCL=Wire Guard Axcent Large⁵ WG/AXCL-MS=Wire Guard Axcent (With Motion Sensor)⁵ BB/AXC=Axcent Lumen Select Back Box, Carbon Bronze²³ BB/AXC-PC=Axcent Lumen Select Back Box with PC, Carbon Bronze^{23,24} BB/AXC-WT=Axcent Lumen Select Back Box, Summit White²³ BB/AXC-WT-PC=Axcent Lumen Select Back Box with PC, Summit White^{23,24}</p>				
<p>NOTES:</p> <ol style="list-style-type: none"> DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. Transformer used only when ordered with motion sensor or AXCS1 through AXCS5 or AXCL6 fixture wattages. Not available in 347 or 480 VAC. Button photocontrol and any motion sensor (MSP or LWR) not offered together. Only available on AXCL6-AXCL12 models. Used with 277, 347, and 480 VAC options. Only available on AXCS1-AXCS5 models. This configuration may contain materials that are not RoHS compliant. Contact your lighting representative for more information. Uses deep back housing. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information. Replace XX with sensor color (WH, BZ, or BK). The ISHH-01 accessory is required to adjust parameters. Ambient operating temperature -20°C to 25°C for AXCL6 through AXCL10. Ambient operating temperature -20°C to 30°C on AXCS4 models. Ambient operating temperature -20°C to 40°C on AXCS1 through AXCS3 models. Not available with AXCS5 or AXCL12 models. Uses deep back housing for AXCS1, AXCLS2, AXCS3, and AXCS4 models. Not to be mounted in upwards / inverted orientation. Downlight wall mount only for AXCS1 through AXCS4. CBP cannot be used with PC and motion sensor (MSP). CBP can be used with PC or motion sensor (MSP). Uses deep back housing for AXCS1, AXCLS2, AXCS3, and AXCS4 models. Not to be mounted in upwards / inverted orientation. Downlight wall mount only for AXCS1 through AXCS4. CBP cannot be used with PC and motion sensor (MSP). CBP can be used with PC or motion sensor (MSP). Can not be ordered with CBP or PC options. Use dedicated IES files on product website for lumen values and distributions. Requires the use of PC1 or PC2 button photocontrol. See After Hours Dim supplemental guide for additional information. Replace XX with color designation. For use with full cutoff lens configurations only. Lumen Select functionality not available in conjunction with any motion sensor option (MSP). Photocontrol back box not available with any photocontrol or motion sensor options (PC, MSP). Photocell only operates at 120-277V input voltages. Not for use with 347 or 480V systems. This tool enables adjustment to parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. Only product configurations with these prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or the Build America Buy America Act (BABA). BABA is the minimum Government compliance requirement for the Build America Buy America standards which is part of the Infrastructure and Investment Jobs Act (IIJA). Individual Government Agencies may have more stringent compliance standards. Please refer to the DOMESTIC.PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements. DarkSky approved when ordered with 3000K or warmer CCT. 				

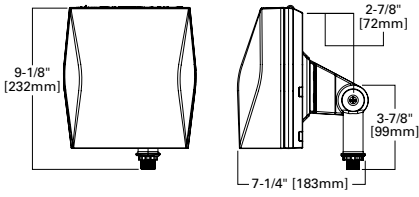
Stock Ordering Information

Model Series ¹			
Full Cutoff		Refractive Lens	
AXCS1A=12W	AXCL10A=102W	AXCS1ARL=12W	AXCL10ARL=89W
AXCS2A=16W	AXCL12A=123W	AXCS2ARL=16W	AXCL12ARL=116W
AXCS3A=23W	AXCL6A-347V=50W	AXCS3ARL=23W	AXCL6ARL-347V=50W
AXCS4A=38W	AXCL8A-347V=66W	AXCS4ARL=38W	AXCL8ARL-347V=66W
AXCS5A=45W	AXCL10A-347V=89W	AXCS5ARL=45W	AXCL10ARL-347V=89W
AXCL6A=56W	AXCL12A-347V=116W	AXCL6ARL=50W	AXCL12ARL-347V=116W
AXCL8A=72W		AXCL8ARL=66W	

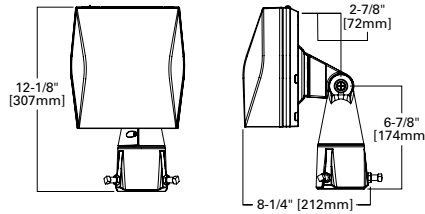
Note: All stock configurations are 4000K color temperatures, standard Carbon Bronze finish, and wall mount configuration.

Mounting Details

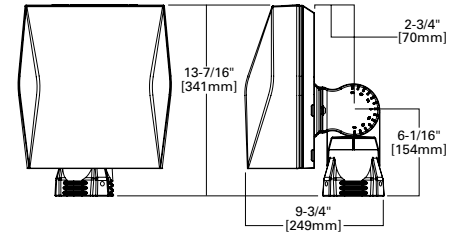
Knuckle Mount (Small)
Knuckle thread: 3/4" NPS



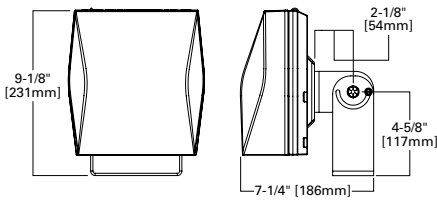
Slipfitter Mount (Small)
Tenon OD: 2-3/8" | EPA: 0.60



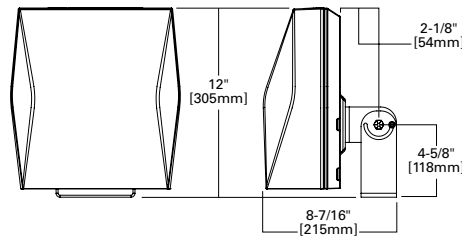
Slipfitter Mount (Large)
Tenon OD: 2-3/8" | EPA: 0.60



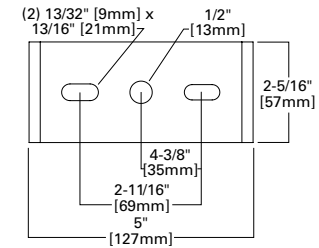
Trunnion Mount (Small)



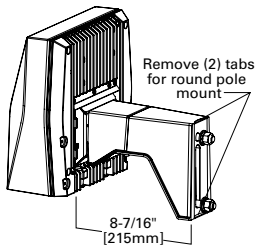
Trunnion Mount (Large)



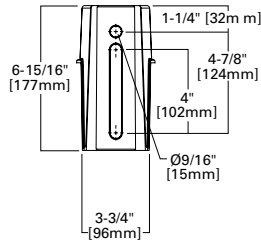
Trunnion Mount Detail



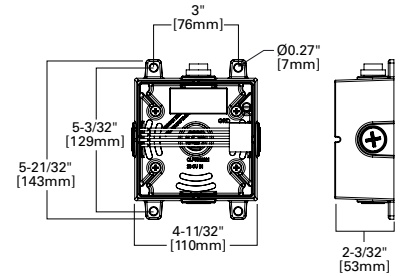
Pole Mount Arm (Large)
EPA: 1.10



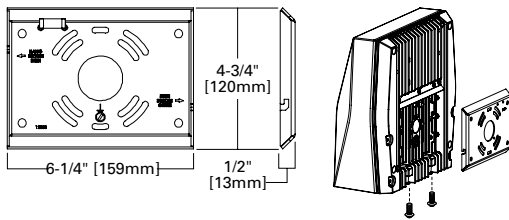
Pole Mount Arm Drill Pattern



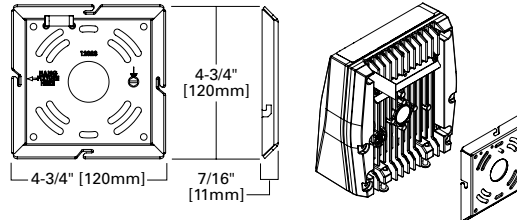
Lumen Select Back Box



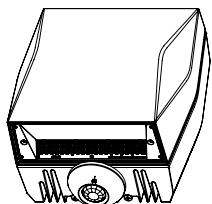
Wall Mount Plate Detail (Large)



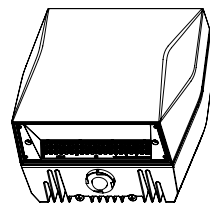
Wall Mount Plate Detail (Small)



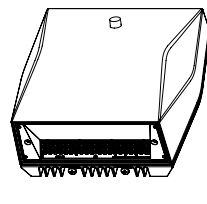
Wavelinx Sensor



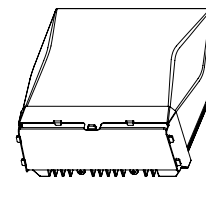
MSP Sensor



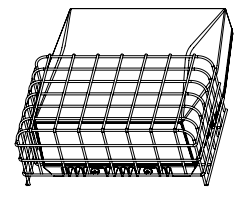
Button Photocontrol



Vandal Shield



Wire Guard



Product Specifications

Construction

- Die-cast aluminum housing
- External back fin design extracts heat from the surface to thermally optimize design for longer luminaire life

Optics

- Silicone-sealed optical LED chamber
- Acrylic refractive or full cutoff lens options for Type IV distributions

Electrical

- Standard universal voltage (120-277V, 50/60Hz)
- Driver incorporates 6kV surge protection
- <20% total harmonic distortion
- 0-10V dimming driver is standard with leads external to the fixture

Mounting

- Steel wedge mounting plate fits directly to 4" standard j-box or directly to wall with the "Hook-N-Lock" mechanism
- Stainless steel set screws
- Lumen Select Back Box accessory offers four 1/2" NPT conduit entry wire ways. Resistor Pack combinations allow field-dimming of 75% or 50% when connected to luminaire dimming leads
- Not suitable for indoor use when installed in inverted/uplight orientation

Emergency Egress

- Optional integral cold weather battery emergency egress includes emergency operation test switch, an AC-ON indicator light and a premium, maintenance-free battery pack
- The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting

Compliance

- cULus certified for use in -40°C to 40°C ambient environments
- Full cutoff models are IDA Certified 3000K and warmer only
- BAA domestic preference option meets BAA requirements. See DOMESTIC PREFERENCES website or consult the CLS Domestic Preferences team for more information
- FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specific accessories and options meet BABA Domestic Preference Requirements; submit this catalog number to Cooper Lighting Quotation team for validation by our Engineering and Manufacturing teams.
- Please refer to the [DOMESTIC PREFERENCES](#) website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Components shipped separately may be separately analyzed under domestic preference requirements.

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

- Small fixture=5 lbs. [2.36 kgs.]
- Small with sensor or CBP=10 lbs. [4.40 kgs.]
- Large fixture=12 lbs. [5.45 kgs.]
- Large with sensor or CBP=17 lbs. [7.73 kgs.]
- Large with sensor & CBP=21 lbs. [9.54 kgs.]

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens (Axcent Small)

Light Engine		AXCS1A	AXCS2A	AXCS3A	AXCS4A	AXCS5A
Power (Watts)		12	16	23	38	45
Input Current @ 120V (A)		0.10	0.13	0.19	0.32	0.38
Input Current @ 240V (A)		0.05	0.07	0.10	0.16	0.19
Input Current @ 277V (A)		0.04	0.06	0.08	0.14	0.16
Input Current @ 347V (A)		0.03	0.05	0.07	0.11	0.13
Input Current @ 480V (A)		0.03	0.03	0.05	0.08	0.09
Configuration						
Full Cutoff	4000K/5000K Lumens	1,786	2,589	3,551	5,500	6,348
	3000K Lumens	1,509	2,188	3,001	4,648	5,365
	BUG Rating	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G1	B2-U0-G1
Refractive Lens	4000K/5000K Lumens	1,894	2,745	3,765	5,832	6,731
	3000K Lumens	1,600	2,320	3,182	4,928	5,688
	BUG Rating	B1-U3-G2	B1-U3-G2	B1-U3-G2	B1-U4-G3	B1-U4-G3

Power and Lumens (Axcent Large)

Light Engine	AXCL6A	AXCL8A	AXCL10A	AXCL12A	
Power (Watts)	50	66	89	115	
Input Current @ 120V (A)	0.41	0.54	0.74	0.96	
Input Current @ 240V (A)	0.21	0.27	0.37	0.48	
Input Current @ 277V (A)	0.18	0.24	0.32	0.42	
Input Current @ 347V (A)	0.14	0.19	0.26	0.33	
Input Current @ 480V (A)	0.10	0.14	0.19	0.24	
Configuration					
Full Cutoff	4000K Lumens	7,594	9,716	12,719	16,302
	5000K Rating	7,501	9,598	12,564	16,103
	3000K Lumens	6,502	8,319	10,890	13,958
	BUG Rating	B2-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G2
Refractive Lens	4000K Lumens	7,809	10,331	13,665	16,637
	5000K Rating	7,714	10,205	13,498	16,434
	3000K Lumens	6,686	8,845	11,700	14,244
	BUG Rating	B1-U4-G4	B2-U5-G5	B2-U5-G5	B2-U5-G5

Power and Lumens (Small + CBP)

Light Engine	AXCS1A	AXCS2A	AXCS3A	AXCS4A	
Power (Watts)	16	20	27	42	
Input Current @ 120V (A)	0.13	0.17	0.23	0.35	
Input Current @ 240V (A)	0.07	0.08	0.11	0.18	
Input Current @ 277V (A)	0.06	0.07	0.10	0.15	
Configuration					
Full Cutoff	4000K/5000K Lumens	742	792	789	644
	3000K Lumens	627	670	667	545
Refractive Lens	4000K/5000K Lumens	787	841	837	684
	3000K Lumens	664	710	708	655

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

Power and Lumens (Large + CBP)

Light Engine	AXCL6A	AXCL8A	AXCL10A
Power (Watts)	54	70	93
Input Current @ 120V (A)	0.45	0.58	0.77
Input Current @ 240V (A)	0.22	0.29	0.38
Input Current @ 277V (A)	0.19	0.25	0.33
Configuration			
Full Cutoff	4000K/5000K Lumens	141*10W=1410	
	3000K Lumens	122*10=1220	
Refractive Lens	4000K/5000K Lumens	151*10=1510	
	3000K Lumens	131*10=1310	

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

Power and Lumens Multipliers (Lumen Select Back Box + Axcent Small)

Configuration		~75% Nominal Output	~50% Nominal Output
Catalog Number	Material Number	Connect per Installation Instructions	
AXCS1A*	13109741 or 13109939 or Other	74%	50%
AXCS2A*	13109698 or 13109938 or Other	74%	50%
AXCS3A*	13109697 or 13109937 or Other	74%	50%
AXCS4A*	13109695 or 13109936	75%	40%
AXCS4A*	13495299 or 13495470 or Other	72%	50%
AXCS5A*	13109652 or 13109935	75%	40%
AXCS5A*	13495471 or 13495472 or Other	72%	50%

Power and Lumens Multipliers (Lumen Select Back Box + Axcent Large)

Configuration		~75% Nominal Output	~50% Nominal Output
Catalog Number	Material Number	Connect per Installation Instructions	
AXCL6A*	13645910 or 13645979	69%	47%
AXCL8A*	13645970 or 13645984	69%	47%
AXCL10A*	13645971 or 13645989	69%	47%
AXCL12A*	13645972 & 13645993	72%	49%

Energy and Performance Data

Lumen Maintenance (Axcent Small)

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)
Up to 3A	
25°C	88%
40°C	87%
50°C	87%
Up to 4A	
25°C	88%
40°C	87%
50°C	87%
Up to 5A	
25°C	87%
40°C	86%

Lumen Maintenance (Axcent Large)

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)
Up to 8A	
25°C	89%
40°C	87%
50°C	86%
Up to 10A	
25°C	88%
40°C	86%
50°C	85%
Up to 12A	
25°C	85%
40°C	82%

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.97

Control Options

0-10V This fixture is offered standard with 0-10V dimming driver(s) for use with a lighting control panel or other control method.

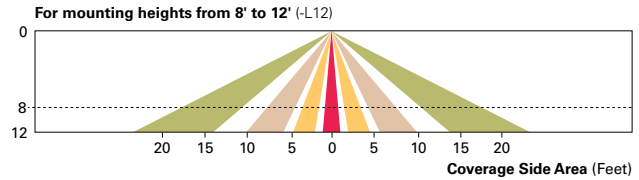
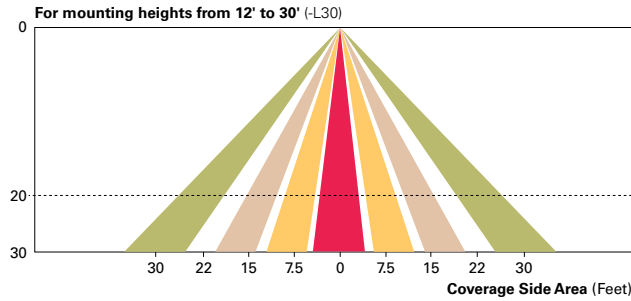
Photocontrol (PC1, PC2 and PC) Optional button-type photocontrol provides a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels.

After Hours Dim (AHD) This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MSP/DIM-LXX and MSP-LXX) These sensors are factory installed in the luminaire housing. When the MSP/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MSP/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of ten minutes. The MSP-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity.

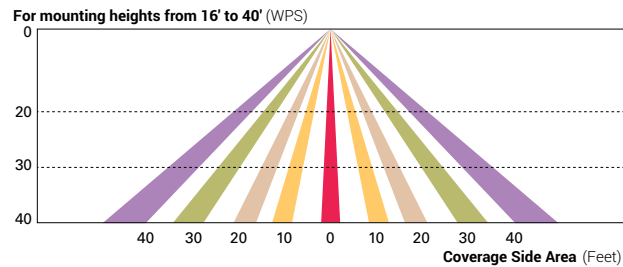
These occupancy sensors includes an integrated photocell that can be activated with the ISHH-01 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is ON. The ISHH-01 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

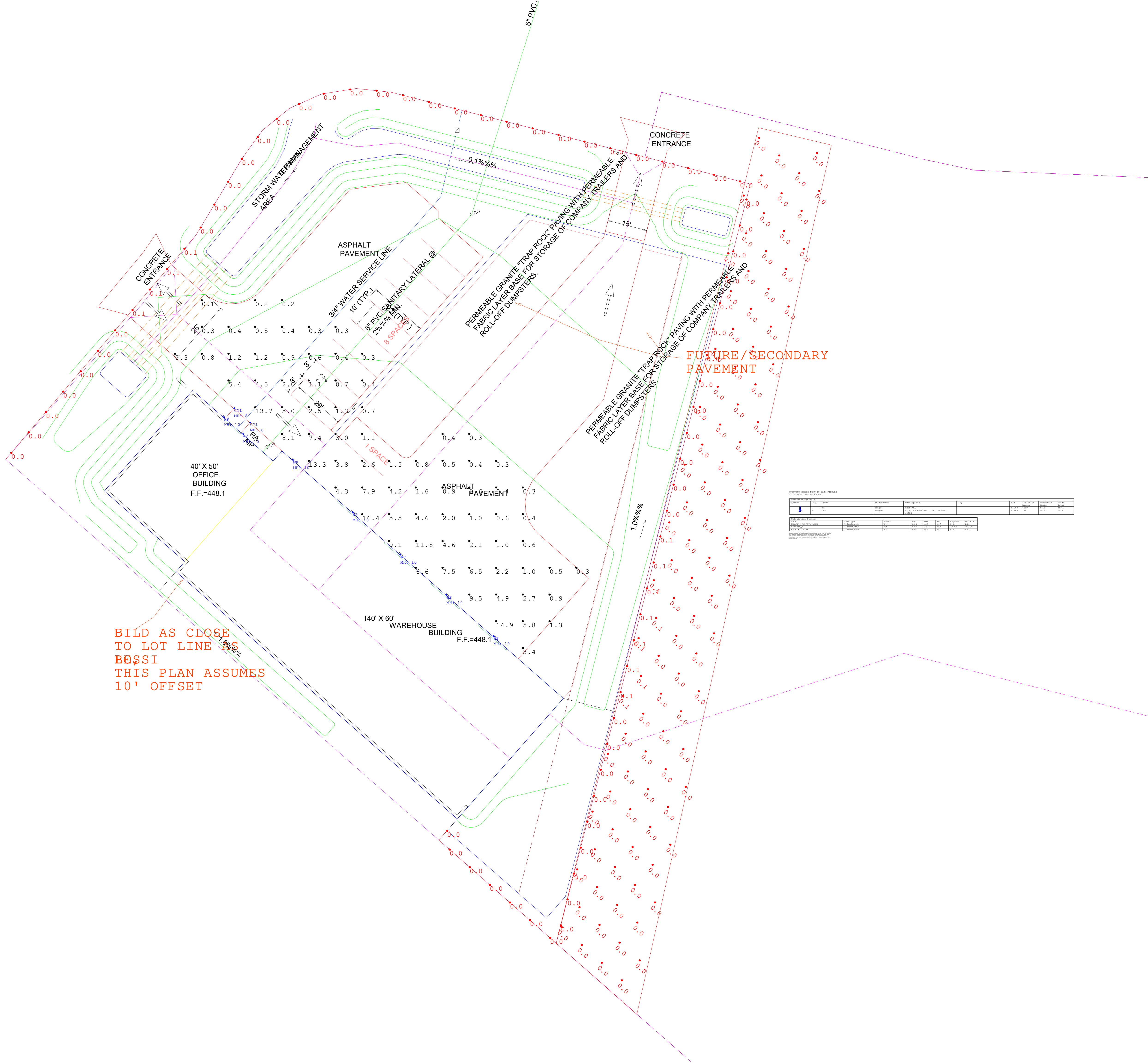
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-30'.



WaveLinx Wireless Control and Monitoring System The WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.





BUILD AS CLOSE
TO LOT LINE AS
PSS
BESSI
THIS PLAN ASSUMES
10' OFFSET

40' X 50'
OFFICE
BUILDING
F.F.=448.1

140' X 60'
WAREHOUSE
BUILDING
F.F.=448.1

ASPHALT
PAVEMENT

FUTURE/SECONDARY
PAVEMENT

REVISIONS

NO.	DATE	BY	REASON
1			

DESCRIPTION	DATE	BY	REASON

Description

LOT 1 of Subdivision of Adjusted Lot 23, Elm Point Industrial Park Plat 3

A tract of land being formerly, part of Lot 1, Subdivision of Adjusted Lot 23, Elm Point Industrial Park Plat 3, Township 47 North, Range 5 East of the Fifth Principal Meridian, St. Charles County, Missouri, being more particularly described as follows:

Commencing from the POINT OF BEGINNING at the intersection of the southwestern line of Lot 1, Subdivision of Adjusted Lot 23, Elm Point Industrial Park, a subdivision recorded in Plat Book 41 Page 70 of the St. Charles County records, and the southeastern right of way line of Elm Point Industrial Drive (50' wide) thence along said right of way line, North 41 degrees 18 minutes 55 seconds East, 77.26 feet to a point of curve to the left whose chord bears North 34 degrees 29 minutes 57 seconds East a distance of 65.28 feet, and whose radius point bears North 48 degrees 41 minutes 05 seconds West, 275.00 feet; thence northeasterly along the arc a distance of 65.44 feet to a point of reverse curve to the right whose chord bears North 66 degrees 00 minutes 43 seconds East, 62.02 feet, and whose radius point bears South 62 degrees 19 minutes 00 seconds East, 50.00 feet; thence northeasterly along the arc, a distance of 66.90 feet; thence South 75 degrees 39 minutes 33 seconds East, 137.91 feet to a point on the southern line of Walsh Ct. (50' wide) said point being the northwest corner of Lot 2 of the Subdivision of Adjusted Lot 23, Elm Point Industrial Park Plat 3; thence south 14 degrees 20 minutes 27 seconds west 292.87 feet along the common lot line with said Lot 2 to a point; then north 48 degrees 41 minutes, 00 seconds west 273.92 feet to the point of beginning, containing 49, 505 square feet or 1.14 acres according to calculations by St. Charles Engineering and Surveying, Inc. during the month of January, 2026.



Memorandum

To: Planning and Zoning Commission

From: John Boyer, Assistant Director of Community Development/Planning Manager

Date: February 9, 2026

Subject: Case No. TA-2026-01. (City of St. Charles) An application to amend Chapter 400 of the Code of Ordinances specifically concerning Data Centers.

In 2025, applications were received by the City of St. Charles proposing a new Data Center off Elm Point Road and Hwy 370. After review by the City and after considerable public input/debate, that project was withdrawn by the applicant and ultimately did not move forward.

On August 22, 2025, following the review of the above proposal, the City Council passed City Resolution #25-014 which imposed a one (1) year moratorium “on the acceptance of applications relating to the establishment or expansion of Data Centers” (see attached for reference). As stated in the Resolution, the intent of this moratorium was to “allow City staff the necessary time to study the issue and make recommendations to the City Council regarding revisions to the Zoning Code and other standards related to data centers”.

Since this moratorium, City Staff and City Officials have reviewed Data Centers’ effects nationwide as well as potential effects of these new uses, including but not limited to water consumption, power consumption, and noise impacts, upon City infrastructure, land uses, neighborhoods, etc. **After careful review, and as directed by the Mayor and City Council, City staff has prepared the attached text amendment to ban Data Centers as a primary use within the City of St. Charles.**

In the attached proposal (drafted by Planning Staff and City Legal Counsel), a definition of Data Center is being proposed as well as an amended definition of Warehouse. Currently in the Zoning Ordinance, Data Center is not defined and was previously interpreted to fall under the existing definition for Warehouse. In addition to defining Data Centers and amending the definition of Warehouses, Data Centers effectively become its own/specific new land use defined by the city.

While now defined in this proposal, this new land use is NOT being identified as a permitted or conditional land use within any Zoning District for the City. Per Section 400.130 of the Zoning Ordinance, Data Center would therefore be prohibited as proposed, due to the way the City’s zoning code is structured:

“Section 400.130 Uses Not Permitted by Provisions.

For the purposes of this Chapter, permitted uses are listed for the various districts. Unless

the contrary is clear from the context of the lists or other regulations of this Chapter, uses not specifically listed are prohibited.” (*emphasis added by staff*)

To restate it: by defining Data Center, amending Warehouse to specifically exclude Data Center, and then not listing Data Center as a permitted or conditional land use, this ordinance would have the effect of prohibiting data centers within the City.

While enacting a ban on any Data Centers as a primary use, this ordinance proposal does NOT ban any secondary/accessory functions of existing permitted land uses. The intent is not to prohibit normal or customary data processing, storage, and similar incidental facilities that are accessory and subordinate to otherwise permitted land uses (e.g., server rooms, etc.).

As required by the Zoning Ordinance, the Commission shall conduct a public hearing on the proposed text amendment, deliberate the proposed changes to the zoning code, and vote to provide a recommendation to the City Council. The City Council will conduct a public hearing on March 3, 2026, on the proposed text amendment, receive the Commission’s recommendation, and vote to introduce a bill to amend the zoning code to adopt the text amendment.

If the Commission recommends denial of the text amendment, the Commission is required to state the reasons for the negative recommendation to the City Council to be included in the record. Included is the draft ordinance which provides underlined text for the new language.

Recommended Motion

Motion to forward a recommendation of approval to City Council for application TA-2026-01 as submitted.

Bill No. _____

Ordinance No. _____

Sponsors:

AN ORDINANCE AMENDING SECTION 400.050 OF THE CODE OF ORDINANCES ADDING A DEFINITION OF DATA CENTER AND AMENDING THE DEFINITION OF WAREHOUSE.

WHEREAS, as provided by Section 400.020 of the Zoning Code, for the purposes of “promoting health, safety, morals and general welfare of the community” the City Council “places regulations and restrictions upon the height, number of stories and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts and other open spaces, the density of population, the preservation of features of historical significance and the location and use of buildings, structures and land for trade, industry, residence or other purposes”; and

WHEREAS, it is acknowledged that there is considerable interest and concern on the part of residents of the City of St. Charles related to the possible development of data centers within the City; and

WHEREAS, current zoning and development standards do not adequately address the unique characteristics, demands, and potential cumulative effects of data centers, which are a rapidly growing and evolving land use across the United States; and

WHEREAS, because of possible effects of data centers on the community, including but not limited to water consumption, power consumption, and noise impacts, the City Council has expressed its intent to consider revisions to the Zoning Code designed to protect the health, safety, and general welfare of the community; and

WHEREAS, the City’s comprehensive planning policies and zoning framework are designed to encourage compatible land uses, orderly growth, and efficient provision of public facilities and services, while protecting neighborhoods and the community from uses that impose disproportionate burdens on public infrastructure; and

WHEREAS, prohibiting data centers as a principal use is a reasonable land use policy choice intended to prevent incompatible siting and to avoid disproportionate infrastructure and service impacts, while preserving the City’s ability to accommodate customary accessory data processing and similar incidental facilities that are subordinate to and customarily associated with otherwise permitted primary uses; and

WHEREAS, Section 400.130 of the City’s Zoning Code provides that “For the purposes of this Chapter, permitted uses are listed for the various districts. Unless the contrary is clear from the context of the lists or other regulations of this Chapter, uses not specifically listed are prohibited.”; and

Bill No. _____

WHEREAS, by defining “Data Center” under the City’s Zoning Code (Chapter 400) without specifically listing it in any district the City’s Zoning Code, data centers are therefore effectively prohibited as a use in any district; and

WHEREAS, the City Council finds that the public interest is served and the health, safety, morals, and general welfare of the community are preserved by amending the City’s zoning regulations to prohibit data centers as a use within the City, while maintaining the integrity of the City’s comprehensive plan, protecting neighborhoods and business districts, and managing infrastructure and public safety risks in a prudent and fiscally responsible manner; and

WHEREAS, as required by Section 400.1010 of the Ordinances of the City of St. Charles, Missouri, a public hearing before the Planning and Zoning Commission occurred on _____, and the Commission forwarded a recommendation for _____ to the City Council.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, AS FOLLOWS:

SECTION 1. Section 400.050 of the Code of Ordinances of the City of St. Charles, Missouri is hereby amended as to the following definitions (to be inserted in alphabetical order) to read as follows:

Section 400.050. Definitions.

For the purpose of this Chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

DATA CENTER

A building, group of buildings, or facility whose primary use is data processing or data storage, and is used to house computer systems, servers, and associated components, such as but not limited to central processing units, graphical processing units, neural networks, quantum bits, quantum processors, memory, data routing, data storage, data warehouse, server farm, bitcoin mining, crypto processing, virtual private networks, virtual servers, artificial intelligence training or processing, image processing, cloud computing, email servicing, a telecom hotel, telehouse co-location, or any other term applicable to facilities that are used for such purposes.

WAREHOUSE

A place, other than a Data Center, for the storage of merchandise or commodities.

SECTION 2. It is the intention of the City Council and it is hereby ordained that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the

Underlined text is inserted. ~~Struck through text~~ is deleted.

Bill No. _____

City of St. Charles, Missouri, and the sections of this ordinance may be renumbered to accomplish such intention.

SECTION 3. This ordinance shall be in full force and effect from and after the date of its passage and approval.

Date Passed

Michael Galba, Presiding Officer

Date Approved by Mayor

Daniel J. Borgmeyer, Mayor

Approved as to Legal Form:

Attest:

Holly Magdziarz, City Attorney Date

Kimberly Hudson, City Clerk

Underlined text is inserted. ~~Struck through text~~ is deleted.

Resolution No. R25-014

Sponsors: Bill Otto, Mark Hollander, Vince Ratchford, Mary West, Denise Mitchell, Justin Foust, Brian Gould, Michael Galba, Bart Haberstroh, Steve Hollander

A RESOLUTION IMPOSING A ONE-YEAR MORATORIUM ON THE ACCEPTANCE OF APPLICATIONS RELATING TO THE ESTABLISHMENT OR EXPANSION OF DATA CENTERS.

Whereas, the City Council of the City of St. Charles from time to time reviews its ordinances to ensure that laws, development regulations, and processes preserve the quality of life for residents; and

Whereas, Under Section 400.020 of the Zoning Code, for the purposes of “promoting safety, morals and general welfare of the community” the City Council “places regulations and restrictions upon the height, number of stories and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts and other open spaces, the density of population, the preservation of features of historical significance and the location and use of buildings, structures and land for trade, industry, residence or other purposes”; and

Whereas, data centers are currently considered a warehouse use under the City’s Zoning Code (Chapter 400); and

Whereas, it is acknowledged that there is considerable interest and concern on the part of residents of the City of St. Charles related to the possible development of data centers within the City; and

Whereas, because of possible effects of data centers on the community, the City Council intends to consider revisions to the Zoning Code and other standards designed to protect the health, safety, and general welfare of the community; and

Whereas, current zoning and development standards may not adequately address the unique characteristics, demands, and potential cumulative effects of data centers, which are a rapidly growing and evolving land use across the United States; and

Whereas, the City Council believes it is necessary for a one-year moratorium on the acceptance or processing of applications or permits pertaining or related to the establishment or expansion of any data center uses, including, but not limited to, applications for building permits, site plan & architectural reviews, variances, flood plain development permits, conditional use permits, grading permits, and occupancy permits; and

Whereas, a moratorium will allow City staff the necessary time to study the issue and make recommendations to the City Council regarding revisions to the Zoning Code and other standards related to data centers, and ensure consistency and fairness by preventing nonconforming uses that could undermine a comprehensive zoning plan; and

Whereas, the City Council supports a one-year moratorium on the City's acceptance and processing of all applications or permits pertaining or related to the establishment or expansion of any data center uses, with said moratorium to be effective from the passage of this resolution by the City Council, for a period of one year.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF ST. CHARLES MISSOURI, AS FOLLOWS:

SECTION 1. The City of St. Charles, Missouri, hereby supports and authorizes a moratorium on the acceptance or processing of any applications or permits of applications pertaining to the establishment or expansion of any data center uses, including, but not limited to, applications for building permits, site plan & architectural reviews, variances, flood plain development permits, conditional use permits, grading permits, and occupancy permits, with said moratorium to run from the date of passage for a period of one year.

SECTION 2. For the purposes of this Resolution, "data center" shall mean a building, group of buildings or facility whose primary use is data processing or data storage, and is used to house computer systems, servers, and associated components, such as but not limited to central processing units, graphical processing units, neural networks, quantum bits, quantum processors, memory, data routing, data storage, data warehouse, server farm, bitcoin mining, crypto processing, virtual private networks, virtual servers, artificial intelligence training or processing, image processing, cloud computing, email servicing, a telecom hotel, telehouse co-location, or any other term applicable to facilities which are used for such purposes.

SECTION 3. This Resolution shall be in full force and effect from and after its passage by the City Council.

August 22, 2025
Date Passed

Michael Galba
Michael Galba, Presiding Officer

8-22-25
Date Approved by Mayor

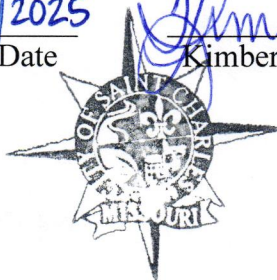
Daniel J. Borgmeyer
Daniel J. Borgmeyer, Mayor

Approved as to Legal Form:

Attest:

Holly Magdziarz 8/21/2025
Holly Magdziarz, City Attorney Date

Kimberly Hudson
Kimberly Hudson, City Clerk



RCA FORM (OFFICE USE ONLY)

Bill # N/A

MEETING/DATE: 8/22/2025

Regular Special Work Session

ATTACHMENT: YES NO

Report Resolution Ordinance

Request for Council Action

Ward(s): All

Sponsor(s): All Members of City Council

Description:

Consideration of a resolution imposing a one-year moratorium on the acceptance of applications relating to the establishment or expansion of data centers.

Contract Extension/Renewal: Yes No

Information Paper Attached: Yes No

Staff Recommendation: Approve Disapprove

Board/Committee/Commission Recommendation: Approve Disapprove

Summary:

The recent data center proposal has generated significant interest and concern by the community. Due to the concerns raised about data centers, staff has prepared a resolution that would impose a one-year moratorium on the acceptance by the City of any applications or permits relating to the establishment or expansion of data centers in the City of St. Charles.

This moratorium would give the City time to evaluate the potential effects of data centers, research best practices, and consider changes to the Zoning Code and other standards designed to protect the health, safety, and general welfare of the community, as well as to ensure consistency and fairness by preventing nonconforming uses. The moratorium would go into effect immediately on August 22, 2025 if passed at the August 22 meeting.

Budget Impact: (revenue generated, estimated cost, CIP item, etc.)

Fiscal Impact: _____ N/A N/A _____

Account #: N/A

Project #: N/A

RCA prepared by: ZT Dept. Dir. [Signature] Finance Dir. N/A Dir. of Admin. [Signature]