



LANDMARKS BOARD

AGENDA FOR REGULAR MEETING

March 23, 2026

LANDMARKS BOARD:

Steve Martin, Chair
Jill Ryan, Vice Chair
Michelle Beucke
Dave Settle
John Donnelly
Christi Tennyson
Steve Hollander, Council Liaison

Mesdames and Gentlemen:

On Monday, March 23, 2026, at 6:00 p.m., the City of St. Charles Landmarks Board will hold its regular monthly meeting in the Council Chambers on the fourth floor of City Hall, 200 North Second Street, St. Charles, Missouri. The agenda for this meeting is as follows:

1. Call to order and call the roll

2. Pledge of Allegiance

3. Consent Agenda

- (A) Case No. EC-2024-1 205 South Duchesne. Nate Droste. The applicant is requesting permission to removal a non-historic addition and revitalize the two-tier porch. [Individually Listed Landmark, Ward 10].
- (B) Case No. EC-2026-11 105 North Main Street. Penny Pitman. The applicant is requesting permission to replace a railing on a rear deck [Historic Downtown District, Ward 1].
- (C) Case No. EC-2026-13 701 South Riverside Drive. Jodi Devonshire. The applicant is requesting permission to replace four entry doors on the structure [South Main Preservation District, Ward 2].
- (D) Case No. EC-2026-15 1101 North 3rd Street. Donna Delaney. The applicant is requesting permission to make repairs to the front porch of the building [Frenchtown Preservation District, Ward 1].
- (E) Case No. EC-2026-20 519 South Benton Avenue. Katie Shereretz. The applicant is requesting permission to expand their fence in the rear yard of the property [Extended Historic Preservation District, Ward 2].

4. Removed Consent Items

5. Sign Permit Applications

- (A) Sign Permit No. 2026-826 140 North Main Street. Genevieve Kaufmann. The applicant is requesting permission to install a new projecting sign for the business “La Tia & Pancho’s Cantina & Grill” [Historic Downtown District, Ward 1].

6. Structure Review

- (A) Case No. EC-2026-6 620 South 5th Street. Isam Mohammad. The applicant is requesting after-the-fact approval to install new light fixtures on the property [Extended Historic Preservation District, Ward 2].
- (B) Case No. EC-2026-12 305 Morgan Street. James Reed. The applicant is requesting permission to construct a new cupola structure on the roof of the dwelling [Frenchtown Preservation District, Ward 1].
- (C) Case No. EC-2026-14 901 North 2nd Street. Mark Hicks. The applicant is requesting permission to replace the front balcony and rear deck on the structure [Frenchtown Preservation District, Ward 1].
- (D) Case No. EC-2026-16 825 South Main Street. Michelle Beucke. The applicant is requesting permission to make alterations to the rear garage and rear addition of the primary structure [South Main Preservation District, Ward 2].
- (E) Case No. EC-2026-17 725 North 4th Street. Ace Kessler. The applicant is requesting permission to make alterations to the front porch and rear porch on the dwelling [Frenchtown Preservation District, Ward 1].
- (F) Case No. EC-2026-18 1106 North 2nd Street. Marcia Randoll. The applicant is requesting permission to add an outdoor patio area and construct a rear addition to the existing structure [Frenchtown Preservation District, Ward 1].
- (G) Case No. EC-2026-19 300 North 5th Street. Jamey Schmitt. The applicant is requesting after-the-fact approval to make exterior alterations to the dwelling [Extended Historic Preservation District, Ward 2].
- (H) Case No. SP-2026-5 711 South Benton Avenue. Matt Barker. The applicant is requesting approval to demolish a rear garage and rear addition on the property [Extended Historic Preservation District, Ward 2].
- (I) Case No. SP-2026-6 912 South 4th Street. Mike Petrosino. The applicant is requesting approval to demolish an existing detached garage in the rear of the property [Extended Historic Preservation District, Ward 2].
- (J) Case No. SP-2026-7 912 South 4th Street. Mike Petrosino. The applicant is requesting approval to construct a new detached garage in the rear of the property [Extended Historic Preservation District, Ward 2].

7. Announcements/Report of Officers

8. Staff Reports

9. Approval of February 23, 2026, regular meeting minutes

10. Adjournment

The next regular meeting of the Landmarks Board is scheduled for

Monday, April 20, 2026, at 6:00pm

The submittal deadline for the April 20, 2026, meeting is March 23, 2026.

(April 6, 2026, for signs)

INCLEMENT WEATHER: In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY – for the hearing impaired).

The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk's Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.

Agenda posted on 3/19/2026 @ 9am by TRM



AGENDA ITEM #3A

Memorandum

To: Landmarks Board

From: Taylor Moore, Preservation Planner

Date: March 23, 2026

Subject: Case No. EC-2024-001 205 South Duchesne Drive

On February 12, 2024, the Landmarks Board reviewed and approved an application for the structure at 205 South Duchesne Drive. The approval involved the removal of a non-historic addition, restoration of a two-tier gallery, and repairs to damaged windows and shutters on the dwelling. The 18-month approval for this application as elapsed, and the applicant is requesting to receive an additional approval to begin the project. The original Staff Report is also attached to this memo.

As the scope of work has not changed, Staff finds the proposal to be compliant and appropriate for the property. The proposal will revitalize the structure, and the removal of a non-historic addition will further the structure's historic appearance. Therefore, Staff recommends approval of the proposed project, subject to the conditions recommended from the previous recommended motion.

Recommended Motion:

Motion to approve the removal of addition on the south elevations, restoration of the two-tiered gallery, and the repairs to windows/shutters at 205 South Duchesne Drive, subject to the condition recommended by Staff below:

- 1. The proper demolition permits are received from the Community Development Dept. before the frame addition is removed.**



STAFF REPORT
RESTORE HOUSE, BUILD ADDITIONS
205 SOUTH DUCHESNE DRIVE
CASE NO. C/A 2024-001(EC)

BY TAYLOR MOORE

APPLICANT: Droste Construction
1517 North 3rd Street
St. Charles, MO 63301

OWNER: Tim Gerler
1144 South Benton Avenue
St. Charles, MO 63301

ADDRESS/LOCATION: 205 South Duchesne Drive

ZONING: R1-E—Single-Family Residential District
Individually Designated St. Charles Landmark

PROPOSED USE: Single-Family Residence

MEETING DATE: February 12, 2024

BACKGROUND

The subject property is a one-acre parcel located at 205 South Duchesne Drive. The property holds the two-story, brick Italianate style Samuel Watson House, which was built in 1858, and a non-historic, two-car garage. The house is an individually-designated St. Charles Landmark and is also individually listed on the National Register of Historic Places as a fine local example of Italianate style residential architecture and for its association with Samuel Watson. Mr. Watson was a prominent local farmer, businessman, judge of the St. Charles County Court and founder and benefactor of Lindenwood College. In January 2018, the applicant submitted schematic drawings for additions to the Watson House. These additions are no longer planned, and the applicant is focused on restoring the property to its original state. The applicant is requesting approval to remove the front frame addition in order to restore the original two-tiered side gallery. Additionally, the historic house will be rehabbed, with the shutters, windows and other needed maintenance projects. The existing non-historic garage on the north side of the lot is also planning to be rehabbed, but at a later date and not subject to this review.

While this property does not fall within a local or national designated historic district, its status as an individually listed landmark requires any alterations to the property to receive Landmarks review. While there are no applicable design guidelines, since it does not fall within a district, the Board will utilize Secretary of the Interior’s Standards for Rehabilitation when reviewing this application. Attached to this report are photos of the property as well as renderings of the proposed plans.

APPLICABLE GUIDELINES

SECTION 400.1270. Certificate of Appropriateness.

A. Certificate Required.

1. Upon designation as an historic landmark or district, a certificate of appropriateness shall be issued by the HLPARB before any of the following actions are undertaken:
 - a. Any exterior alteration of the property requiring a building or demolition permit from the City.

D. Standards for Review.

1. In considering an application for a certificate of appropriateness, the HLPARB shall be guided by the Secretary of the Interior's Standards for Rehabilitation, in addition to any design guidelines in the ordinance.
 - a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
 - b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 - c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings shall not be undertaken.
 - d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
 - e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
 - f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and where possible materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
 - g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
 - h. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
 - i. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 - j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION

The removal of the 1978 frame addition is acceptable as it is not significant or original to

the house. This removal of the south elevation addition will re-open the two-tiered gallery along the side of the structure, which is visible from the street, and the gallery will be restored to its original appearance. Due to this addition being less than fifty (50) years old, it does not require special demolition review by the Board; however, the applicant will need to pull the appropriate demolition permits with the Community Development Department for utility disconnects. The scale, massing, placement, materials and design of the two-story gallery on the south elevation (original appearance) are appropriate. Additionally, the existing widows and shutters will be preserved where feasible, and others will be replaced to match the existing. The applicant plans to rehabilitate the existing non-historic garage which is in the rear of the property. This project will come before the Board at a later date.

In Staff's opinion, the applicant has complied with the Secretary of the Interior's *Standards for Rehabilitation* and the guidelines provided in the National Park Service. Therefore, recommends **approval** of the proposed alterations, subject to the following condition;

1. The proper demolition permits are received from the Community Development Dept. before the frame addition is removed.

Recommended Motion:

Motion to approve the removal of addition on the south elevations, restoration of the two-tiered gallery, and the repairs to windows/shutters at 205 South Duchesne Drive, subject to the condition recommended by Staff.



Figure 1: South elevation showcasing 1978 frame addition.



Figure 2: Aerial view of property



Figure 3: Frame addition on south elevation.

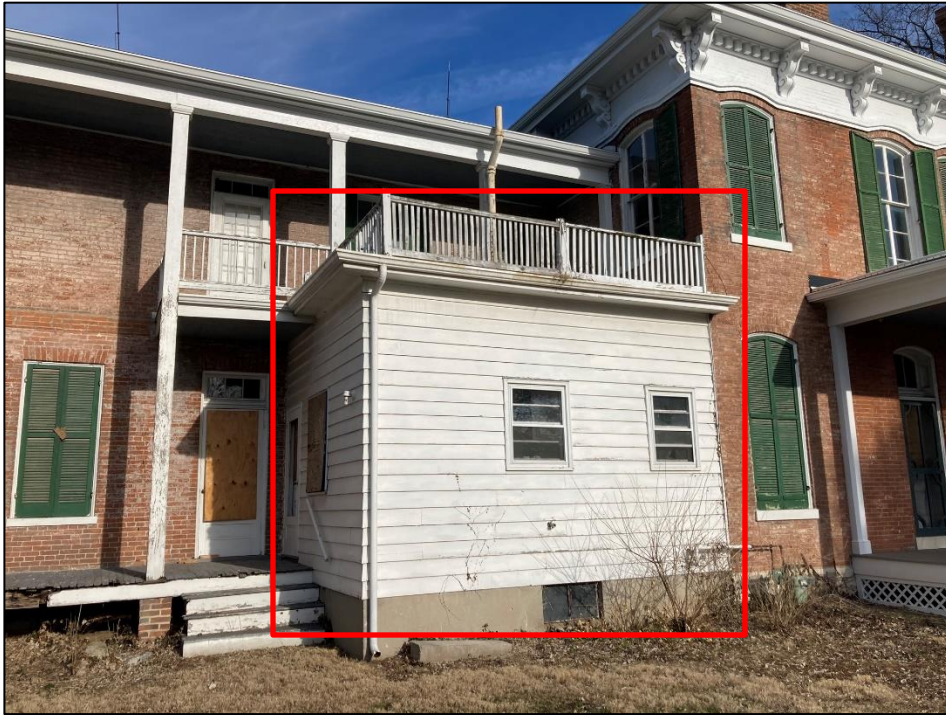


Figure 4: 1970's frame addition to be removed.



Figure 5: Proposed elevation showing two-tier gallery.



Figure 6: Historic photo showcasing original two-tier porch.



AGENDA ITEM #3B

STAFF REPORT
REAR RAILING
105 NORTH MAIN STREET
CASE NO. EC-2026-11

BY TAYLOR MOORE

APPLICANT: Penny Pitman
16010 State Highway TT
Marthasville, Missouri 63357

OWNER: Same

ADDRESS/LOCATION: 105 North Main Street

ZONING: HCD—Historic Commercial District
HDD –Historic Downtown District

USE: Commercial

MEETING DATE: March 23, 2026

BACKGROUND

The subject property is located at 105 North Main Street in the Historic Downtown District. According to the county parcel database, the brick commercial building was constructed in 1867. The building is considered a contributing resource to the St. Charles National Historic District. The applicant is proposing to replace the railing on an existing rear porch. Accompanying this report are photographs of the property as well as a site plan showcasing the location of subject porch.

APPLICABLE DESIGN GUIDELINES

SECTION 400.350: “HDD” HISTORIC DOWNTOWN DISTRICT.

C. Building, Sign and Occupancy Permits.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, including signs, or in any way change the outward appearance of any building or structure in the Historic Downtown District overlay without having obtained a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter IV: Guidelines for Historic Properties

Design of Alterations

- 4.1 design an alteration to be compatible with the historic character of the property.
 - a. Avoid alterations that would hinder the ability to preserve the historic architecture of the original building.

Materials:

4.20 Replacement material should appear similar in character to that used historically.

Porches:

- 4.48 A porch should be preserved, when physical conditions permit
- a. Replace missing posts and railings when necessary. Match the original proportions and spacing patterns of balusters.
- 4.49 If porch replacement is necessary, reconstruct it to match the original form and detail.
- a. Use materials that are similar to the original.
 - e. Porch balusters should have a top and bottom rail.
 - f. The replacement design will only be allowed if it is based on documented evidence.

STAFF RECOMMENDATION

The proposed project is essentially a like for like replacement of a damaged railing on a rear porch. The project is only requiring Landmarks approval due to requiring a building permit. The proposed tan polymer railing is like the existing, and will match in both design and appearance. Additionally, the porch is in the rear of the structure and is only minimally visible from First Capitol when traveling east and from the rear alleyway. Staff finds the proposed railing replacement to comply with the design standards for the district, and therefore recommends approval as submitted.

Recommended Motion:

Motion to approve the installation of a new railing on the rear porch of 105 North Main Street, as submitted.



Figure 1: Subject structure seen from North Main Street.



Figure 2: Subject rear porch seen currently.

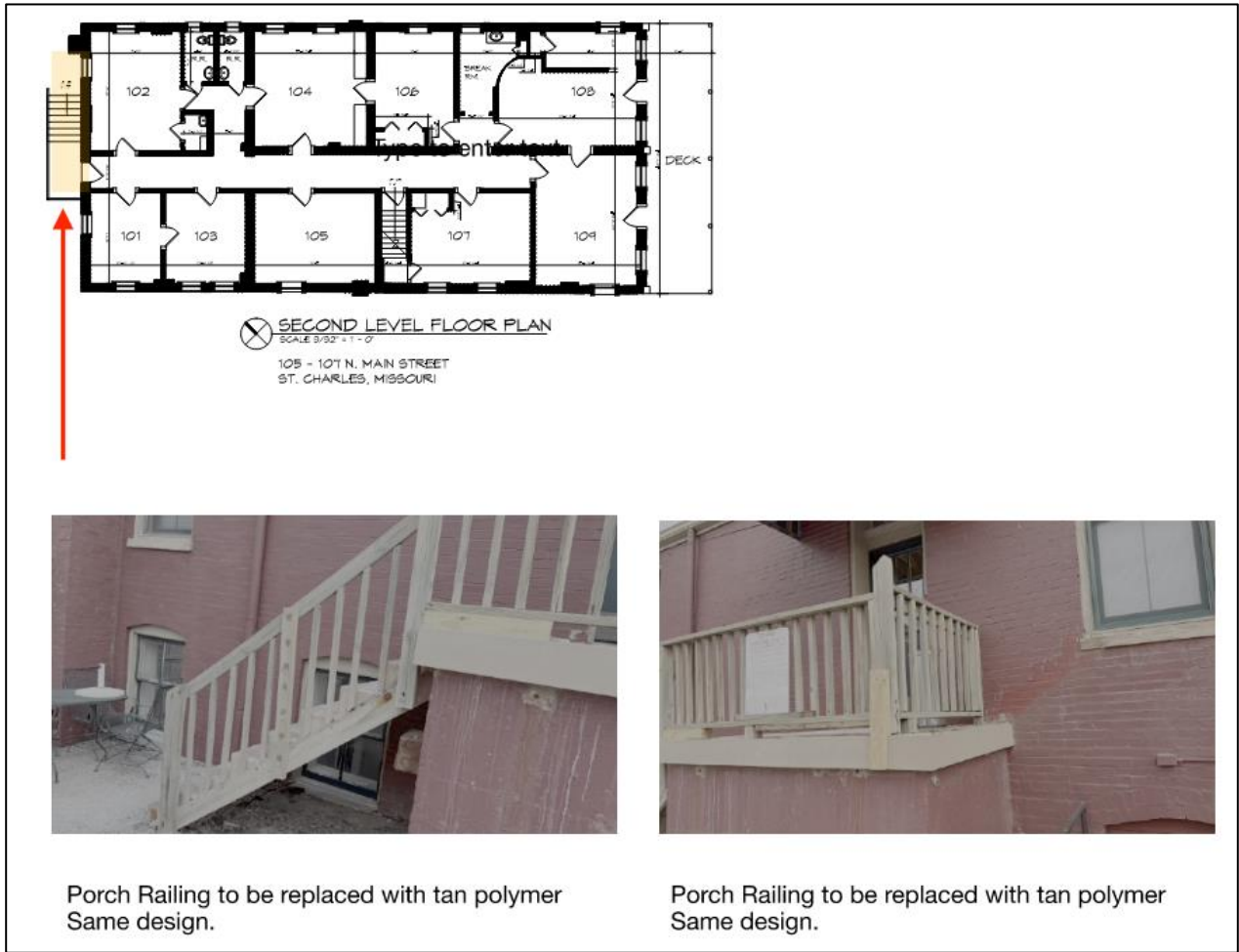


Figure 3: Subject rear porch location.



Figure 4: Replacement railing example.



Figure 5: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 105 N. Main Street Back porch facing alley

BUSINESS NAME (if applicable): _____

APPLICANT:

Penny Pitman

(Name)

16010 State Highway. TT, Marthasville, MO 63357

(Address)

636-734-5255. pitman@ironstarinc.com

(Phone & Email Address)

PROPERTY OWNER:

Iron Star Inc.

(Name)

Same as above

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1867

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

On the alley side of 105 N. Main. There was a 2 section porch which
Had some steps that were no longer attached to the upper platform.
Those steps and platform have been removed.
We are replacing the current deteriorated wood railing on the

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): Replace railing for existing concrete porch

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Replace existing damaged railing for porch with a tan polymer railing per attached

APPLICATION SUBMITTAL:


Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

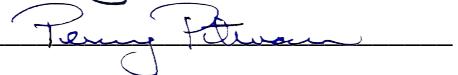
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 02/05/2026

Signature of the property owner:  Date: 02/05/2026

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

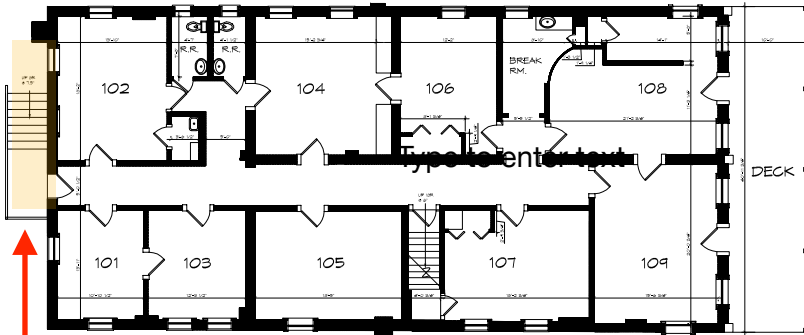
Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00



105 N. Main St.



Railing type/color to be installed to Replace existing treated wood.



⊗ SECOND LEVEL FLOOR PLAN
SCALE 3/32" = 1' - 0"

105 - 107 N. MAIN STREET
ST. CHARLES, MISSOURI



Porch Railing to be replaced with tan polymer Same design.



Porch Railing to be replaced with tan polymer Same design.

Existing Building

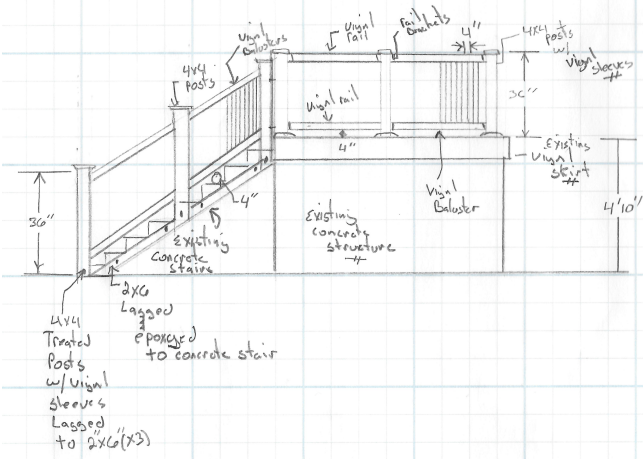
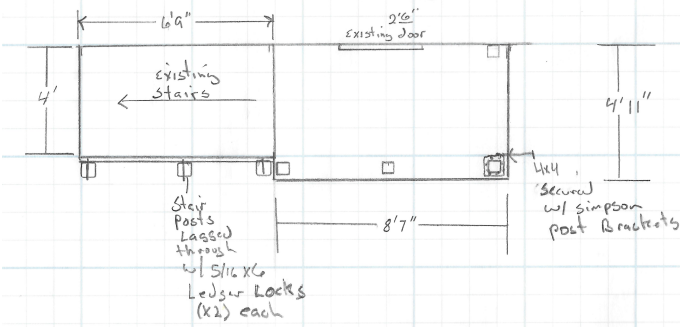
105 North Main

Guard rail repairs

Notes: New rails / Balusters / Posts.

Materials = Trex Transcend Vinyl
Colors: Rope Swing (Tan)

Scale = 1/4" = 1'



Stair Posts Lagged through w/ 5/16" X 6 Ledger Locks (x2) each

4x4 Secured w/ Simpson post Brackets

4x4 Posts
Vinyl Balusters
Vinyl Rail
4x4 Posts w/ Vinyl Stairs

4x4 Treated Posts w/ Vinyl Stairs Lagged to 2x6 (x3)
2x6 Lagged & Poured to concrete stair

Existing concrete structure

Vinyl Baluster

Existing Vinyl Stair



STAFF REPORT
NEW DOORS
701 SOUTH RIVERSIDE DRIVE
CASE NO. EC-2026-13

BY TAYLOR MOORE

APPLICANT: Jodi Devonshire
703 South Riverside Drive
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 701 South Riverside Drive

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial—Bike Stop Café

MEETING DATE: March 23, 2026

BACKGROUND

The subject property is 701 South Riverside Drive which is located in the South Main Preservation District. Constructed in 1920, the 2-story, side-gabled brick building houses the business “Bike Stop Café”. The applicant is requesting approval to replace four (4) sets of double entry doors on the front of the building (Perry Street pedestrian walkway elevation). Accompanying this application is illustrations of the new doors in subject location and photographs of the existing structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: “SMPD” SOUTH MAIN PRESERVATION DISTRICT

C. Special Building and Occupancy Permit.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter IV: Guidelines for Historic Properties

Site Planning & Site Features

4.5 Select replacement or new materials and features that are compatible with the existing character of the site

Architectural Details: Preservation, Treatment & Replacement

- 4.11 Preserve the historic design character of the building.
- 4.12 Minimize alteration of historically significant features.
 - a. First, maintain historically significant features that are intact. Then, repair those features that are deteriorated. Finally, replace only those features that are beyond repair.
- 4.13 Protect and maintain historically significant stylistic elements.
- 4.14 Historically significant materials and features shall not be altered or removed.
 - a. Examples of historically significant architectural features are porches, turned columns, brackets and jigsaw ornaments. The overall building or roof form is also significant.
 - b. Preserve original doors, windows and porches in their original condition when physical conditions permit.

Doors and Entries

- 4.34 Maintain the original proportions of a historically important door.
- 4.35 When replacing a historically significant door, use a design similar to those found historically on comparable buildings.

STAFF RECOMMENDATION

The subject four (4) doors face the Perry Street walkway between South Main Street and Riverside Drive. The current doors are painted, double entry, and feature 9 pane windows on the upper half. These doors are not original to the structure and were installed in 2012. Originally, the applicants were requesting to install four pairs of new wooden doors that featured 6 paned windows. Due to the existing doors already deteriorating in a short amount of time, the applicants are now requesting to install four pairs of GlassCraft fiberglass doors with 6 paned windows. These doors are expected to be more durable and be more sustainable for the structure and against the elements. The new doors are appropriate for the structure, despite having a slightly different grid pattern for the windows. The windows will be clear, unlike the photo example that shows a frosted paned window. The alteration will have no impact on the structure, and Therefore, Staff recommends approval of the new doors, as submitted.

Recommended Motion:

Motion to approve the replacement of four entry doors at 701 South Riverside Drive, as submitted.



Figure 1: Subject building seen from Perry Street walkway.



Figure 2: Proposed replacement fiberglass door.



Figure 3: Existing vs. proposed doors.

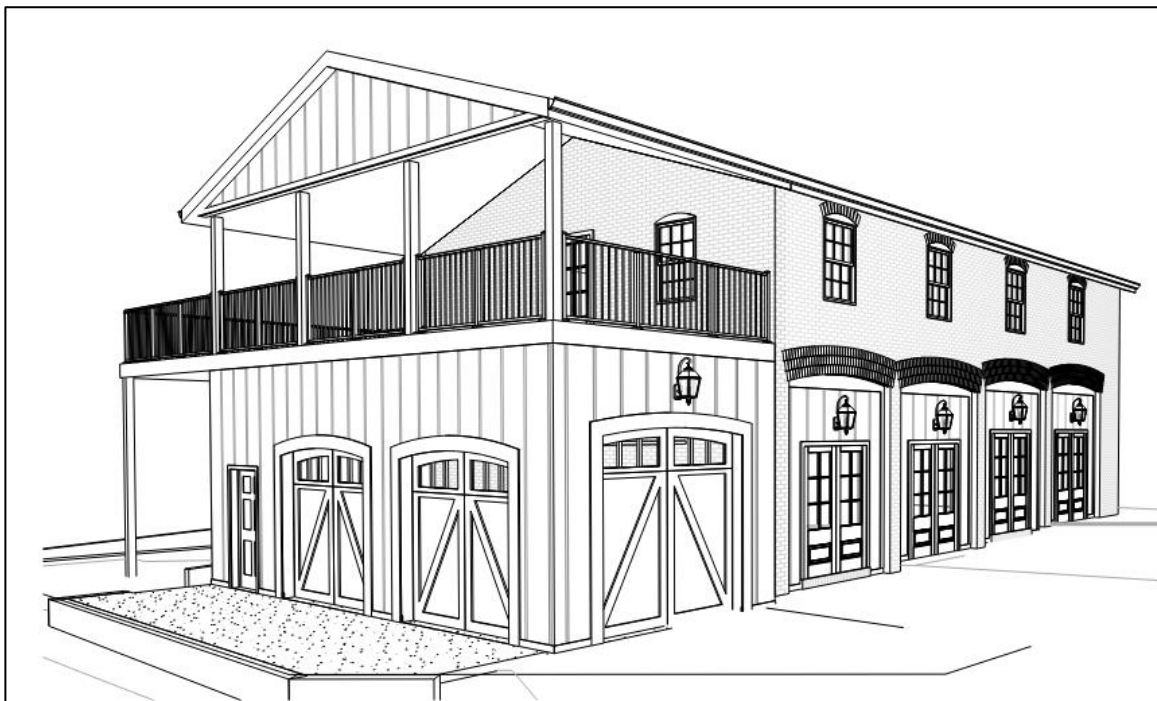


Figure 4: Rendering of proposed new doors on the Perry Street façade.



Figure 5: Existing doors example.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY 701 S RIVERSIDE DR

BUSINESS NAME BIKE STOP CAFE

APPLICANT:

JODI DEVONSHIRE
703 S RIVERSIDE DR
ST. CHARLES MISSOURI 63301
314.620.1491
BIKESTOPCAFE@GMAIL.COM

PROPERTY OWNER:

JODI DEVONSHIRE
703 S RIVERSIDE DR
ST. CHARLES MISSOURI 63301
314.620.1491
BIKESTOPCAFE@GMAIL.COM

HISTORIC DISTRICT LOCATION:

- | | |
|--|--|
| <input type="checkbox"/> Commons Preservation District | <input type="checkbox"/> Extended Historic Preservation District |
| <input type="checkbox"/> Frenchtown Preservation District | <input type="checkbox"/> Historic Downtown Preservation District |
| <input checked="" type="checkbox"/> South Main Preservation District | |

DATE OF ORIGINAL CONSTRUCTION 1920

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS

701 S RIVERSIDE DR is a two story, slab on grade brick mixed use masonry building with an outside dimension of 48' x 30'+- outside dimension. The front of the building faces north (Perry pedestrian walkway). The current propert owners operate Bike Stop Cafe from the ground level space and live in the residence above the cafe.

PROJECT DESCRIPTION (mark and explain each that may apply):

X Rehabilitate or restore: ____ Replace 4 sets of double entry doors facing Perry.

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Across the front, public facing side of the building there are currently 4 sets of painted, double entry doors that are in poor condition that need replacement. These doors were pre-hung-off the shelf, 9 Lite Style and Rail painted wood from Lowes. Installed during renovations by the previous owner in 2012.

The owners propose to replace all four sets of entry doors with the following:

Solid Knotty Alder Wood, Style and Rail 6-Lite 1-Panel. Manufactured to order by Hoelscher Manufacturing at 2400 S. Persimmon Street Tomball, TX 77375_713-869-6466

The only visual change is the existing doors are:

(Existing) Painted green 9 lite- double panel.

VS

(New) Factory Stained and sealed Knotty Alder Wood 6 lite- single panel.

The joinery, style and finish of these doors appear to be consistent with the South Main Preservation Districts historic guidelines.

Existing hardware is ADA antique bronze handsets and hinges with black interior closers.

New doorsets will have new ADA antique bronze handsets and hinges with black interior closers.

There will be no changes to the existing size, shape or operation of the doors.

New doors will be installed by the owner, who is a certified journeyman carpenter.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via

Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached.

The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

*Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Jodi Devorah Date: 2/19/20

Signature of the property owner: Jodi Devorah Date: 2/19/20

x Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.

Application Fees:

Exterior Changes & Demolitions: \$50.00

Site Plan (separate application required): \$200.00

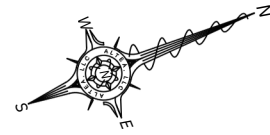
BOUNDARY RETRACEMENT AND IMPROVEMENT SURVEY

701-703 SOUTH RIVERSIDE DRIVE

ALOT OF GROUND BEING PART OF CITY BLOCK 18
ST. CHARLES COUNTY, MISSOURI

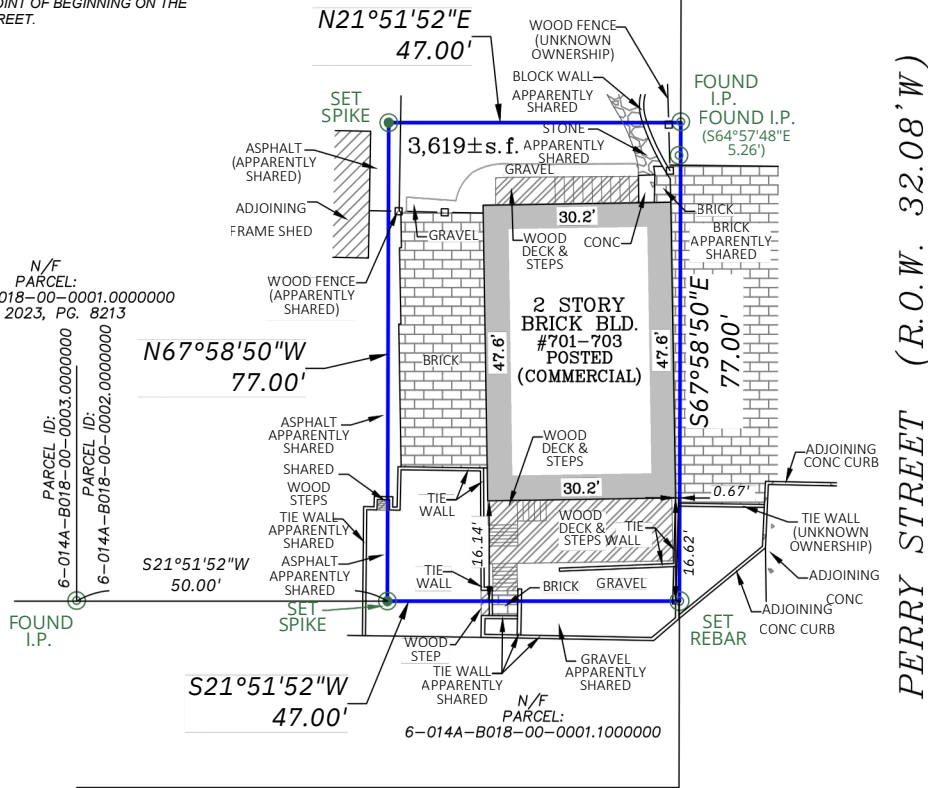
LEGAL DESCRIPTION

A LOT OF GROUND BEING PART OF CITY BLOCK 18 OF THE CITY OF ST. CHARLES, ST. CHARLES COUNTY, MISSOURI, FRONTING 77 FEET ON THE SOUTH LINE OF PERRY STREET, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE POINT OF BEGINNING, WHICH POINT IS IN THE SOUTH LINE OF PERRY STREET, EXACTLY 73 FEET EAST OF THE INTERSECTION OF THE EAST LINE OF MAIN STREET AND THE SOUTH LINE OF PERRY STREET; THENCE EASTWARDLY WITH THE SOUTH LINE OF PERRY STREET A DISTANCE OF 77 FEET, MORE OR LESS, TO A POINT; THENCE SOUTHWARDLY ALONG A LINE PARALLEL WITH MAIN STREET A DISTANCE OF 47 FEET, MORE OR LESS, TO A POINT; THENCE EASTWARDLY ALONG A LINE PARALLEL WITH PERRY STREET A DISTANCE OF 77 FEET, MORE OR LESS, TO A POINT; THENCE NORTHWARDLY PARALLEL WITH MAIN STREET, A DISTANCE OF 47 FEET, MORE OR LESS, OF THE POINT OF BEGINNING ON THE SOUTH LINE OF PERRY STREET.

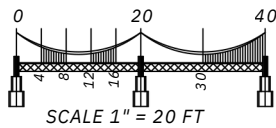


LOT 1
N/F
PARCEL:
6-014A-B018-00-0001.0000000
D.B. 2023, PG. 8213

N/F
PARCEL:
6-014A-B018-00-0001.0000000
D.B. 2023, PG. 8213



SOUTH RIVERSIDE DRIVE (R.O.W. 36.30' W) (FORMERLY RIVERSIDE DRIVE)



BASIS OF BEARINGS
BASIS OF BEARINGS ARE GRID NORTH, DERIVED FROM TIES TO MISSOURI STATE PLANE COORDINATES USING GPS OBSERVATIONS REFERENCED TO MODOT VRS NETWORK ON NOVEMBER 05, 2025 WITH THE FOLLOWING PARAMETERS:

ZONE: MISSOURI EAST 2401
HORIZONTAL DATUM: NAD83
VRS BASE STATION PRS1258813930
(CORS-ID MOOF)
N (Y) = 324131.152 (METERS)
E (X) = 232983.491 (METERS)
ELEVATION = 497.01'
COMBINED FACTOR = 0.99993690
VERTICAL DATUM: NAVD88 (GEOID12B)

1"=0.08'
2"=0.17'
3"=0.26'
4"=0.33'
5"=0.42'
6"=0.50'
7"=0.58'
8"=0.67'
9"=0.75'
10"=0.83'
11"=0.92'

CONTROLLING CORNERS USED:
I.P. - SOUTHEAST CORNER LOT 3

TITLE NOTES

THIS DRAWING HAS BEEN COMPILED WITHOUT THE BENEFIT OF A CURRENT CERTIFICATE OF TITLE EXAMINATION AND, THEREFORE, MAY NOT CONTAIN EASEMENTS, RESERVATIONS, EXCEPTIONS, RESTRICTIONS AND COVENANTS OF RECORD.

LINE TYPES

—○— CHAIN FENCE	—■— BOUNDARY LINE
— — — EASEMENT	—□— WOOD/VINYL
— — — LINE	—x— METAL FENCE
— — — SETBACK LINE	— — — BUILDING
— · · · · · PARCEL LINE	— — — FOOTPRINT
— · · · · · U.S. SURVEY/ SECTION LINE	— — — CENTERLINE

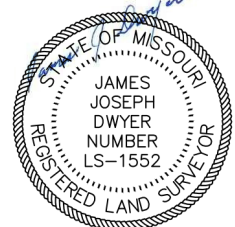
I.P.=IRON PIPE I.R.=IRON ROD (S)=SURVEYED
(R)=RECORD NR=NON-RADIAL P.B.=PLAT BOOK
PG.=PAGE D.B.=DEED BOOK S.F.=SQUARE FEET
N/F=NOW OR FORMERLY C/L=CENTERLINE
CONC=CONCRETE R.O.W.=RIGHT-OF-WAY

SURVEYOR'S STATEMENT

AT THE REQUEST OF JODI DEVONSHIRE, ALTEA, LLC, HAS DURING THE MONTH OF NOVEMBER, 2025, EXECUTED A BOUNDARY RETRACEMENT & IMPROVEMENT SURVEY OF A LOT OF GROUND BEING PART OF CITY BLOCK 18 OF THE ST. CHARLES COUNTY, MISSOURI, RECORDS, TOGETHER WITH THE LOCATION OF OBSERVED IMPROVEMENTS THEREON, AND THAT THE RESULTS OF SAID SURVEY ARE IN MY PROFESSIONAL OPINION, CORRECTLY INDICATED ON THE ABOVE PLAT. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY. BUILDING SETBACK INFORMATION DEPICTED HEREON IS FROM THE RECORD PLAT OR CITY BLOCK MAP (IF APPLICABLE). PLANNING AND ZONING RESTRICTIONS WERE NOT OBTAINED OR ADDRESSED AS A PART OF THIS SURVEY. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY ONLY AND IS NOT TRANSFERABLE. UTILITY LOCATES WERE NOT REQUESTED AND NO UTILITIES OR SEWERS WERE LOCATED IN CONJUNCTION WITH THIS SURVEY. THE OPINION OF THE ORIGIN OF THE FENCES SHOWN HEREON IS FROM EVIDENCE OBSERVED DURING THE COURSE OF THIS SURVEY, AND MAY INCLUDE: FENCE CONSTRUCTION, OCCUPANT TESTIMONY, OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE OR CERTAINTY GIVEN AS TO THE ORIGIN OR OWNERSHIP OF FENCES. THIS BOUNDARY SURVEY IS NON-TRANSFERABLE, DUE TO EACH MUNICIPALITY HAVING DIFFERENT ZONING SETBACK REQUIREMENTS, OVERHANGS SHOWN ON THIS SURVEY MAY BE IN VIOLATIONS THAT THE SURVEYOR IS NOT AWARE OF AND MAKES NO WARRANTIES TO THIS AFFECT.

AS AGENT OF ALTEA, LLC
DATE 11/7/25

ALTEA, LLC
Consulting Land Surveyors
39065 OLD HWY 94, SUITE 600
ST. CHARLES, MO 63304
PHONE: (636) 477-6000
FAX: (636) 898-0950
WWW.ALTEALS.COM
© 2025 ALTEA, LLC



PROJECT NUMBER: **25-2917-00**

1 OF 1	FIELD CREW & FIELD DATE:	CLS-11/6/2025
	DRAFTER:	LD/SY
	DRAFTED ON:	11/6/2025
	REVIEWER:	BLH
	REVIEWED ON:	11/6/2025

MORE DOOR DETAILS

6-Lite 1-Panel True Divided Lite (TDL) Knotty Alder wood exterior double door

True divided lite (TDL) design: each glass opening contains an independent piece of glass

Standard clear glass is beveled, tempered, insulated with 1/2" thick Low-E coating for added energy efficiency.

Engineered stile and rail construction protects the door against warping, shrinking and splitting.



EXISTING DOORS



PROPOSED DOORS



EXISTING DOORS



PROPOSED DOORS



STAFF REPORT
FRONT PORCH REPAIRS
1101 NORTH 3RD STREET
CASE NO. EC-2026-15

BY TAYLOR MOORE

APPLICANT: Donna Delaney
1101 North 3rd Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 1101 North 3rd Street

ZONING: R-1E—Single-Family District
FPD—Frenchtown Preservation District

PROPOSED USE: Bed & Breakfast

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Frenchtown Preservation District, the subject property is the 1½ -story French Colonial styled house that was constructed in 1864. The structure is also considered a contributing resource to the Frenchtown National Register Historic District. The applicant is requesting approval to repair and replace several elements of the front porch. The floorboards have become warped over time and many of the posts have become rotten. Accompanying this application are material examples and photographs of the property.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

**ARCHITECTURAL DESIGN GUIDELINES FOR THE
FRENCHTOWN PRESERVATION DISTRICT**
Chapter III: Guidelines for All Historic Properties

Materials

- 3.19 Replace missing historically significant features in kind.
- c. If later covering materials exist that have not achieved historic significance, Removing them is strongly encouraged. Asphalt siding that covers original Wood siding, for example, may be removed, as may vinyl siding.
- 3.20 Base the replacement of missing historically important elements on accurate information about original features.
- a. The design should be substantiated by physical or pictorial evidence. This will avoid creating a misrepresentation of the building’s genuine heritage.
 - b. Overall, a high percentage of the materials and features of the property should be historic ones in order to retain the integrity of the resource as an historic property.
 - c. Use only materials and details similar in character to those employed historically on compatible buildings.
- 3.23 Consider removing later covering materials that have not achieved historic significance; examples, include vinyl, aluminum, or asphalt siding, or permastone.

Porches

- 3.55 Porches shall be kept in good repair.
- b. Original wood work, when at all possible, shall be retained or replicated in a manner consistent with the time period. A model example will be considered for changes.
- 3.56 Porch flooring must replicate the original and be consistent with the time period.

STAFF RECOMMENDATION

While the project is technically general maintenance to the property, the scope of work requires a building permit, and therefore needs approval from the Landmarks Board. The project involves installing additional framing under the porch for extra support. The new porch flooring is to be Azek 51/4” in the color “coastline”, which closely matches the existing. The applicant has indicated the floorboards will run perpendicular to the house to retain the historic configuration. The new Fypon posts, railing, and brackets will closely resemble the existing decorative elements of the porch to preserve the structures front façade. Vinyl is an approved material within the district for replacement items, as long as it closely resembles the original. Staff finds the project to be compliant with the design guidelines for the district, and that the work will have no adverse impact on the property itself or the surrounding neighborhood. Therefore, Staff recommends approval of the project, as submitted.

Recommended Motions:

Motion to approve the front porch repairs at 1101 North 3rd Street, as submitted.



Figure 1: 1101 North 3rd Street seen presently.



Figure 2: Front porch on property.

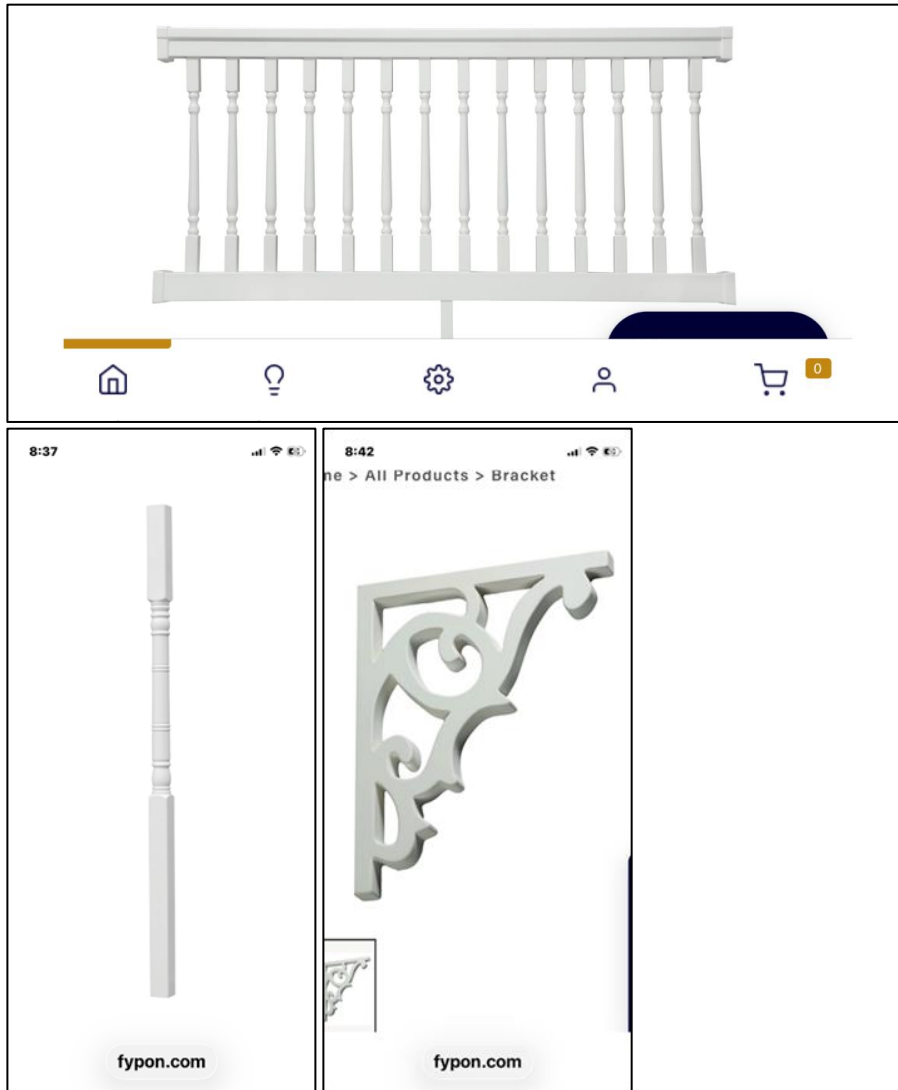


Figure 3: Material examples for front porch repairs.



Figure 4: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1101 N. 3rd Street

BUSINESS NAME (if applicable): _____

APPLICANT: Donna Delaney
(Name)

1101 N. 3rd St.
(Address)

636-448-1111 donnamdowell@gmail.com
(Phone & Email Address)

PROPERTY OWNER: SAME
(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1864

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Currently the porch flooring is warped & as it gets hot it protrudes causing a tripping hazard. The porch posts are rotting and some other boards are rotting.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: rotting wood and old floor

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

see Attached

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Wong Delay

Date: 2/10/26

Signature of the property owner: Wong Delay

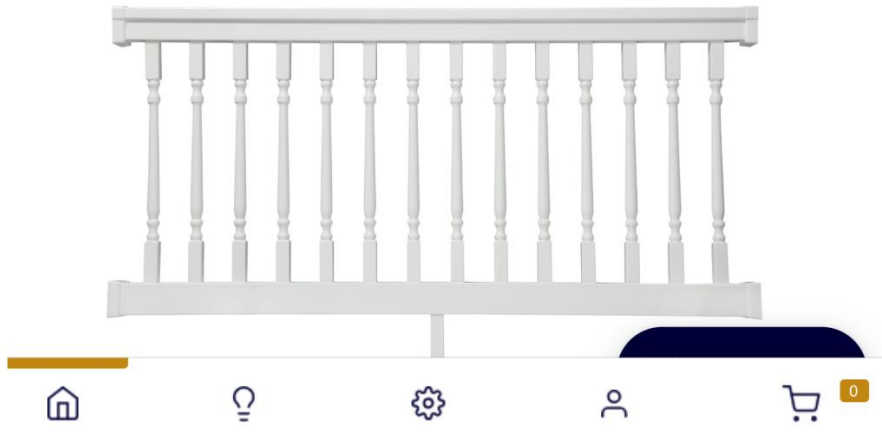
Date: 2/10/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan: \$200.00
Exterior Changes & Demolitions: \$50.00

Delaney Porch Project
1101 N. 3rd Street
St Charles MO 63301



Delaney Porch Project
1101 N. 3rd Street
St Charles MO 63301

- Install additional framing under porch to have proper base to fasten flooring to.
- Install new Fypon posts, railing, and brackets, if necessary. New rail would be 36" per code requirements.
- Remove porch flooring and address any rotten wood structure, if necessary, at extra cost.
- Cover wood before installing new tongue and groove porch flooring with ice and water shield.
- Install new porch flooring type Azek 5 1/4" color coastline.
- Remove stair treads and risers and railing to porch and cover with composite treads and Azek trim for risers.
- Posts to be Fypon Durapoly #80500688CL color white.
- Railing to be Fypon vinyl #740836CLDF and stairs #740836CLDS color white.
- Brackets Fypon #BIK10X12 if needed color white.

Gables and Eaves

- Remove rotten fascia and replace with Azek shingle moulding on all areas.

Trim on post of rear of house

- Replace rotten section with Azek trim
- Remove all debris from site



STAFF REPORT
NEW FENCE
519 SOUTH BENTON AVENUE
CASE NO. EC-2026-20

BY TAYLOR MOORE

APPLICANT: Katie Shereretz
519 South Benton Avenue
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 702 South Sixth Street

ZONING: R-2 – Two-Family Residential District
EHP – Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

The subject property is 519 South Benton Avenue which is located in the Extended Historic Preservation District. Built in 1890, the 1½-story, brick Federal style house is situated on a corner lot. The applicant is requesting approval to reconfigure the rear fenced yard closer to the Pike Street frontage. A site plan accompanies the application, and photographs of the property and the proposed fence design appears at the end of this report.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

(C) *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

SECTION 400.550: FENCES.

1. *General provisions.*
 - e. A permit is required for the construction or replacement of fences.
 - f. Fences constructed in the Extended Historic Preservation District or any other superimposed historic district shall require approval by the Landmarks Board.
2. *Residential districts.*
 1. A fence or wall not more than four (4) feet in height, with distances between its pickets being equal or greater than the width of its pickets may project into any required front yard.
 - a. A fence or wall, not more than four (4) feet in height, may project into any required

- front yard. On a double frontage lot as defined in Section 400.050, fences or walls of no more than a height of seven (7) feet may project into the yard space at the rear of the building, provided no portion of the frontage along the same street where the fence is proposed to be located is utilized as the principal entrance for the main building of any lot in the block. Fences or walls may project into other required yards, provided such fences and walls do not exceed a height of seven (7) feet.
- c. Such fences or walls located on a corner lot and within a required front yard on the side of a property used as a principal entrance to the building on the lot is prohibited.
 - d. Such fences or walls located on a corner lot and within a required front yard on the side of a property not used as a principal entrance to the building on the lot shall not exceed seven (7) feet in height, shall be set back from the property line at least ten (10) feet.
4. *Construction and Maintenance.*
- a. All fences must be constructed in a workmanship-like manner so that the horizontal and vertical support posts are inside of the fence area or hidden from both the neighbor's and general public's view. Fences must be straight and run parallel to the lot line.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design
- b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
 - c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - (4) In any design in which the structure frame is exposed to view, the structural materials shall be compatible within themselves and harmonious with their surroundings.
 - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
 - b. Logic of design.
 - c. Exterior space utilization.

- d. Architectural character
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF RECOMMENDATION

The existing fence is currently setback a significant distance from the Pike Street frontage, which limits the amount of usable backyard space for the dwelling. The proposal calls for relocating the fence line approximately 18' closer to the Pike Street frontage, resulting in a setback of approximately 5' from the property line. A row of small evergreen trees currently lines this frontage, and the proposed fence would be constructed directly behind these plantings. The fence complies with front yard fence standards in residential districts, as it will be 4' in height and feature spacing between pickets that is greater than the width of the pickets themselves. Additionally, the fence will not be located in front of the house and will not impact visibility at the corner intersection. The material and design of the proposed fence will match the existing fence, which is appropriate for the district. Therefore, Staff finds the proposed fence relocation appropriate and recommends approval, as submitted.

Recommended Motion:

Motion to approve the installation and relocation of a 4' fence at 519 South Benton Avenue, as submitted.



Figure 1: Subject property seen from South Benton Avenue.

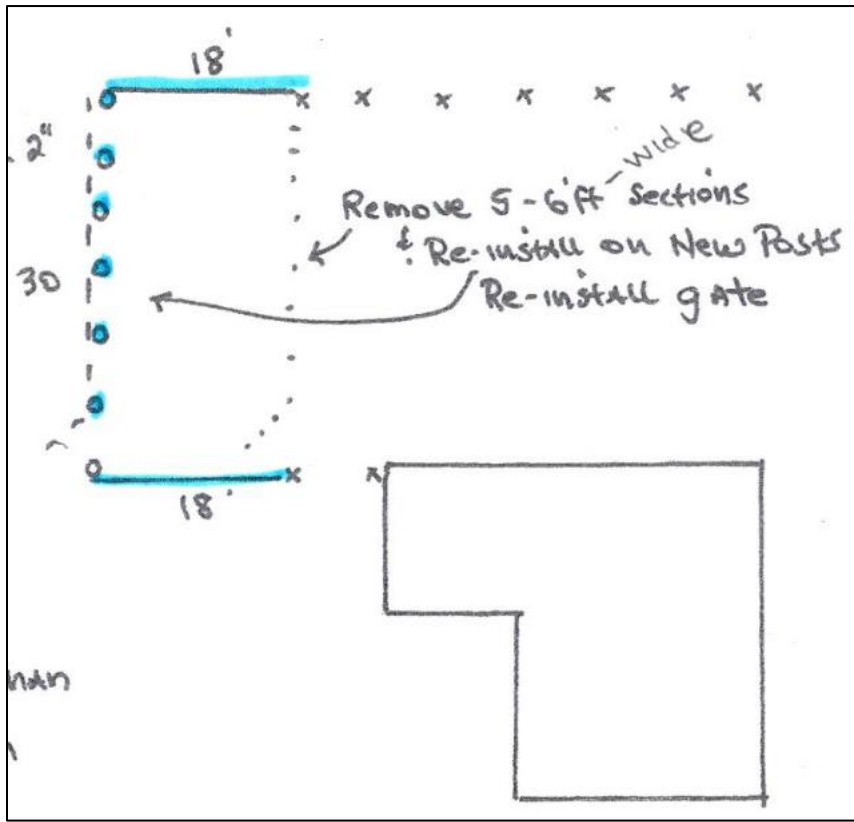


Figure 2: Site plan showcasing relocation of fence line towards Pike Street.



Figure 3: Proposed fence examples.



Figure 4: Photograph of where relocation is to be.



Figure 5: Existing location of fence on Pike Street frontage.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____

①



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 519 S. Benton Ave

BUSINESS NAME (if applicable): _____

APPLICANT:

Katie Shereretz
(Name)

519 S. Benton Ave 63301
(Address)

314-795-9715 katieconfluence@gmail.com
(Phone & Email Address)

PROPERTY OWNER: same

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District Extended Historic Preservation District

Frenchtown Preservation District Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: fence was existing when we purchased in 2021

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Currently we have 30' of 4' tall, black, 3-rail aluminum fence installed in our backyard
facing the side street - Pike Street.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: Moving the fence 18' outward.

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

We would like to move our 4' tall aluminum fence 18' toward the side street - Pike Street
This would include adding 36' of 4' tall, black, 3-rail aluminum fence. 18' along the back
fence line and 18' to the front fence line that meets the rear most corner of the house.

We would remove the existing 30' of fence the faces Pike Street, install new aluminum
post 18' out and reinstall the fencing on the new post.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescymogov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: _____ Date: _____

Signature of the property owner:  _____ Date: **03/12/26**

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00

BASIS OF BEARINGS:
ASSUMED; USE FOR
DETERMINATION OF
ANGLES ONLY

LEGEND	
---	ESMT LINE
---	SETBACK LINE

NO. 24-0446
DATE: 4/12/2024
DRAWN BY: CST
CREW: JR/WW
REV. 04-15-2024

BOUNDARY AND IMPROVEMENT SURVEY A LOT OF GROUND IN BLOCK 190 ST. CHARLES COUNTY, MISSOURI

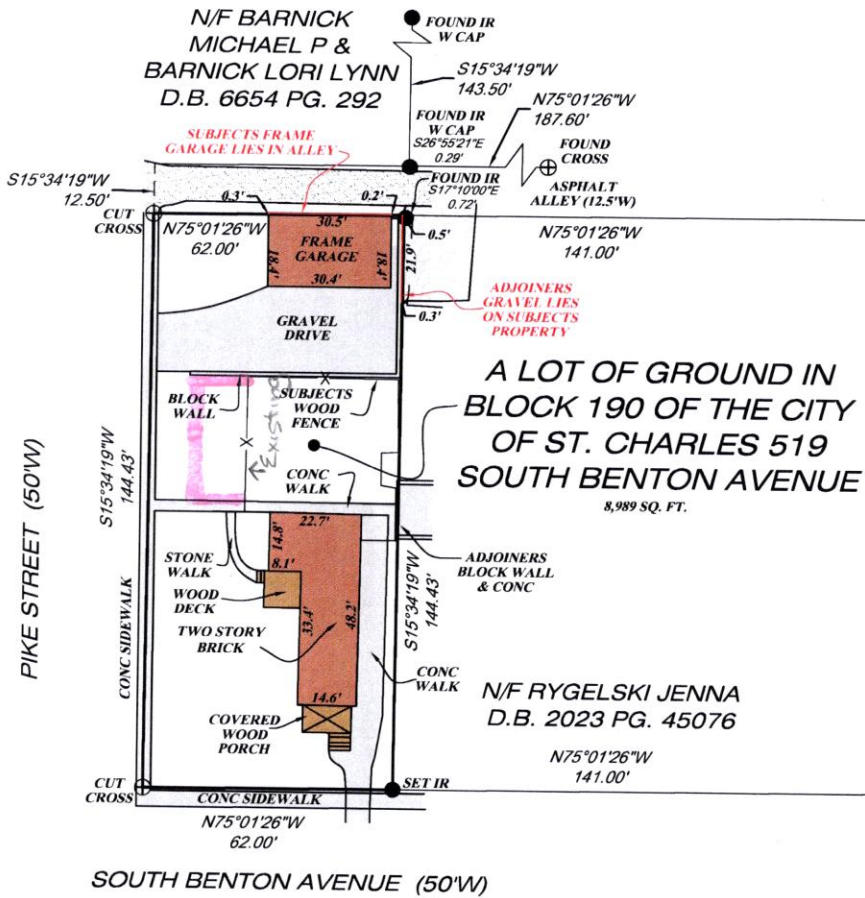
SCHEDULE B SECTION II:
NO EASEMENTS LISTED

THIS IS TO CERTIFY THAT AT THE REQUEST OF KATIE SHERETZ / OLD REPUBLIC TITLE COMPANY OF ST. LOUIS INC. AND PER TITLE COMMITMENT NUMBER 2401120, WE HAVE DURING THE MONTH OF APRIL, 2024 EXECUTED A BOUNDARY AND IMPROVEMENT SURVEY ON A LOT OF GROUND IN BLOCK 190 OF THE CITY OF ST. CHARLES, A SUBDIVISION IN ST. CHARLES COUNTY, MO. THE RESULTS REFLECT THE CONDITIONS FOUND AT THE TIME OF THE SURVEY. ARE CORRECTLY SHOWN ABOVE AND CONFORM TO THE CURRENT STANDARDS FOR URBAN CLASS PROPERTY BOUNDARY SURVEYS AS ISSUED BY THE MISSOURI DEPARTMENT OF AGRICULTURE AND THE MISSOURI BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND PROFESSIONAL LANDSCAPE ARCHITECTS. THIS SURVEY WAS CONDUCTED UNDER THE IMMEDIATE PERSONAL SUPERVISION OF THE UNDERSIGNED REGISTERED LAND SURVEYOR. THE EASEMENTS, RESTRICTIONS, AND BUILDING LINES SHOWN ARE BASED ON RECORD PLAT INFORMATION OR ON INFORMATION SUPPLIED BY THE CLIENT. NO INVESTIGATION HAS BEEN MADE BY THD DESIGN GROUP AS TO THE PRESENT STATUS OF ANY EASEMENTS, RESTRICTIONS, OR BUILDING LINES, SHOWN OR NOT SHOWN, AFFECTING THE TRACT SURVEYED.

I, BRIAN J. FISCHER, A DULY REGISTERED LAND SURVEYOR, LICENSED IN THE STATE OF MISSOURI HEREBY STATE FOR AND ON BEHALF OF THD DESIGN GROUP TO KATIE SHERETZ / OLD REPUBLIC TITLE COMPANY OF ST. LOUIS INC., THAT A SURVEY OF THE ABOVE DESCRIBED PREMISES WAS CONDUCTED BY ME OR UNDER MY RESPONSIBLE CHARGE ON APRIL 9, 2024; THAT SAID SURVEY AND THE ATTACHED PRINT HEREON WERE EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR BOUNDARY SURVEYS AND THAT THE SURVEY ACCURATELY REFLECTS ALL IMPROVEMENTS, INCLUDING FENCES, RECORDED EASEMENTS AND UNRECORDED VISIBLE EASEMENTS.

- NOTES:
1. ADJOINERS GRAVEL DRIVE LIES ON SUBJECTS' PROPERTY.
 2. SUBJECTS FRAME GARAGE FALLS INTO ALLEY.
 3. FENCE OWNERSHIP (IF SHOWN) IS BASED UPON FIELD OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY PROPERTY OWNERS.
 4. BUILDING LINES AND EASEMENTS SHOWN PER ABOVE MENTIONED RECORD PLAT.

LOT DESCRIBED PER TITLE:
A lot of ground in Block 190 of the City of St Charles, Missouri (also known as part of Welcker's Addition to the City of St Charles) fronting 62 feet on the West side of Benton Avenue (formerly called five and one half (5 1/2) Street or Middle Street) and running back with the same width Westwardly of 145 feet, more or less, to an alley, bounded on the North by property conveyed to Frank J Naeke by deed recorded in Book 136 at page 228 on the East by Benton Avenue on the South by Pike Street and on the West by said alley.

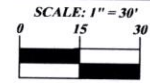


THD DESIGN GROUP, INC.
"your solution for engineering and surveying"

148 CHESTERFIELD INDUSTRIAL BL VD, STE E, CHESTERFIELD, MO 63005
TEL: 636-294-2972
FAX: 636-294-3027
WEB: THDDESIGNGROUP.COM
CORPORATE CERTIFICATE OF AUTHORITY # 2011004412

STATE OF MISSOURI
BRIAN J. FISCHER
PROFESSIONAL LAND SURVEYOR
NUMBER LS-02584

BRIAN J FISCHER
MISSOURI P.L.S. #2584
THD DESIGN GROUP, INC.



21

2c

555 Pike St
St Charles, Missouri
Google Street View
Jul 2025 See more dates

Share

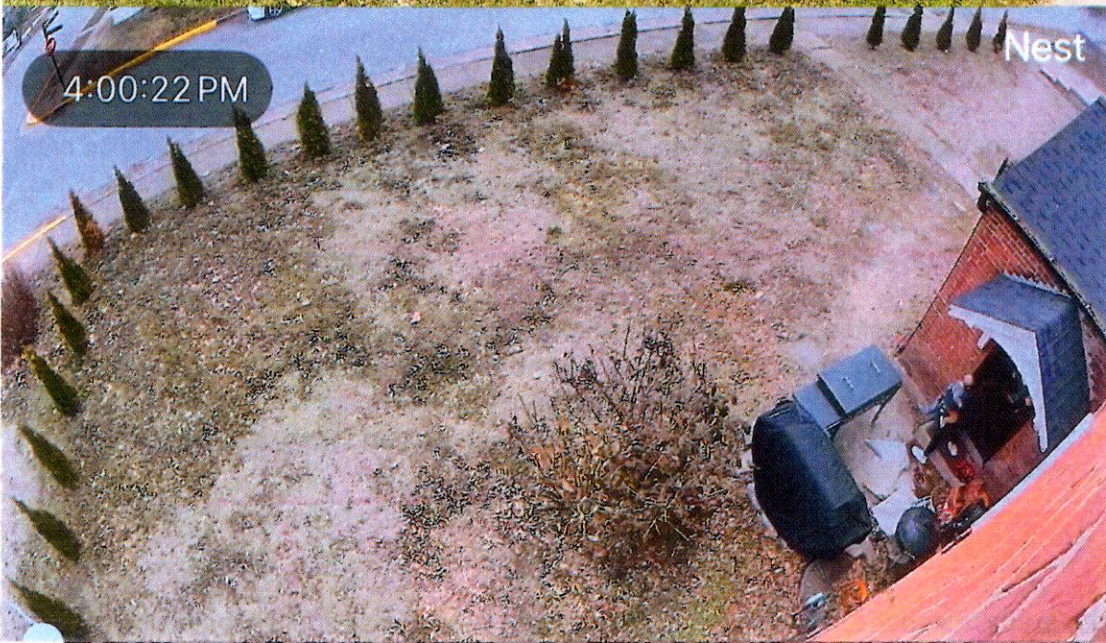


519 South Benton Ave.

2c



← Existing



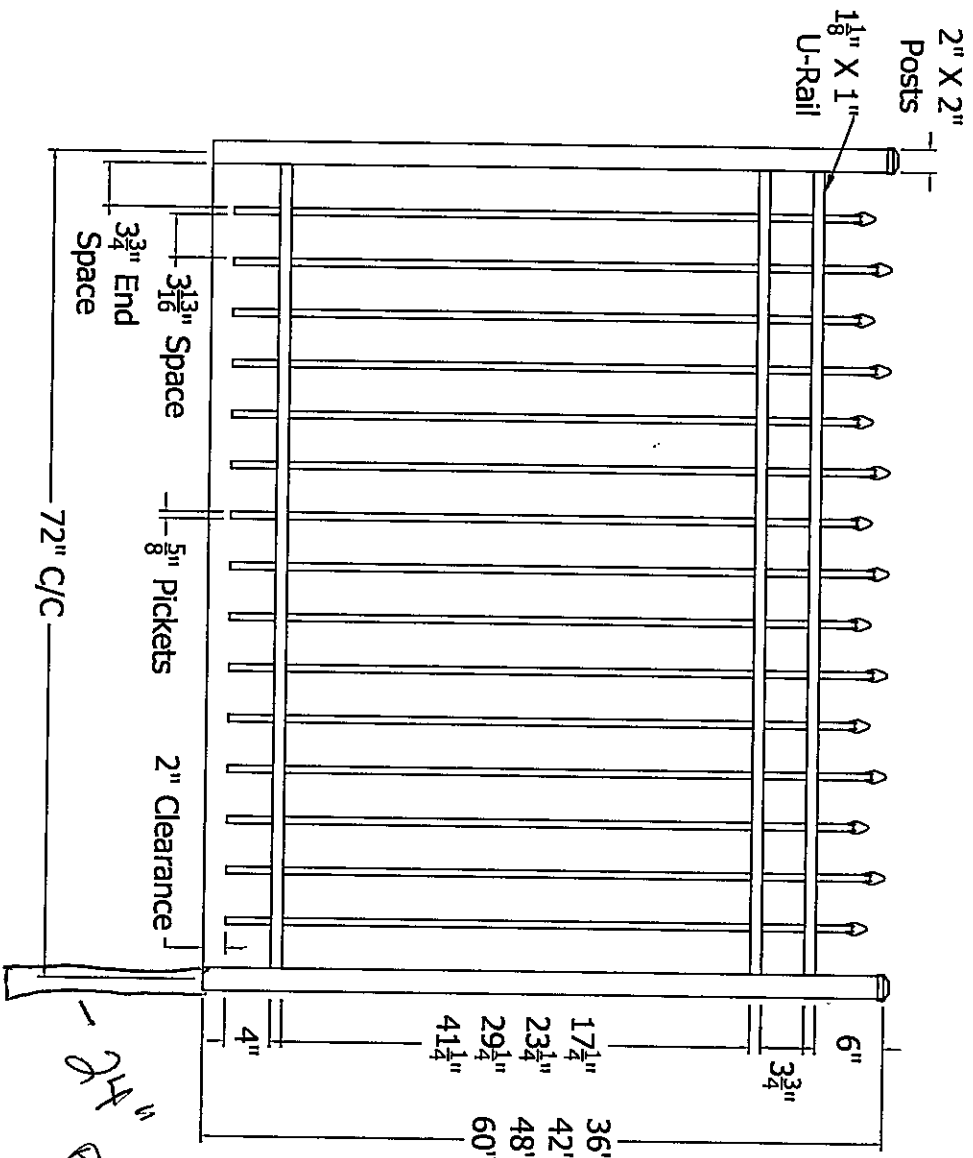
On Wed, Mar 11, 2026 at 11:24 AM Kim Santoyo <ksantoyo@easterfence.com> wrote:

Hi Katie and Dan,

Attached you will find the application. Take a look at it and see if you agree with what we have so far. Would you happen to remember the date the fence was installed? A close guestimate should be fine.

Your site plan will provide lot size and existing structures. They are asking for photos of existing structures. I think they want pictures of any existing fencing, and where the fence attaches to the house. We can provide elevations of the new fencing. They are also asking for a sample of the fencing. Maybe Dan can get that for us.

2d



24" pier depth

REV.	LOC.	REVISION	DATE
B		Updated Layout	12/17/20

Finiai Options	
Quad	Triad
Fleur-de-lis	

Regis
ALUMINUM FENCING

DSI Digger Specialties Inc.
Transforming the Outdoor Living Experience™
3446 US 6 EAST
Bremen, IN 46506
diggerspecialties.com

DRAWN BY: EH
DATE DRAWN: 12-02-2019
SCALE = 1"=1'
DRAFT NO.: 20191202-1E
LOC: 2700mm/1000 Series/3000 Sps Sections/Updated Standard Drawings

STYLE: **3132**

AS SHOWN: 60" T

1 2 3 4

2d



Black
4' Regis aluminum fence

Proposal / Service Contract

www.easterfence.com

Ph (314) 892-8500
Fax (314) 892-8713

2981-Sher



2/19/2020 cash

Since 1957



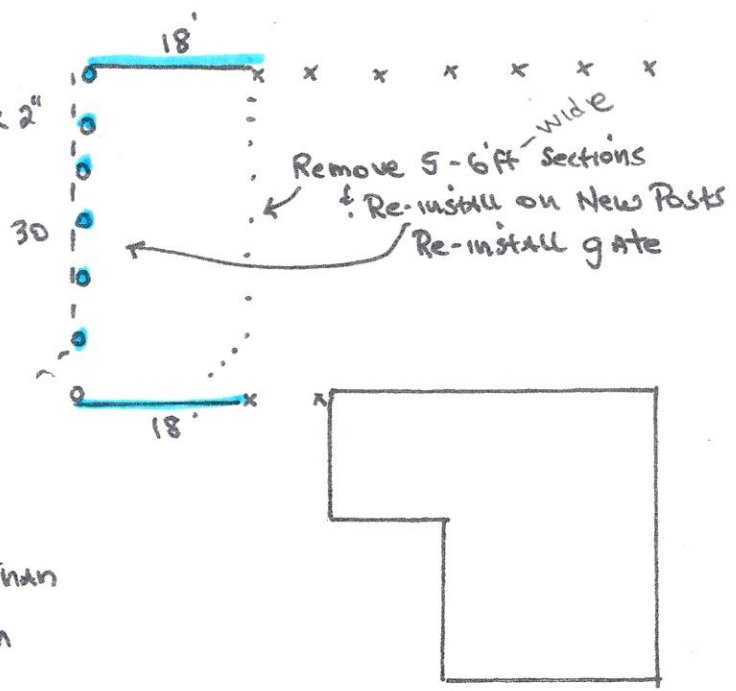
6071 Lemay Ferry Rd.
St. Louis, MO 63129

PROPOSAL SUBMITTED TO KATIE Shereretz		PHONE 314 795-9715	CONTACT NAME
STREET 519 S. Benton Ave		JOB NAME ALUMINUM	
CITY, STATE AND ZIP CODE St. Charles, Mo. 63301		JOB LOCATION BACKYARD	
ESTIMATOR Dan Bryson	DATE OF PLANS 2-11-20	EMAIL Katie.confluence@gmail.com	JOB PHONE

This Proposal/Service Contract is made and entered into by and between Easter Fence, Inc. and Customer for the performance of the services as set forth below. All measurements and product dimension specifications are nominal. In consideration of the terms and agreements expressly set forth herein, Easter Fence, Inc. and Customer hereby agree as follows: Easter Fence, Inc. shall provide the following services (the "Work"):

Type Regis ALUMINUM Height 4ft Style 3-RAIL Color BLACK Footage 36 Other _____
Options: w/TRIAD FINISH + Re-install

Permit Easter will get
Tear Out 30ft + gate / Re-use on New Posts
Pickets 5/8"
Posts 4-2" o.b.b Line / 5-2" o.b.b Blank / 2-1.25 Blank 2"
Post Caps Ball caps (2")
Approx. Bottom Height 2" off ground
Top Contour



Notes to Installers:
42-1 1/8 x 1" wall Brackets

Note: New fence spec's may be Different Than Existing Fence. Rail spacing may Not match

Initial _____
Financed Price \$ 6100.00 or Cash/Check \$ 5700.00

Payment to be made as follows (a 3% surcharge will be added for credit card payments):
\$ 2850.00 Deposit. The Balance Due In Full Upon Completion. NOTE: This Proposal may be withdrawn by us if not accepted within 30 days.

SEE THE ATTACHED TERMS AND CONDITIONS OF CONTRACT WHICH ARE EXPRESSLY INCORPORATED HEREIN BY REFERENCE. BY SIGNING THIS CONTRACT, CUSTOMER ACKNOWLEDGES RECEIPT AND ACCEPTANCE OF THE TERMS AND CONDITIONS OF CONTRACT.

IN WITNESS WHEREOF, the parties hereto have executed this Service Contract effective the date and year below.

EASTER FENCE, INC.
By: _____ X [Signature] X 2/19/20
Accepted Authorized Signature Date Customer Date

Kim Santoyo

From: Katie S <katieconfluence@gmail.com>
Sent: Wednesday, March 11, 2026 5:24 PM
To: Kim Santoyo
Cc: Dan Bryson
Subject: Re: 519 South Benton Avenue

Hi Kim and Dan!

I have no idea when that fence was put in just because it was already there when I moved in. I am guessing 2021ish.

Regarding photos, I am traveling for work through the weekend. I have attached photos of the existing fence area and the trees that I want to extend the fence line too, because I pulled them from zillow and my cameras.

Regarding the property line, there is no possible way to make this fence 10 feet from the property line, it wouldn't be worth the extension. I spoke with Taylor on the phone and he said that as long as the fence was not a privacy fence and that it was 4 feet with appropriate distances between the slats, we are fine. I just have SO much yard that I cannot use for my dogs and future babies. The intersection is such a hazard with speeding cars, I just need to be able to keep my family safe.

Please let me know if you have any questions and what my personal tasks are now regarding submission.



AGENDA ITEM #5A

**STAFF REPORT
HANGING SIGN
140 NORTH MAIN STREET
PERMIT NO. 2026-0826**

BY TAYLOR MOORE

APPLICANT: Genevieve Kaufmann
2879 Beechwood
Maryland Heights, MO 63043

OWNER: David & Ruth Clukey
1138 Spruce Forest Drive
Lake St. Louis, MO 63367

ADDRESS/LOCATION: 140 North Main Street

ZONING: CBD—Central Business District
HDD—Historic Downtown District

USE: Commercial—La Tia & Pancho’s Cantina & Grill

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Historic Downtown District, the subject property is 140 North Main Street. The applicant is requesting approval to install a hanging sign from underneath the balcony for the business, “La Tia & Pancho’s Cantina & Grill.” The rectangular shaped sign will be approximately 33.9” x 19.7” (4.6 square feet) and will be constructed of wood wrapped in aluminum. The background will be a dark green and the name “La Tia & Pancho’s Catina & Grill” will be in a light yellow in vinyl lettering in the center of the sign encompassed by a wide octogen border in the same tone. Accompanying the application are illustrations of the proposed sign.

APPLICABLE DESIGN GUIDELINES

SECTION 400.350: “HDD” HISTORIC DOWNTOWN DISTRICT.

C. Building, Sign and Occupancy Permits.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, including signs, or in any way change the outward appearance of any building or structure in the Historic Downtown District overlay without having obtained a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

SECTION 400.1510: GENERAL STANDARDS FOR THE SUPERIMPOSED DISTRICTS

A. Approval Required.

1. Generally, Signs in the "SMPD," "HDD," "FHD," and "LMPD" Superimposed Districts require a Certificate of Appropriateness from the HLPARB before their installation unless exempted from the permitting requirement by this Division.
2. "EHP" District. Signs in the "EHP" District require a Certificate of Appropriateness from HLPARB if they are displayed on a building constructed before 1960, unless exempted from the permitting requirement by this Division.

SECTION 400.1530: BUILDING MOUNTED SIGNS IN THE SUPERIMPOSED DISTRICTS

B. Projecting Signs.

- 1 Projecting sign permitted per business in the HDD

ARCHITECTURAL DESIGN GUIDELINES FOR THE HISTORIC DOWNTOWN DISTRICT

Chapter 8: Guidelines for Signs

Sign Context

- 8.1 Consider the building front as part of an overall sign program.
 - a. Coordinate the overall façade composition, including ornamental details and signs.
 - b. Signs also should be in proportion to the building, such that they do not dominate the appearance.
- 8.2 A sign should be subordinate to the overall building composition.
 - a. A sign should appear to be in scale with the façade.
- 8.3 A sign should be in character with the material, color and detail of the building.
 - a. Letter styles and graphic designs used historically are most appropriate.
 - b. If letter styles are to be used that were not seen in the district historically, they should have serifs.

Permitted Sign Types

- 8.4 Each building is permitted a maximum total area of signage (from all signs: wall, projecting and window) of one square foot per each lineal foot of frontage of the building.
- 8.6 Projecting signs may be considered.
 - a. Each building within the district is allowed one projecting sign per tenant. Projecting signs must clear a sidewalk or walkway by at least eight feet.
 - b. A projecting sign should be located near the business entrance, just above the door or to the side of it.

Sign Materials

- 8.13 Sign materials should be compatible with that of the building façade.
 - a. Painted wood and metal are appropriate materials for signs. Their use is encouraged. Unfinished materials, including unpainted wood, are discouraged because they are out of character with the historic context.
 - b. Plastic is not permitted, except for flush, adhesive lettering.
 - c. Highly reflective materials are inappropriate.
- 8.14 Sign colors should be chosen from the approved Victorian paint color equivalency chart.
- 8.15 Sign brackets and hardware should be compatible with the building and installed in a workman-like manner.

Sign Content

- 8.17 Use colors for the sign that are compatible with those of the building front.

- a. Also limit the number of colors used on a sign. In general, no more than three colors should be used.
- 8.18 Typefaces that are in keeping with those seen in the area historically are encouraged.
- a. Generally, these are typefaces with serifs.
 - b. Avoid sign types that appear too contemporary.
- 8.19 Select letter styles and sizes that will be compatible with the building front.
- a. Avoid hard-to-read or overly intricate typeface styles.
 - b. Signs in the district should be oriented to pedestrians rather than automobiles. Sign lettering should be sized accordingly.

Sign Lighting

- 8.20 The light for a sign should be an indirect source.
- a. Light should be directed at the sign from an external, shielded lamp.
 - b. A warm light, similar to daylight, is appropriate.
 - c. Light should not shine directly in the eyes of pedestrians.

STAFF RECOMMENDATION

The proposed sign size, placement, and materials are appropriate for the district. The simple green and yellow color scheme aligns with the approved color palette and is more consistent with district standards than the existing sign. To ensure compatibility with the historic character of the area, the sign will need to utilize black chains and mounting hardware. Additionally, the sign will need a minimum head clearance of eight (8) feet above the public right-of-way to comply with city code. Therefore, Staff recommends approval of the proposed sign, subject to the conditions outlined below:

1. All hardware to hang the sign shall be black to maintain historic appearance
2. The sign shall have a head clearance of at least 8' above the sidewalk.

Recommended Motion:

Motion to approve the installation of a hanging sign for “La Tia & Pancho’s Cantina & Grill” at 140 North Main Street, subject to the conditions recommended by Staff.



Figure 1: Building seen currently from Main Street.



Figure 2: Current business sign.



Figure 3: Proposed new business sign.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557

SIGN PERMIT APPLICATION

Date Received: _____

Permit #: _____

DOCUMENTS REQUIRED WITH APPLICATION

Colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
- Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
- Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

Application and plans may be submitted electronically to Building@stcharlescivmo.gov.

SIGN LOCATION:

NAME OF BUSINESS: LATIA & Pancho's CANTINA + GRILL
ADDRESS: 140 N MAIN street ST. CHARLES MO. 63301

Is this property located in a historic district? (Check One): YES NO
*If yes, Landmarks Board approval is required. All requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).

APPLICANT:

Name: Genevieve KAUFMANN Phone: 314-910-1467
Address: 259 Fox Tail Dr City, State & Zip: ST CHARLES MO 63303
Email: GKAUFMANN56@gmail.com - Mexinish2016@outlook.com

SIGN CONTRACTOR:

Name: SELF Phone: _____
Address: _____ City, State & Zip: _____
Email: _____

PROPERTY OWNER:

Name: JEFF LAGE Phone: 573-897-7037
Address: MAIN STREET City, State & Zip: ST CHARLES MO 63301
Email: JEFFREY.LAGE@LAGEREALSTATE.COM

TYPE OF SIGN(S): (mark all that apply)

- Freestanding Building-Mounted Incidental Temporary Mural ("FPD" only)

SIGN INFORMATION:

Total number of signs being requested? 1
Building Façade of occupant's portion of the building: 21F (in square feet)
Road Frontage, Property line where the lot is adjacent to a public street or private street: 12 FT (in linear feet)
Who is installing the signage? Owner/Tenant Contractor _____ Other (Specify) _____
Will the sign(s) be illuminated? YES _____ NO *If yes, will new wiring be required? YES _____ NO _____
Company name of licensed electrician (if required): _____

SIGNATURE OF APPLICANT: Genevieve Kaufmann

SIGNATURE OF PROPERTY OWNER: Jeffrey Lage

6:00 37° •

4G 21%



John Kaufmann

8:03 PM, Feb 1

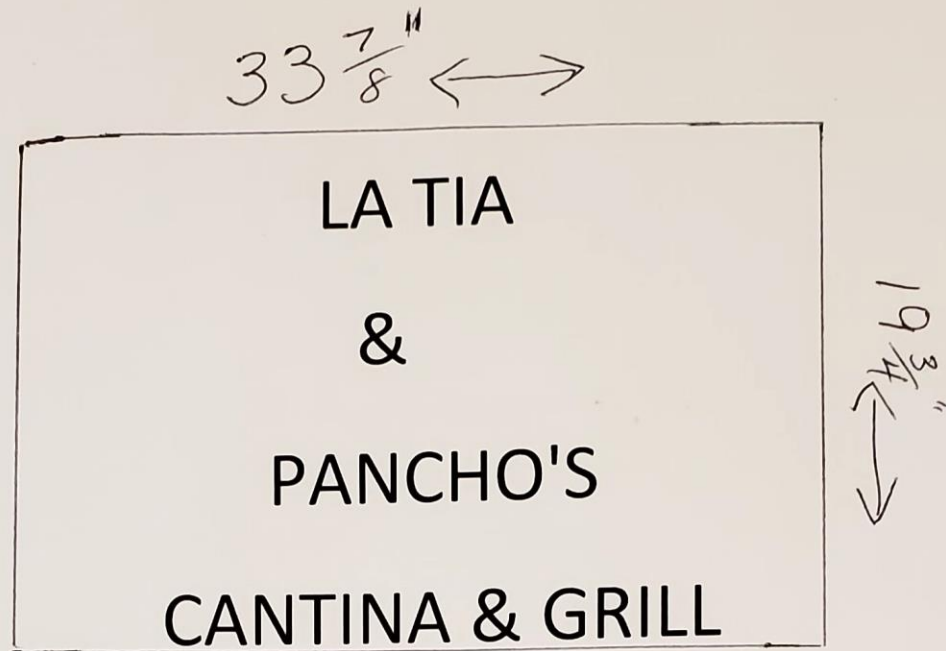


Save



Share





Dark green background with
cream lettering

Attached with chains, will take the
place of the existing sign hanging
from top deck in front of restaurant



**STAFF REPORT
AFTER-THE-FACT LIGHT FIXTURES
620 SOUTH FIFTH STREET
CASE NO. EC-2026-6**

BY TAYLOR MOORE

APPLICANT: Isam Mohammad
1 Richmond Center Blvd
St. Peters, MO 63376

OWNER: Yaser Fawaqa
620 South 5th Street
St. Charles, MO 63303

ADDRESS/LOCATION: 620 South Fifth Street

ZONING: C-2—General Business District
EHP—Extended Historic Preservation District

USE: Commercial – Miami Grill

MEETING DATE: February 23, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is the fast-food restaurant structure at 620 South Fifth Street that was built in 2002 (previously KFC/Taco Bell). The owner of the building is updating the exterior of the building to prepare for the new business “Miami Grill.” The applicant is requesting after-the-fact approval to install new lights on both the building and in the parking lot. The existing lights were installed without approval and are NextGen III Series Parking Lot Lights LEDs. However, the applicant was unable to provide a photometric plan for these lights, which is a requirement by City Code. The applicant is proposing to replace these light fixtures with Gardco Site and Area Lights in order to have lights compliant with photometric study. Ten (10) light fixtures are proposed to be switched out on the property, five (5) on the building and five (5) in the parking lot. Other exterior changes include new signage for the business. However, the Board does not review signage on buildings constructed after 1960 within the Extended Historic Preservation, and this will be an administrative review. All replacement lighting fixtures are directed downward at the building and parking lot to not create additional light pollution on the site or the street. A photometric plan for the new Gardco luminaires was presented to zoning Staff to verify. Accompanying this application are specs for the installed lights and photographs of the structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

C. Architectural review for properties constructed during or prior to 1945. No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural

Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
- (3) Materials shall be of durable quality.

e. Colors shall be harmonious and shall use only compatible accents.

7. Maintenance-Planning and Design Factors

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- d. Architectural character
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF RECOMMENDATION

As mentioned above, the lights currently on the structure were installed without approval. The applicant had been working with local lighting engineers for a photometric plan as required by code but has not been able to contract anyone. As such, they are proposing to start over and replace the lights with the new Gardco Site and Area Lights. While the submitted photometric plan demonstrates compliance, a field verification by Staff will be completed after installation to document compliance with City light standards. Any lighting found not in compliance will be required to be corrected prior to occupancy. Any deviation resulting in light trespass onto adjacent properties or the public right-of-way shall be corrected. While the building was constructed in 2002, the proposed exterior change requires a building permit and therefore requires approval by the Landmarks Board. The proposed lighting fixtures are a minimal alteration to the overall property and generally comply with the Extended Historic District Standards. All lighting proposed is directed back at the building and downwards, as to not be cast off the site. While the light fixtures are modern in appearance, the building is a contemporary structure with no historical architectural integrity, like much of the surrounding structures along South Fifth Street. Staff recommends approval subject to the following condition:

1. All site lighting shall comply with the submitted photometric plan and City lighting standards.

Recommended Motion:

Motion to approve ten new exterior light fixtures at 620 South Fifth Street, subject to the condition recommended by Staff.



Figure 1: Subject structure seen from South 5th Street.



Figure 2: Existing light locations on the south side of structure.



Figure 3: Two parking light poles on south side of structure.



Figure 4: Three parking light poles on north side of structure.



Figure 5: Existing light locations on the north side of structure.



Figure 6: Proposed lights to replace existing.

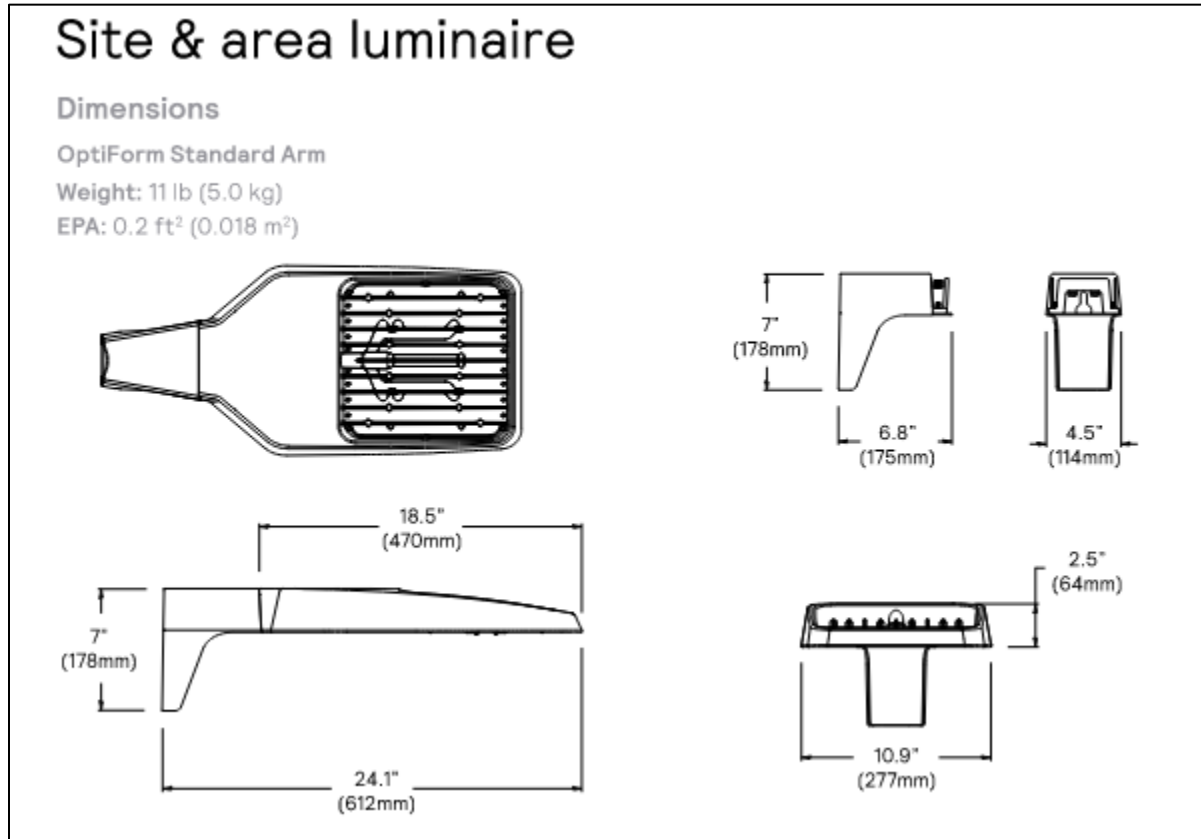


Figure 7: Site and Area Luminaires specs.



Figure 8: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 620 S 5th St, St Charles, MO 63301

BUSINESS NAME (if applicable): MIAMI GRILL

APPLICANT: ISAM MOHAMMAD

(Name)

1 Richmond Center Blvd, St Peters, MO 63377

(Address)

636-579-7851 (ISAM.MOHAMMAD1989@YAHOO.COM)

(Phone & Email Address)

PROPERTY OWNER: YASER FAWAQA

(Name)

(Address)

314-475-0850

(Phone & Email Address)

HISTORIC DISTRICT LOCATION

Commons Preservation

Frenchtown Preservation

South Main Preservation

DATE OF ORIGIN

CASE # (assigned by Staff): _____

1 Richmond Center Blvd, St Peters, MO 63376



636-949-3222 AM MOHAMMAD1989@YAHOO.COM)
Community Development

DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

YASER FAWAQA

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT:

(Name) 314-475-0850

(Address)

(Phone & Email Address)

PROPERTY OWNER:

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____
~~Install new exterior light fixtures to improve visibility and safety.~~

Demolish or move structure: _____
Lighting will be mounted on the building exterior using existing or minimal penetrations.
No changes to building structure, façade materials, windows, doors, or roof.

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____
Lighting will be LED, downward-directed, and compliant with City of Saint Charles lighting standards.

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: _____ Date: 01/14/2026

Signature of the property owner: _____ Date: 01/14/2026

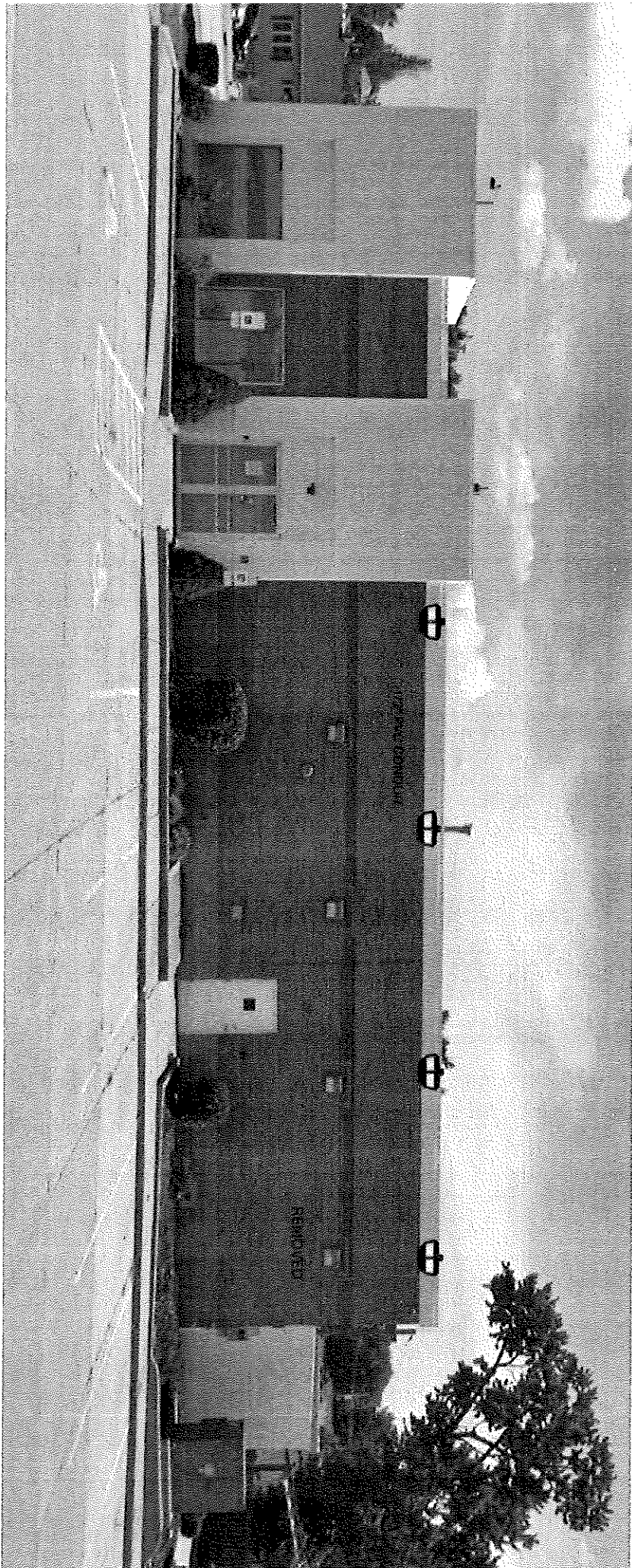
- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

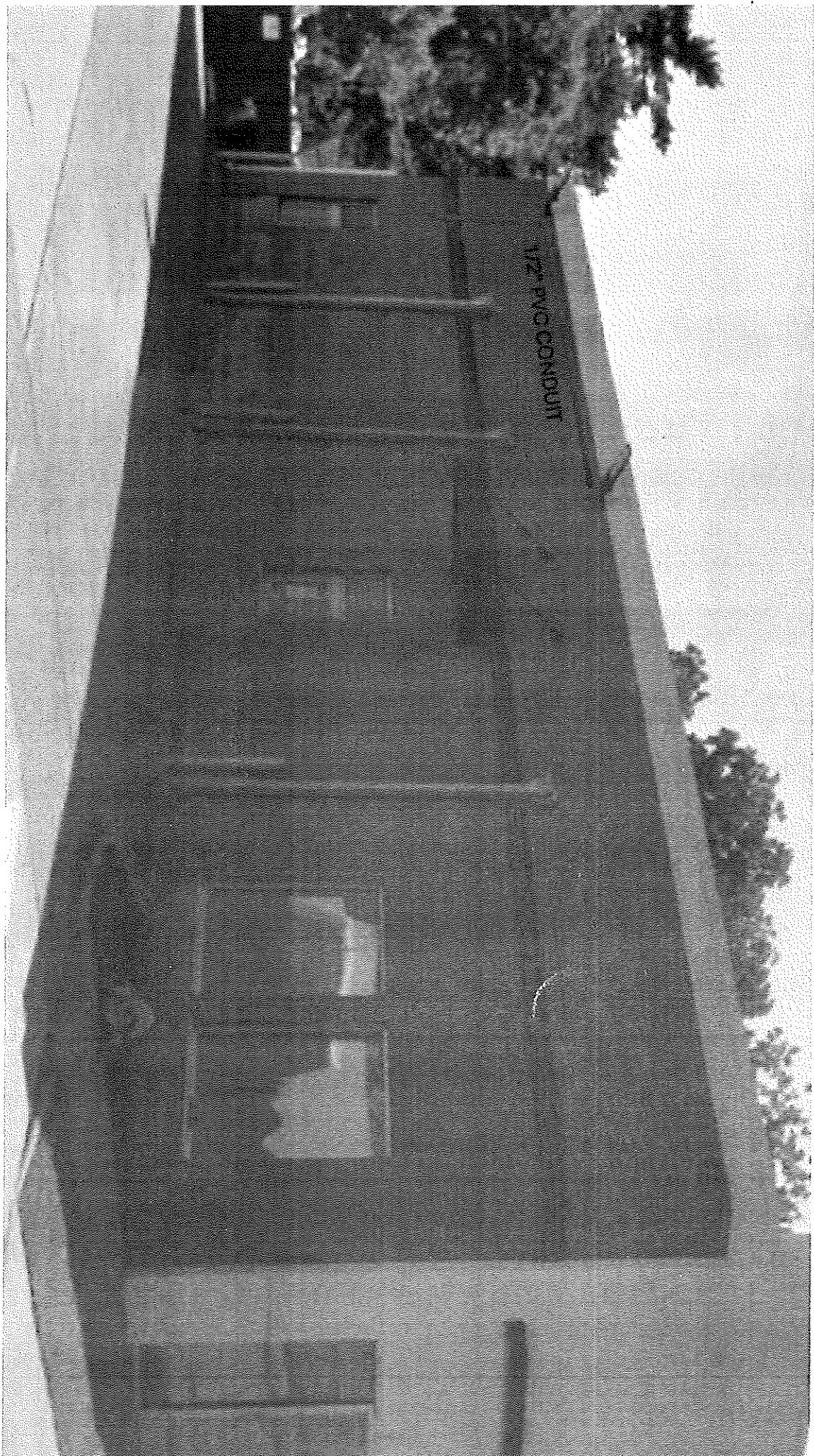
Application Fees:

Exterior Changes & Demolitions: \$50.00
Site Plan (separate application required): \$200.00











Site and Area

OptiForm

OPF-S Small



Gardco OptiForm site and area luminaires are available in three sizes: small, medium and large. Featuring the latest in LED technology, OptiForm achieves up to 192 lumens per watt. Eleven optical distributions are available, suitable for a range of outdoor lighting applications. OptForm features a unique mounting system with a two-piece housing for hassle-free installation. Mounting options include a standard arm, mast arm, and wall mount bracket. Service Tag is a standard feature with every OptiForm luminaire, providing maintenance or upgrade assistance throughout the life of the product.

Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Lamps: _____ Qty: _____
 Notes: _____

Ordering guide

example: OPF-S-A01-840-T4M-AR1-120-BL50-L3-BZ

Luminaire	Configuration (nom. lumens)		Color Temperature	Distribution		Mounting	Voltage
OPF-S							
OPF-S OptiForm Small Area	Site and Area	Precision Plus¹⁶ (T2M, T3M, T4M, T5M only)	827¹ 80CRI 2700K 830 80CRI 3000K 840 80CRI 4000K 727¹ 70CRI 2700K 730 70CRI 3000K 740 70CRI 4000K 750 70CRI 5000K	AFR Autofront row T2M Type 2 medium T3M Type 3 medium T4M Type 4 medium T4W Type 4 wide T5N Type 5 narrow T5M Type 5 medium T5W Type 5 wide	LCL LEED corner optic left LCR LEED corner optic right BLC Back light control 2RL Type 2 rotated left 90° 2RR Type 2 rotated right 270° 3RL Type 3 rotated left 90° 3RR Type 3 rotated right 270° 4RL¹ Type 4 rotated left 90° 4RR¹ Type 4 rotated right 270°	AR^{12,17} Arm mount (standard) MAR³ Mast arm WAL Wall mount MOS⁴ Mounting ordered separately	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V HVU¹⁶ 347-480V

Dimming Controls	Sensing	Options (electrical, mechanical, etc)	Emergency	Finish
The following options include 0-10V Driver		None Surge protector 10kV/10kA standard SP2 Surge protector 20kV/10kA (option) FS1¹¹ Single fuse (120, 277, or 347VAC) FS2¹¹ Double fuse (208, 240, or 480V) PCB^{11,12} Photocontrol button connected to 0-10V driver TR5 NEMA Twist-lock 5-pin receptacle connected to 0-10V driver TR7¹³ 7-pin twist lock receptacle connected to D4i compliant driver TLP^{11,13} 7-pin twist lock receptacle connected to D4i compliant driver w/ 3-pin photocell EHS Housing machined to accept external house side shield for field install. Must be combined with OPF-S-EHS-1 accessory. BAC^{11,18} Meets the requirements of the Buy American Act of 1933 (BAA)	EM^{12,14,15} Emergency Battery Pack (0-40 °C) Available with precision plus optics P01-P03 only	Standard textured finish BK Black WH White BZ Bronze DG Dark Gray MG Medium Gray Customer specified OC Special optional color or RAL, consult factory SC Special color (must supply color chip, requires factory quote)
none 0-10V dimming driver DLEA^{5,10} Dimming leads externally accessible (controls by others) FAWS^{5,6,10} Field adjustable wattage selector	L2 PIR sensor, #2 lens (Required if BL50 is selected) L3 PIR sensor, #3 lens (Required if BL50 is selected)			
BL50^{5,7} Bi-level with motion sensor	WIAP sensor options LB Low (7'-15' mounting height) sensor, black color housing, wireless Interact, integral LW Low (7'-15' mounting height) sensor, white color housing HB¹ High (15'-40' mounting height) sensor, black color housing HW¹ High (15'-40' mounting height) sensor, white color housing			
The following options include SR/DALI Driver				
WIAP^{5,8,13} Wireless Interact (includes SR drive and SR receptacle) SRDR^{5,8,13} SR driver connected to Zhaga socket (D4i) DynaDimmer: Automatic Profile Dimming CS50^{5,13} Security 50% dimming, 7 hours CM50^{5,13} Median 50% dimming, 8 hours CS30^{5,13} Security 30% dimming, 7 hours CM30^{5,13} Median 30% dimming, 8 hours				

- Extended leadtime applies. Consult factory for details.
- Mounts to a square pole with knockout for 4-5" OD round pole.
- Mounts to a horizontal 2-3/8" OD x 5" Long tenon.
- Must be ordered with mounting accessory. Photocell option (TR7) must be selected with mounting accessory. See Page 2 for options.
- Not available with other dimming control options (mutually exclusive).
- Not available with motion sensor (physical restriction).
- Must be specified with a motion sensor lens (L2).
- Not available with PCB, TR5.
- Must be specified with a motion sensor LW, LB.
- Not available with TR7, TLP.
- Must specify input voltage.
- Not available in HVU [347-480V].
- Not available with lumen packages P01, P02 in UNV [120-277] and with lumen packages A01-A03, P01-P05 in HVU [347-480].
- Not available for lumen packages P04-P09.
- Not available with Dynadimmer, SRDR, FAWS, FS1, FS2, DLEA, BL50 (physical restriction).
- Precision Plus Optics (P01-P09) available only with T2M, T3M, T4M, and T5M optical distributions and are non-rotatable.
- OPF-RMB accessory recommended for retrofit applications.
- Failure to properly select the "BAC" suffix could result in you receiving product that is not BAA compliant product with no recourse for an RMA or refund. This BAC designation hereunder does not address (i) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (ii) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies.



OPF-S OptiForm small

Site & area luminaire

Shielding Accessory Kits (order separately)

One shield kit per luminaire

- OPF-S-EHS-1*** External house side shield (field installed)
- OPF-S-HIS-1***** Internal house side shields. For Area optic types T2M, T3M, and T5N.
- OPF-S-HIS-T4-1***** Internal house side shield for Area optic types T4M and T4W, qty 1.
- OPF-S-HIS-5M/5W-1***** Internal house side shield for Area optic types T5M and T5W, qty 1

*Must select EHS option on luminaire options section

**Not available for Precision Plus (P01-P09)

*** Standard internal house shields (HIS) can be used for rotated optics

Luminaire Accessories (order separately)

Pole Mount Fusing

- FP1** Pole mount single fuse (120V, 277V, or 347V)
- FP2** Pole mount double fuse (208V, 240V, or 480V)
- FP3** Pole mount double fuse canadian double pull (208V, 240V, or 480V)

Photocell Accessories

- P400S** Shorting cap

Mountings (boxed and shipped separately)

Must choose Mounting Ordered Separately (MOS) selection for mounting option of luminaire. Useful for attachment of arm to pole prior to luminaire installation.

Standard Arm

- OPF-AR1-(F)^{2,17}** Standard arm mount
- OPF-AR1-TR7-(F)^{2,19,17}** Mast arm mount with 7-pin (TR7) receptacle

Wall Mount

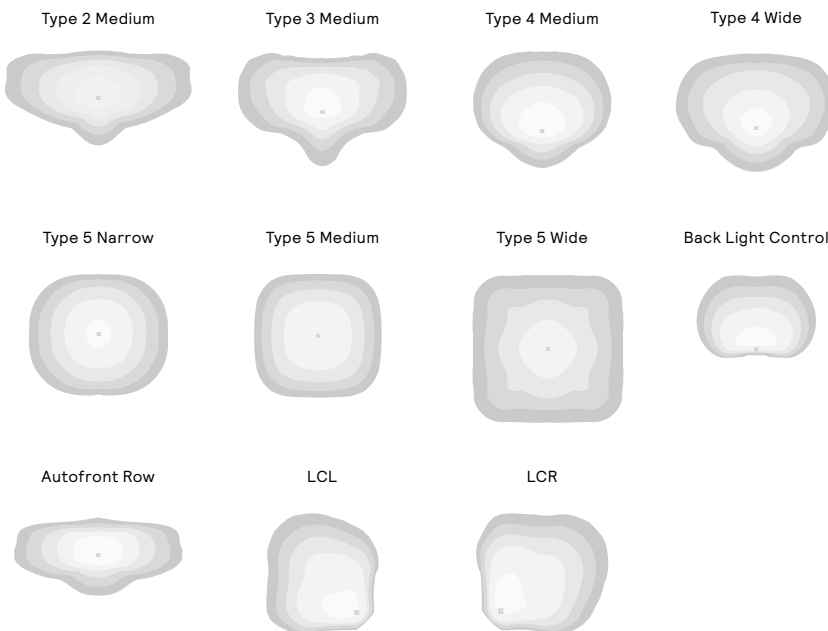
- OPF-WAL-(F)** Wall mount bracket
- OPF-WAL-TR7-(F)¹³** Wall mount with 7-pin (TR7) receptacle

Mast Arm

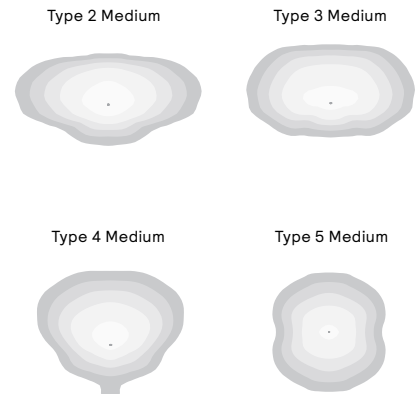
- OPF-MAR-(F)³** Mast arm mount
- OPF-MAR-TR7-(F)^{3,13}** Mast arm mount with 7-pin (TR7) receptacle

Optical Distributions

Site and Area Optics



Precision Plus Optics



Mounting Accessories

- OPF-RMB** Retrofit Mounting Bolster Plate for attaching OptiForm to existing poles. Recommended for retrofit applications.
- OPF-RPA** Round Pole Adapter. Fits to 3"- 3.9" O.D. pole. Painted black.

Pole Top Fitters

PTF2 - Pole top fitter fits 2 3/8 - 2 1/2" OD x 4" depth tenon

- PTF2-1-90-(F)** 1 luminaire at 90°
- PTF2-2-90-(F)** 2 luminaires at 90°
- PTF2-3-90-(F)** 3 luminaires at 90°
- PTF2-4-90-(F)** 4 luminaires at 90°
- PTF2-2-180-(F)** 2 luminaires at 180°
- PTF2-3-120-(F)** 3 luminaires at 120°

PTF3 - Pole top fitter fits 3-3 1/2" OD x 6" depth tenon

- PTF3-1-90-(F)** 1 luminaire at 90°
- PTF3-2-90-(F)** 2 luminaires at 90°
- PTF3-3-90-(F)** 3 luminaires at 90°
- PTF3-4-90-(F)** 4 luminaires at 90°
- PTF3-2-180-(F)** 2 luminaires at 180°
- PTF3-3-120-(F)** 3 luminaires at 120°

OPF-S OptiForm small

Site & area luminaire

OPF-S Area Optic Lumen values

Performance Package	System Watts	Distribution Type	70 CRI			70 CRI			70 CRI		
			3000K			4000K			5000K		
			Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
A01	42	T2M	6991	B2-U0-G2	167	7391	B2-U0-G2	176	7391	B2-U0-G2	176
		T3M	6935	B2-U0-G2	166	7332	B2-U0-G2	175	7332	B2-U0-G2	175
		T4M	7028	B1-U0-G2	168	7431	B1-U0-G2	177	7431	B1-U0-G2	177
		T5M	7244	B3-U0-G1	173	7659	B3-U0-G1	183	7659	B3-U0-G1	183
		AFR	7241	B2-U0-G2	173	7655	B2-U0-G2	183	7655	B2-U0-G2	183
		T4W	6692	B1-U0-G2	160	7075	B1-U0-G2	169	7075	B1-U0-G2	169
		T5N	7193	B3-U0-G1	172	7605	B3-U0-G1	182	7605	B3-U0-G1	182
		T5W	6926	B3-U0-G2	165	7322	B3-U0-G2	175	7322	B3-U0-G2	175
		LCL	3804	B1-U0-G1	91	4021	B1-U0-G1	96	4021	B1-U0-G1	96
		LCR	3804	B1-U0-G1	91	4021	B1-U0-G1	96	4021	B1-U0-G1	96
BLC	4874	B0-U0-G1	116	5153	B0-U0-G1	123	5153	B0-U0-G1	123		
A02	54	T2M	8941	B2-U0-G2	165	9452	B2-U0-G2	175	9452	B2-U0-G2	175
		T3M	8869	B2-U0-G2	164	9377	B2-U0-G2	173	9377	B2-U0-G2	173
		T4M	8989	B1-U0-G2	166	9503	B1-U0-G2	176	9503	B1-U0-G2	176
		T5M	9265	B3-U0-G2	171	9795	B3-U0-G2	181	9795	B3-U0-G2	181
		AFR	9260	B2-U0-G2	171	9790	B2-U0-G2	181	9790	B2-U0-G2	181
		T4W	8558	B2-U0-G2	158	9048	B2-U0-G2	167	9048	B2-U0-G2	167
		T5N	9200	B3-U0-G1	170	9726	B3-U0-G1	180	9726	B3-U0-G1	180
		T5W	8858	B3-U0-G2	164	9365	B3-U0-G2	173	9365	B3-U0-G2	173
		LCL	4864	B1-U0-G1	90	5143	B1-U0-G1	95	5143	B1-U0-G1	95
		LCR	4864	B1-U0-G1	90	5143	B1-U0-G1	95	5143	B1-U0-G1	95
BLC	6234	B0-U0-G2	115	6591	B0-U0-G2	122	6591	B0-U0-G2	122		
A03	64	T2M	10438	B2-U0-G2	164	11035	B2-U0-G2	174	11035	B3-U0-G3	174
		T3M	10354	B2-U0-G2	163	10947	B2-U0-G2	172	10947	B2-U0-G2	172
		T4M	10494	B2-U0-G2	165	11094	B1-U0-G2	174	11094	B2-U0-G2	174
		T5M	10816	B3-U0-G2	170	11435	B3-U0-G2	180	11435	B3-U0-G2	180
		AFR	10811	B3-U0-G3	170	11429	B2-U0-G2	180	11429	B3-U0-G3	180
		T4W	9991	B2-U0-G3	157	10563	B2-U0-G2	166	10563	B2-U0-G3	166
		T5N	10740	B3-U0-G2	169	11355	B3-U0-G1	179	11355	B3-U0-G2	179
		T5W	10341	B4-U0-G2	163	10933	B3-U0-G2	172	10933	B4-U0-G2	172
		LCL	5679	B1-U0-G1	89	6004	B1-U0-G1	94	6004	B1-U0-G1	94
		LCR	5679	B1-U0-G1	89	6004	B1-U0-G1	94	6004	B1-U0-G1	94
BLC	7278	B1-U0-G2	114	7694	B0-U0-G2	121	7694	B1-U0-G2	121		
A04	91	T2M	14465	B3-U0-G3	160	15293	B3-U0-G3	169	15293	B3-U0-G3	169
		T3M	14350	B3-U0-G3	158	15171	B3-U0-G3	167	15171	B3-U0-G3	167
		T4M	14543	B2-U0-G2	160	15375	B2-U0-G2	170	15375	B2-U0-G2	170
		T5M	14990	B4-U0-G2	165	15848	B4-U0-G2	175	15848	B4-U0-G2	175
		AFR	14982	B3-U0-G3	165	15840	B3-U0-G3	175	15840	B3-U0-G3	175
		T4W	13847	B2-U0-G3	153	14639	B2-U0-G3	161	14639	B2-U0-G3	161
		T5N	14884	B4-U0-G2	164	15736	B4-U0-G2	174	15736	B4-U0-G2	174
		T5W	14331	B4-U0-G3	158	15151	B4-U0-G3	167	15151	B4-U0-G3	167
		LCL	7870	B1-U0-G2	87	8321	B1-U0-G2	92	8321	B1-U0-G2	92
		LCR	7870	B1-U0-G2	87	8321	B1-U0-G2	92	8321	B1-U0-G2	92
BLC	10086	B1-U0-G2	111	10663	B1-U0-G2	118	10663	B1-U0-G2	118		

OPF-S OptiForm small

Site & area luminaire

OPF-S Area Optic Lumen values (cont'd)

Performance Package	System Watts	Distribution Type	70 CRI			70 CRI			70 CRI		
			3000K			4000K			5000K		
			Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
A05	104	T2M	16226	B3-U0-G3	156	17155	B3-U0-G3	164	17155	B3-U0-G3	164
		T3M	16096	B3-U0-G3	154	17018	B3-U0-G3	163	17018	B3-U0-G3	163
		T4M	16313	B2-U0-G3	156	17247	B2-U0-G3	165	17247	B2-U0-G3	165
		T5M	16814	B4-U0-G2	161	17777	B4-U0-G2	170	17777	B4-U0-G2	170
		AFR	16806	B3-U0-G3	161	17768	B3-U0-G3	170	17768	B3-U0-G3	170
		T4W	15532	B3-U0-G3	149	16421	B3-U0-G3	157	16421	B3-U0-G3	157
		T5N	16696	B4-U0-G2	160	17652	B4-U0-G2	169	17652	B4-U0-G2	169
		T5W	16075	B4-U0-G3	154	16995	B4-U0-G3	163	16995	B4-U0-G3	163
		LCL	8828	B1-U0-G2	85	9333	B1-U0-G2	89	9333	B1-U0-G2	89
		LCR	8828	B1-U0-G2	85	9333	B1-U0-G2	89	9333	B1-U0-G2	89
BLC	11314	B1-U0-G2	108	11961	B1-U0-G2	115	11961	B1-U0-G2	115		
A06	122	T2M	18441	B3-U0-G3	151	19496	B3-U0-G3	160	19496	B3-U0-G3	160
		T3M	18294	B3-U0-G3	150	19341	B3-U0-G3	158	19341	B3-U0-G3	158
		T4M	18540	B3-U0-G3	152	19601	B3-U0-G3	160	19601	B3-U0-G3	160
		T5M	19110	B4-U0-G2	156	20203	B4-U0-G2	165	20203	B4-U0-G2	165
		AFR	19100	B3-U0-G3	156	20193	B3-U0-G3	165	20193	B3-U0-G3	165
		T4W	17652	B3-U0-G3	144	18662	B3-U0-G3	153	18662	B3-U0-G3	153
		T5N	18975	B4-U0-G2	155	20061	B4-U0-G2	164	20061	B4-U0-G2	164
		T5W	18270	B5-U0-G3	150	19315	B5-U0-G3	158	19315	B5-U0-G3	158
		LCL	10033	B2-U0-G2	82	10607	B2-U0-G2	87	10607	B2-U0-G2	87
		LCR	10033	B2-U0-G2	82	10607	B2-U0-G2	87	10607	B2-U0-G2	87
BLC	12858	B1-U0-G2	105	13594	B1-U0-G2	111	13594	B1-U0-G2	111		
A07	136	T2M	16776	B3-U0-G3	123	20034	B3-U0-G3	147	21181	B3-U0-G3	156
		T3M	16642	B3-U0-G3	122	19874	B3-U0-G3	146	21012	B3-U0-G3	154
		T4M	16866	B2-U0-G3	124	20142	B3-U0-G3	148	21294	B3-U0-G3	156
		T5M	17384	B4-U0-G2	128	20761	B4-U0-G2	152	21949	B4-U0-G2	161
		AFR	17375	B3-U0-G3	128	20750	B3-U0-G3	152	21938	B3-U0-G3	161
		T4W	16058	B3-U0-G3	118	19178	B3-U0-G3	141	20275	B3-U0-G3	149
		T5N	17262	B4-U0-G2	127	20615	B4-U0-G2	151	21794	B4-U0-G2	160
		T5W	16620	B4-U0-G3	122	19848	B5-U0-G3	146	20984	B5-U0-G3	154
		LCL	9127	B1-U0-G2	67	10900	B2-U0-G2	80	11524	B2-U0-G2	85
		LCR	9127	B1-U0-G2	67	10900	B2-U0-G2	80	11524	B2-U0-G2	85
BLC	11697	B1-U0-G2	86	13969	B1-U0-G2	103	14768	B1-U0-G2	108		

OPF-S OptiForm small

Site & area luminaire

OPF-S Precision Plus Optic Lumen values

Performance Package	System Watts	Distribution Type	70 CRI			70 CRI			70 CRI		
			3000K			4000K			5000K		
			Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
P01	15	T2M	2691	B1-U0-G1	182	2845	B1-U0-G1	192	2845	B1-U0-G1	192
		T3M	2718	B1-U0-G1	184	2874	B1-U0-G1	194	2874	B1-U0-G1	194
		T4M	2665	B1-U0-G1	180	2817	B1-U0-G1	190	2817	B1-U0-G1	190
		T5M	2610	B2-U0-G1	176	2759	B2-U0-G1	186	2759	B2-U0-G1	186
P02	23	T2M	4022	B1-U0-G1	178	4252	B1-U0-G1	189	4252	B1-U0-G1	189
		T3M	4062	B1-U0-G1	180	4295	B1-U0-G1	191	4295	B1-U0-G1	191
		T4M	3983	B1-U0-G1	177	4211	B1-U0-G1	187	4211	B1-U0-G1	187
		T5M	3900	B2-U0-G1	173	4124	B2-U0-G1	183	4124	B2-U0-G1	183
P03	38	T2M	6465	B2-U0-G2	169	6835	B2-U0-G2	179	6835	B2-U0-G2	179
		T3M	6530	B2-U0-G2	171	6904	B2-U0-G2	181	6904	B2-U0-G2	181
		T4M	6402	B1-U0-G2	168	6768	B1-U0-G2	177	6768	B1-U0-G2	177
		T5M	6269	B3-U0-G2	164	6629	B3-U0-G2	174	6629	B3-U0-G2	174
P04	53	T2M	8759	B2-U0-G2	165	9261	B2-U0-G2	174	9261	B2-U0-G2	174
		T3M	8848	B2-U0-G2	166	9355	B2-U0-G2	176	9355	B2-U0-G2	176
		T4M	8674	B2-U0-G2	163	9171	B2-U0-G2	172	9171	B2-U0-G2	172
		T5M	8495	B3-U0-G2	160	8982	B3-U0-G2	169	8982	B3-U0-G2	169
P05	66	T2M	11253	B2-U0-G2	172	11898	B2-U0-G2	182	11898	B2-U0-G2	182
		T3M	11366	B3-U0-G3	173	12018	B3-U0-G3	183	12018	B3-U0-G3	183
		T4M	11143	B2-U0-G3	170	11782	B2-U0-G3	180	11782	B2-U0-G3	180
		T5M	10913	B3-U0-G2	167	11539	B3-U0-G2	176	11539	B3-U0-G2	176
P06	76	T2M	13987	B3-U0-G3	183	14788	B3-U0-G3	194	14788	B3-U0-G3	194
		T3M	14128	B3-U0-G3	185	14937	B3-U0-G3	196	14937	B3-U0-G3	196
		T4M	13850	B2-U0-G3	182	14644	B2-U0-G3	192	14644	B2-U0-G3	192
		T5M	13564	B4-U0-G3	178	14342	B4-U0-G3	188	14342	B4-U0-G3	188
P07	94	T2M	15850	B3-U0-G3	168	16758	B3-U0-G3	178	16758	B3-U0-G3	178
		T3M	16010	B3-U0-G3	170	16927	B3-U0-G3	180	16927	B3-U0-G3	180
		T4M	15696	B3-U0-G3	167	16595	B3-U0-G3	176	16595	B3-U0-G3	176
		T5M	15372	B4-U0-G3	163	16253	B4-U0-G3	172	16253	B4-U0-G3	172
P08	113	T2M	19800	B3-U0-G3	176	20934	B3-U0-G3	186	20934	B3-U0-G3	186
		T3M	19999	B3-U0-G3	178	21145	B3-U0-G3	188	21145	B3-U0-G3	188
		T4M	19607	B3-U0-G3	174	20730	B3-U0-G3	184	20730	B3-U0-G3	184
		T5M	19202	B4-U0-G3	171	20302	B4-U0-G3	180	20302	B4-U0-G3	180
P09	133	T2M	21655	B3-U0-G3	163	22896	B3-U0-G3	172	22896	B3-U0-G3	172
		T3M	21874	B3-U0-G3	164	23127	B3-U0-G3	174	23127	B3-U0-G3	174
		T4M	21444	B3-U0-G4	161	22673	B3-U0-G4	171	22673	B3-U0-G4	171
		T5M	21002	B4-U0-G3	158	22205	B4-U0-G3	167	22205	B4-U0-G3	167

OPF-S OptiForm small

Site & area luminaire

LED Wattage and Lumen Values (Emergency Mode)

Ordering Code	CCT	CRI	Avg. System Wattage (W)	Type 2M		Type 3M		Type 4M	
				Lumen Output	BUG Rating	Lumen Output	BUG Rating	Lumen Output	BUG Rating
OPF-S-PXX-740-X-EM	4000	70	6	1000	B0-U0-G0	1014	B0-U0-G1	838	B0-U0-G0
OPF-S-PXX-750-X-EM	5000	70	6	960	B0-U0-G0	973	B0-U0-G1	804	B0-U0-G0
OPF-S-PXX-830-X-EM	3000	80	6	856	B0-U0-G0	868	B0-U0-G1	717	B0-U0-G0
OPF-S-PXX-840-X-EM	4000	80	6	887	B0-U0-G0	899	B0-U0-G1	743	B0-U0-G0

Predicted Lumen Depreciation Data

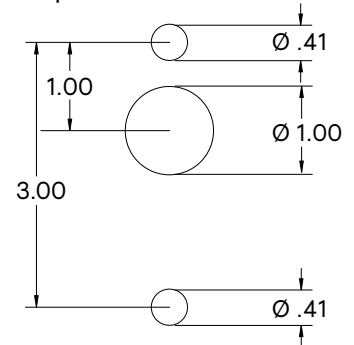
Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L70 hours limited to 6 times actual LED test hours

Ambient Temp°C	Lumen Package	Calculated L70 Hours	L70 per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	A06-A07	>77,000 hours	>77,000 hours	90%
25°C	All others	>100,000 hours	>100,000 hours	96%

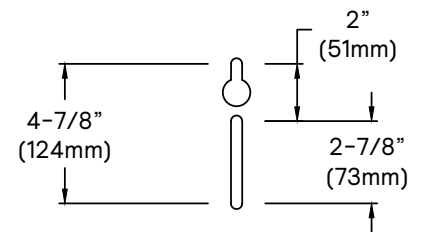
Dimensions

Standard Drill Pattern

Drill Template #5



Standard Arm Mounting Hole Pattern



OPF-S OptiForm small

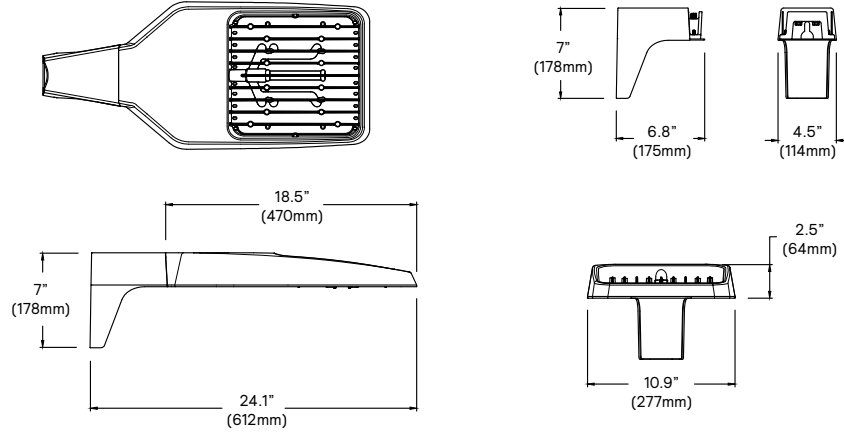
Site & area luminaire

Dimensions

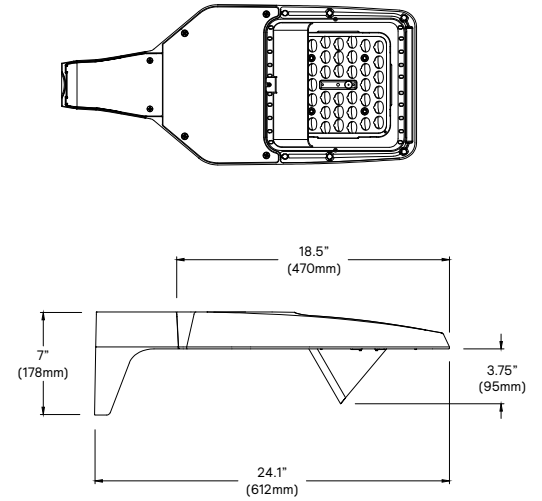
OptiForm Standard Arm

Weight: 11 lb (5.0 kg)

EPA: 0.2 ft² (0.018 m²)

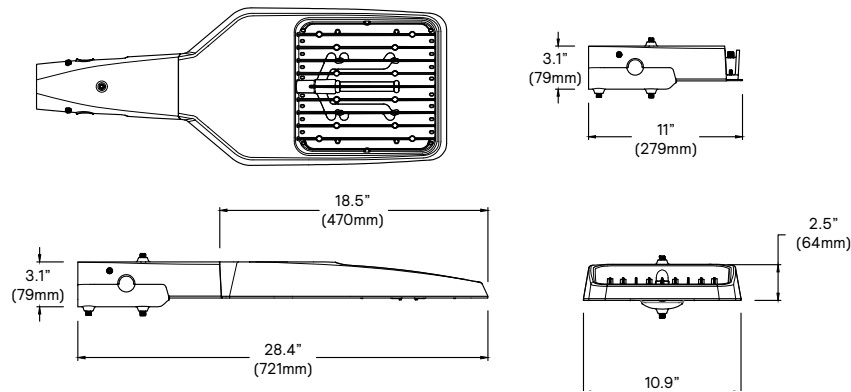


OptiForm External Housing Shield



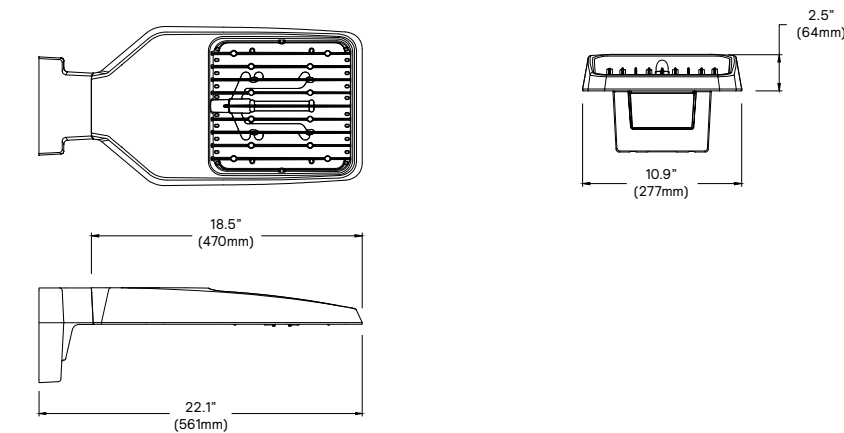
OptiForm Mast Arm

Weight: 12.6 lb (5.7 kg)



OptiForm Wall Mount

Weight: 11.5 lb (5.2 kg)



OPF-S OptiForm small

Site & area luminaire

Specifications

Housing

Housing and door constructed of low copper die cast Aluminum alloy (A360) with detachable arms for quick mounting. Heatsink is integral to the housing providing passive cooling of LEDs to maintain long LED life. Luminaire housing rated to IP65, LED Modules rated IP66 tested in accordance to Section 9 of IEC 60598-1. OptiForm carries and impact rating of IK08.

Vibration resistance

OptiForm is tested and rated to standards set forth in ANSI C136.31-2018 Level 2 for Bridge and Overpass applications.

Light engine

Light engine comprises of a module of 40-LED aluminum metal clad board fully sealed with optics: Medium = 2 Modules with 80 LEDs, Large = 4 modules with 160 LEDs. Module is RoHS compliant. Color temperature as per ANSI/NEMA bin 2700 Kelvin nominal (2725 ±145K), 3000 Kelvin nominal (3045K +/- 175K) or 4000 Kelvin nominal (3985K +/- 275K), CRI 70 Min. 75 Typical. Other CCT/CRI also available, consult factory. LED light engine is rated IP66 in accordance to Section 9 of IEC 60598-1.

Energy saving benefits

System efficacy up to 182 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

Optical systems

Site and Area optical distributions include Types 2 Medium, 3 Medium, 4 Medium, 4 Wide, 5 Narrow, 5 Medium, 5 Wide, and Auto Front Row. LEED Corner Left, LEED Corner Right, and Backlight Control distributions also available to provide excellent cutoff to meet the most stringent requirements at property lines. Optional internal shields mount to LED optics and are available with Type 2M, 3M, and 4M distributions. Types 2M and 3M can be rotated at 90° or 270° when specified, and are factory set only. Site and Area optics shall be performance tested per LM-79 and TM-15 (IESNA) certifying their photometric performance. Luminaire designed with 0% uplight (U0 per IESNA TM-15).

Precision Plus optical distributions include Types 2, 3, 4 and 5 and are designed to illuminate pedestrian scale applications by providing lower glare, while still achieving desired distribution, optimized spacing, and excellent uniformity. Optics are made of optical grade polymer refractor lenses and shall be performance tested per LM-63, LM-79 and TM-15 (IESNA) certifying their photometric performance. Luminaire designed with 0% uplight (U0 per IESNA TM-15).

Mounting

Standard luminaire arm mounts to square poles with knock-out on the arm to allow for mounting to 4" O.D. round poles. Standard arm casting can accommodate existing bolt spacing from 2" to 4-7/8". It is recommended to use the bolster plate kit OPF RMB when it's not a new installation or if the mounting holes are larger than 0.41" (10mm).

OptiForm features a Mast Arm for Mounting to 2-3/8x4" tenon as well as wall mount casting for exterior building mount applications.

Control options

Dimming Leads Externally Accessible (DLEA): Access to 0-10V dimming leads supplied through back of luminaire (for secondary dimming controls by others). Cannot be used with other control options.

Sensor Ready Zhaga Socket Connector (SRDR): Product is D4i Certified and equipped with Sensor Ready drivers connected to 4-pin Zhaga Book 18 compliant receptacle designed for sensor and other control system applications. Receptacle is rated IP66 assembly in a compact design that provides a sealed electrical interface and rated UV resistance, mounted on underside of the luminaire, protective dust cap included. When a controller not provided by Signify is used with Sensor Ready Zhaga socket connector, the controller must be certified to work with the Xitanium SR LED drivers as part of the SR certified program. SRDR can be used with NEMA 7-pin twist lock receptacle, which is mounted on top of the luminaire.

Automatic Profile Dimming (CS/CM/CE/CA): Standard dimming profiles provide flexibility towards energy savings goals while optimizing light levels during specific dark hours. Dimming profiles include two dimming settings including dim to 30% or 50% of the total lumen output. After 5 minutes with no motion, it will return to the automatic dimming profile schedule. Automatic dimming profile scheduled with the following settings:

- **CS50/CS30:** Security for 7 hours night duration (Ex., 11 PM – 6 AM)
- **CM50/CM30:** Median for 8 hours night duration (Ex., 10 PM – 6 AM)

All above profiles are calculated from mid point of the night. Dimming is set for 6 hours after the mid point and 1 or 2 hours before depending of the duration of dimming. Cannot be used with other dimming control options

Field Adjustable Wattage Selector (FAWS): Luminaire equipped with the ability to manually adjust the wattage in the field to reduce total luminaire lumen output and light levels. Comes pre-set to the highest position lumen output selected. Use chart below to estimate reduction in lumen output desired. Cannot be used with other control options or motion response.

FAWS Position	Percent of Typical Lumen Output	FAWS Position	Percent of Typical Lumen Output
1	25%	6	80%
2	50%	7	85%
3	55%	8	90%
4	65%	9	95%
5	75%	10	100%

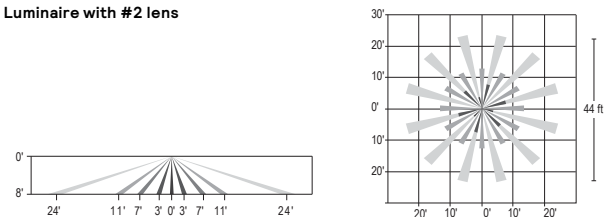
Note: Typical value accuracy +/- 5%

Motion response options

Bi-Level Infrared Motion Response (BL50): Motion Response module is mounted integral to luminaire factory pre-programmed to 50% dimming when not ordered with other control options. BL-IMRI is set/operates in the following fashion: The motion sensor is set to a constant 50%. When motion is detected by the PIR sensor, the luminaire returns to full power/light output. Dimming on low is factory set to 50% with 5 minutes default in "full power" prior to dimming back to low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 50%, to 50% of the normal constant wattage reducing the light level. Other dimming settings can be provided if different dimming levels are required (contact Technical Support for details).

Infrared Motion Response Lenses (L2): Infrared Motion Response Integral module is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges. Lens #2 is designed for mounting heights 8' to 15'. Lens #3 is designed for higher mounting heights up to 20' with a 40' diameter coverage area. See charts for approximate detection patterns:

Luminaire with #2 lens



OPF-S OptiForm small

Site & area luminaire

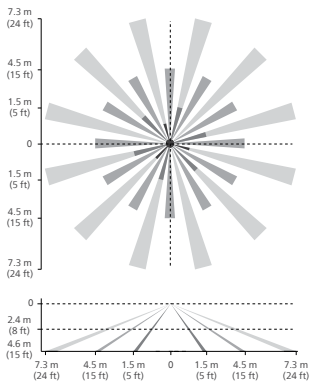
Specifications (cont'd)

Outdoor Interact (WIAP): Connected sensor with integral occupancy and daylight sensing, supports wireless mesh connectivity. Sensor works in the standalone mode when configured without a gateway. When used with a gateway you are able to access additional functionalities such as energy monitoring, scheduling and BMS integration. Interact offers an App, a portal and a broad portfolio of Interact-ready Indoor and Outdoor luminaires, lamps and retrofit kits all working on the same system. The App provides flexibility to choose between a standalone or gateway mode. Setup with the gateway requires wired Internet access to the gateway. WIAP includes SR driver and SR receptacle. Daylight harvesting supported through dimming - activated via the Interact App. Sensors IP66 rated.

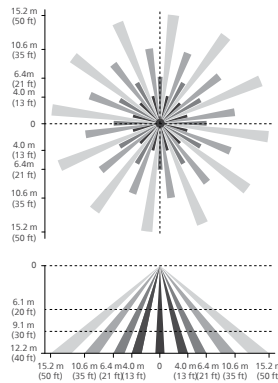
For more information on Interact Pro visit:

www.interact-lighting.com/interactproscalablesystem

LB or LW low sensor



HB or HW high sensor



Note: The beam patterns shown are intended solely as a general guide and are not to scale. Sensing capabilities and coverage area depend on many factors including the size, speed and direction of travel of persons and vehicles; sensor mounting height; environmental and site conditions; etc.

Electrical

Twist-Lock Receptacle (TR5/TR7): Twist Lock Receptacle with 5 pins enabling dimming or with 7 pins with additional functionality (by others) can be used with a twistlock photoelectric cell or a shorting cap. Dimming Receptacle Type B (5-pin) and Type D-24 (7-pin) in accordance to ANSI C136.41. Can be used with third-party control system. Receptacle located on top of luminaire housing. When specifying receptacle with twistlock photoelectric cell, voltage must be specified. When ordering 7-pin Twist-lock receptacle (TR7), all 7 pins are wired to respective pins with the Sensor Ready (SR) driver, and photocell or shorting cap is not included. When ordering a twist-lock receptacle with a photocell (TLP), the receptacle used is a 7-pin receptacle, with pins 6 and 7 connected to SR DALI driver. 0-10V dimming leads (pins 4 and 5) are connected if not ordered with any other dimming option.

Driver: Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. All drivers are 0-10V dimming to 10% power standard, except when using Sensor Ready (SR) drivers, which uses DALI protocol (options CS50/CM50/CS30/CM30, SRDR, and TR7). Drivers are RoHS and FCC Title 47 CFR Part 15 compliant.

Button Photocontrol (PCB): Button style design for internal luminaires mounting applications. The photocontrol is constructed of a high impact UV stabilized polycarbonate housing. Rated voltage of 120V or 208-277V with a load rating of 1000 VA. The photocell will turn on with 1-4Fc of ambient light.

Surge protection (SP1/SP2): Surge protection device tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line-Ground, Line-Neutral and Neutral-Ground, and in accordance with DOE MSSLC Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High test level 10kV/10kA. 20kV / 10kA surge protection device that provides extra protection beyond the SP1 10kV/10kA level.

Listings

UL/cUL wet location listed to the UL 1598 standard, suitable for use in ambient temperatures from -40° to 40°C (-40° to 104°F). All Optiform configurations are qualified under Design Lights Consortium Premium classification. Consult DLC Qualified Products list to confirm your specific luminaire selection is approved. CCTs 3000K and warmer are Dark Sky Approved.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BZ), black (BK), white (WH), dark gray (DGY), and medium gray (MGY). Consult Factory for specs on optional, custom colors, and marine grade paint.

Service Tag

Each individual luminaire is uniquely identifiable, thanks to the Service tag application. With a simple scan of a QR code, placed on the inside of the mast door, you gain instant access to the luminaire configuration, making installation and maintenance operations faster and easier, no matter what stage of the luminaire's lifetime. Just download the APP and register your product right away. For more details visit: signify.com

Warranty

OptiForm luminaires feature a 5-year limited warranty. See signify.com/warranties for complete details and exclusions.



STAFF REPORT
CUPOLA
305 MORGAN STREET
CASE NO. EC-2026-12

BY TAYLOR MOORE

APPLICANT: James Reed
305 Morgan Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 305 Morgan Street

ZONING: R-1E—Single-Family Residential District
FPD—Frenchtown Preservation District

USE: Single-Family Residence

MEETING DATE: March 23, 2026

BACKGROUND

Built in 1865, the subject property is the two-story, brick Italianate style house located at 305 Morgan Street in the Frenchtown Preservation District. The house is also considered a contributing resource to the Frenchtown Preservation District national listing. The applicant is requesting approval to reconstruct a cupola atop the existing structure. Historic photographs of the home indicate that a cupola was previously located at the center of the roof, and the proposal seeks to replicate this historic architectural element. Elevations, renderings, and existing photos of the property accompany this report.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter III: Guidelines for all Historic Properties

Architectural Details: Preservation, Treatment, & Replacement

- 3.19 Replace missing historically significant features in kind.
- 3.20 Base the replacement of missing historically important elements on accurate information about original features.
 - a. The design should be substantiated by physical or pictorial evidence. This will avoid creating misrepresentation of the building's genuine heritage.
 - c. Use only materials and details similar in character to those employed historically or compatible buildings.

Chapter IV: Guidelines for Additions

Form, Mass and Scale of an Addition

- 4.7 A new addition shall be subordinate to the historic structure in scale and character.
- 4.8 The addition shall be built in the style and character of other historic additions.
- 4.9 Maintain the historic solid-to-void ratio seen traditionally in the district.

Roofs

- 4.11 The addition's roof material shall appear similar to that of the roof on the primary structure.
 - a. Use material similar to those on the primary structure.
 - b. Maintain similar color.
- 4.12 The addition shall preserve the established design character of the historic building or structure.

Materials

- 4.17 Materials shall appear similar in character to those used historically.
 - a. Using materials that are the same as those employed historically is preferred.
 - b. Substitute materials may be used for replacing individual building elements but shall not be used for the primary building material. For instance, brick should be similar in size to that used historically.
 - c. New materials must have demonstrated durability in this setting.
 - d. Materials should be used in a manner similar to that used traditionally.
- 4.18 Simple material finishes are required.

Windows

- 4.25 A window on an addition shall be similar in character to those of the primary building.

STAFF RECOMMENDATION

The proposed project will reintroduce an architectural feature that has been absent from the structure for several decades. Historic photographs indicate that the residence previously featured a cupola in the center of the hipped roof. Cupolas are a common feature of the Italianate architectural style, which often incorporates elements such as this into the low-pitched roofs. The proposed cupola will measure approximately 7' x 11' (77 square feet). Exterior walls will be clad in fiber-cement flat panel siding, and the proposed windows will be casement with grills matching the existing 6 over 6 window pattern of the dwelling. The roof of the cupola will feature standing seam metal in a copper color. Decorative brackets and dentil molding are also proposed, consistent with details visible in the historic photographs of the structure.

The existing height of the residence is approximately 33' measured from grade. Construction of the cupola will increase the overall height of the structure to approximately 45'. However, the property is zoned R-1E Single-Family Residential District, which permits a maximum building height of 35'. As such, the applicant is requesting a variance from the Board of Adjustment to allow additional height. This request is anticipated to be heard at the Board's May 4, 2026, meeting. While Staff typically prefer that all variance requests be approved prior to site review, this project is unique and is intended to restore a historic architectural feature and return the structure closer to its documented historic appearance.

Overall, the proposal represents an appropriate restoration of a historic architectural feature that was previously lost. By reintroducing the cupola, the project helps return the structure closer to its historic appearance and reinforces the architectural character of the building. Therefore, Staff recommends approval of the cupola addition, subject to the following condition:

1. Approval of a variance for height must be obtained from the Board of Adjustment before issuance of building permits.

Recommended Motion:

Motion to approve the construction of a cupola on the roof of 305 Morgan Street, subject to the condition recommended by Staff.



Figure 1: Subject property seen currently.



Figure 2: Historic photographs of the property showcasing the cupola.

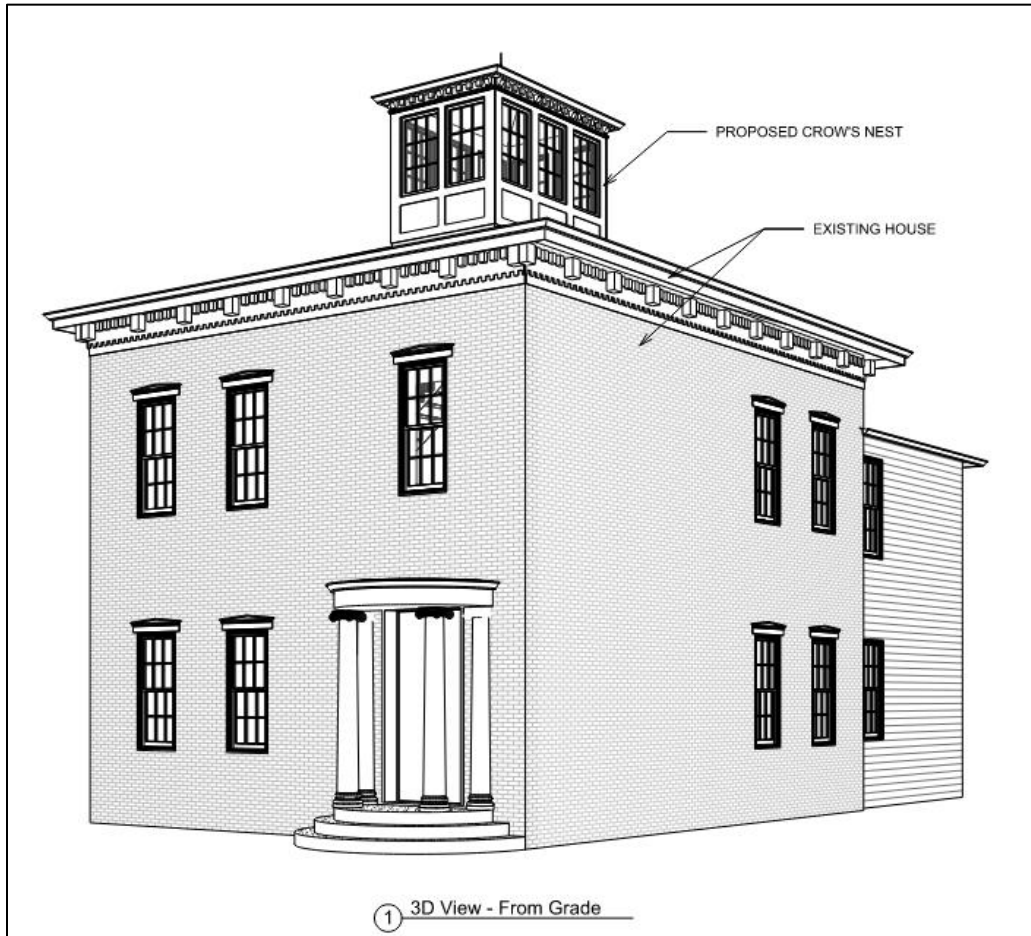


Figure 3: Rendering of structure with cupola addition.

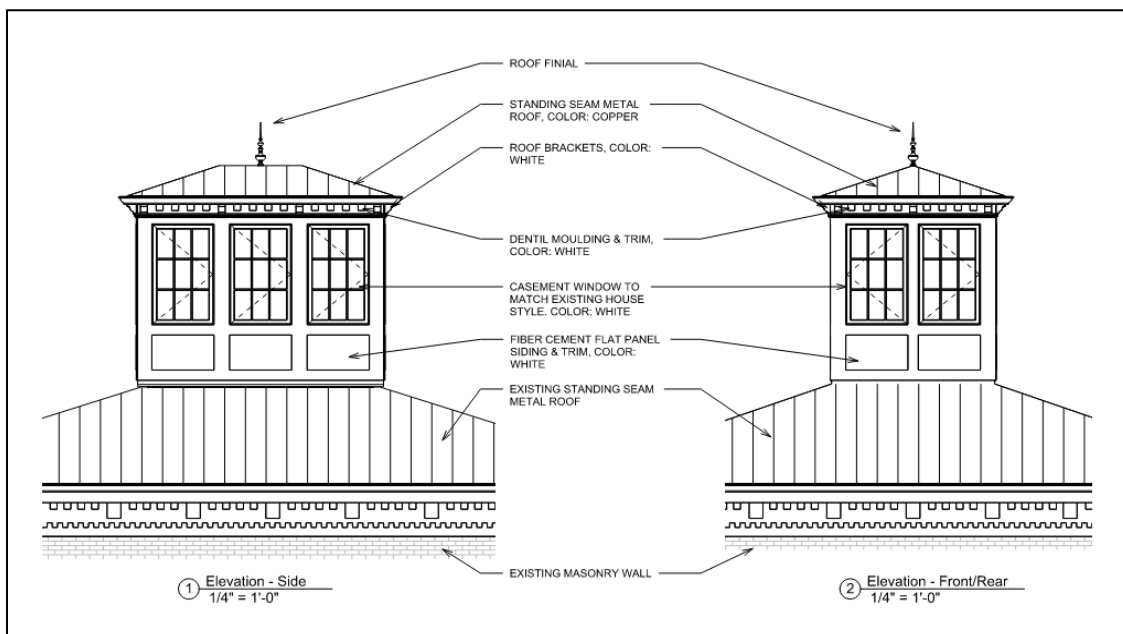


Figure 4: Elevations for cupola addition.

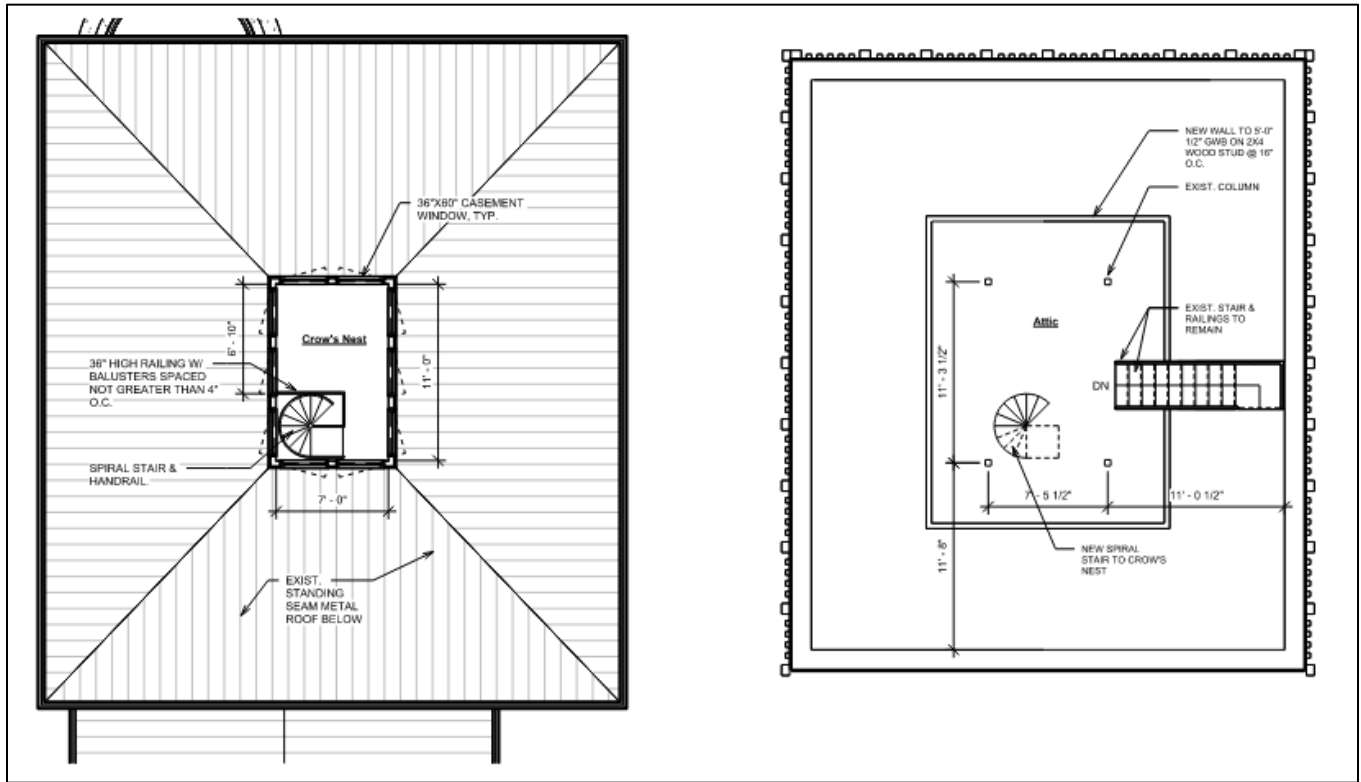


Figure 5: Aerial site/floor plan of cupola addition to roof and attic.

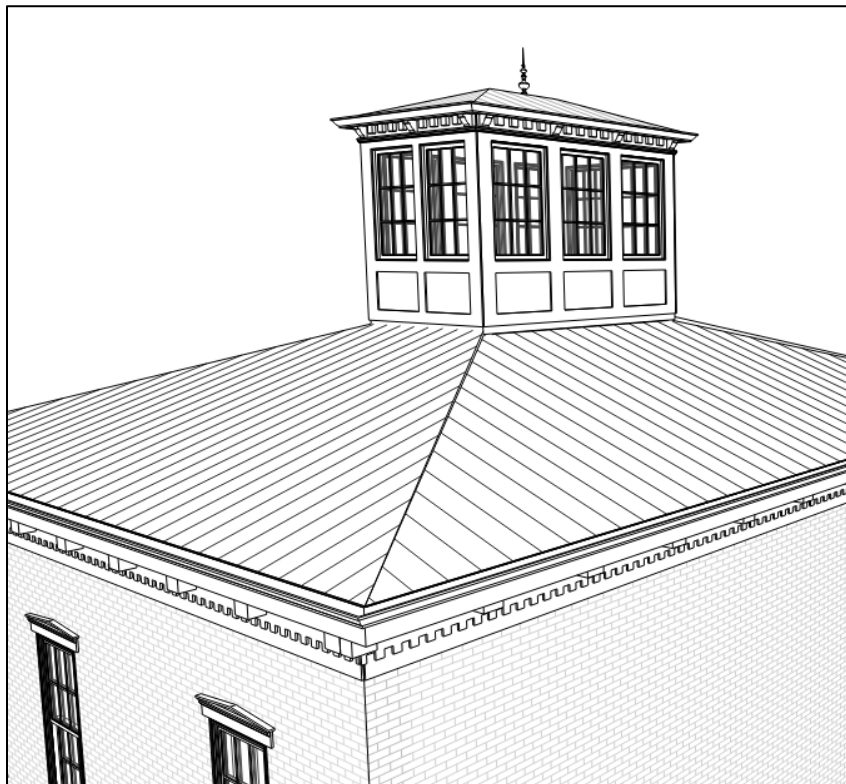


Figure 6: Rendering of cupola atop roofline.



Figure 7: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 305 Morgan St.

BUSINESS NAME (if applicable): _____

APPLICANT: James Reed

(Name) _____

305 Morgan St., St. Charles, MO 63301

(Address) _____

314.874.5124 jreed1903@gmail.com

(Phone & Email Address) _____

PROPERTY OWNER: same

(Name) _____

(Address) _____

(Phone & Email Address) _____

HISTORIC DISTRICT LOCATION:

Commons Preservation District Extended Historic Preservation District

Frenchtown Preservation District Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1900

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

2 story masonry structure w/ standing seam metal roof

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: new rooftop addition to replicate historic element

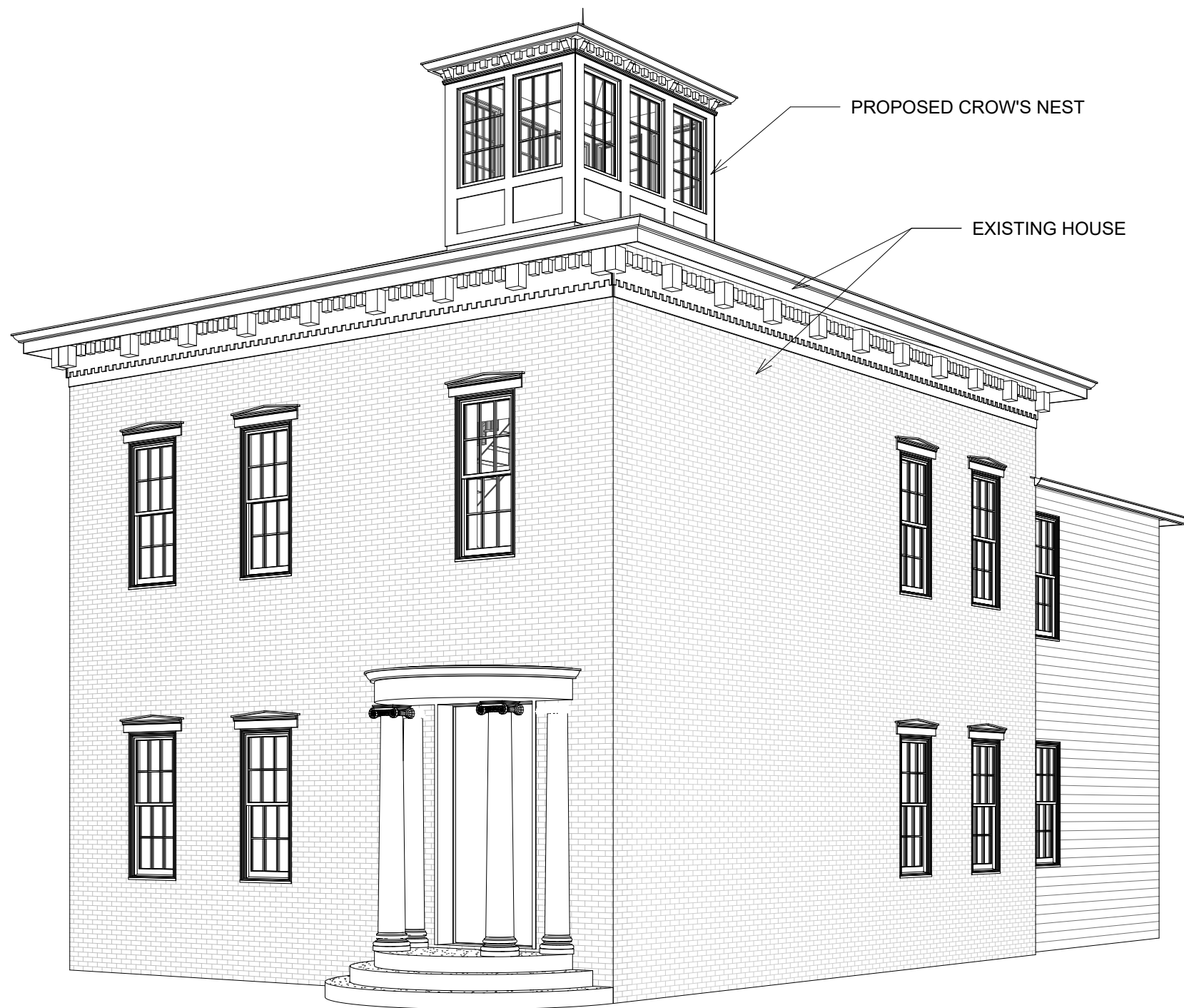
New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

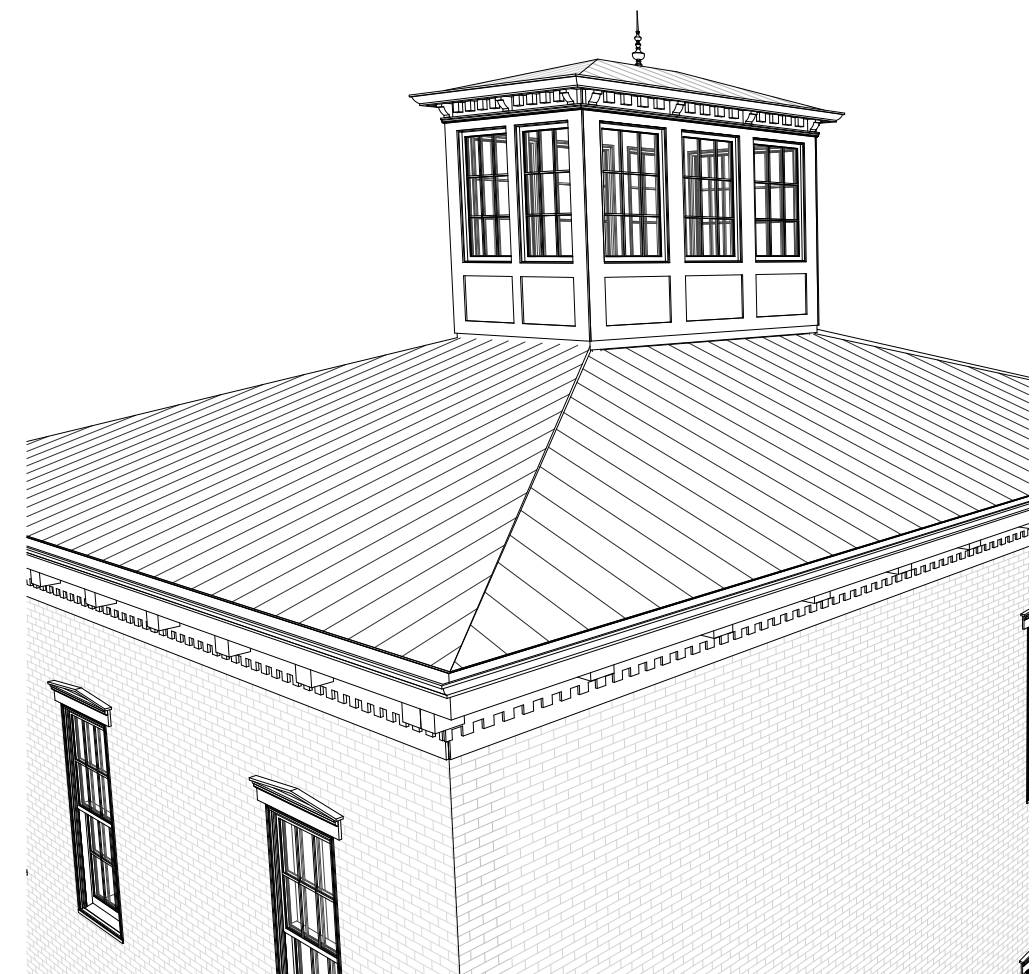
Historic photographs show that the home once had a rooftop structure that was used for stargazing. This project will rebuild that structure using the historic information from the photographs to replicate as best as possible. Exterior walls and cladding will be fiber cement flat panel siding and trim on 2x4 wood studs painted white. Windows will be casement style with grills to match current house. The existing historic photo shows either double or single hung 1/1 but at that time the home also had 1/1 windows. The current windows on the home are 6/6 and we've chosen the simulated divided light casement windows to also match the remainder of the house. Windows will be aluminum clad wood, color: white. The roof will be standing seam metal in a copper color. The roof will feature brackets and dentil molding below as is shown in the historic photo. No changes will be made to the existing house structure. There will be a rooftop finial which is also depicted in the historic photo.



1 3D View - From Grade

PROJECT SUMMARY:
 EXISTING 2 STORY MASONRY HOME CONSTRUCTED IN 1900 LOCATED IN THE FRENCHTOWN HISTORIC DISTRICT.

SCOPE OF WORK:
 CONSTRUCT A NEW ROOFTOP CROW'S NEST TO REPLICATE A STRUCTURE THAT WAS ONCE A PART OF THE BUILDING. ROOF ADDITION TO BE ACCESSED FROM ATTIC VIA A SPIRAL STAIR. EXTERIOR FINISHES FOR BUILD TO BE FIBER CEMENT FLAT PANEL SIDING & TRIM (PAINTED WHITE), ALUM. CLAD WOOD CASEMENT WINDOWS W/ DIVIDED LIGHTS TO MATCH HOUSE (COLOR: WHITE), DENTIL MOULDING & ROOF BRACKETS TO REPLICATE HISTORIC, STANDING SEAM METAL ROOF (COLOR: COPPER).



2 3D View

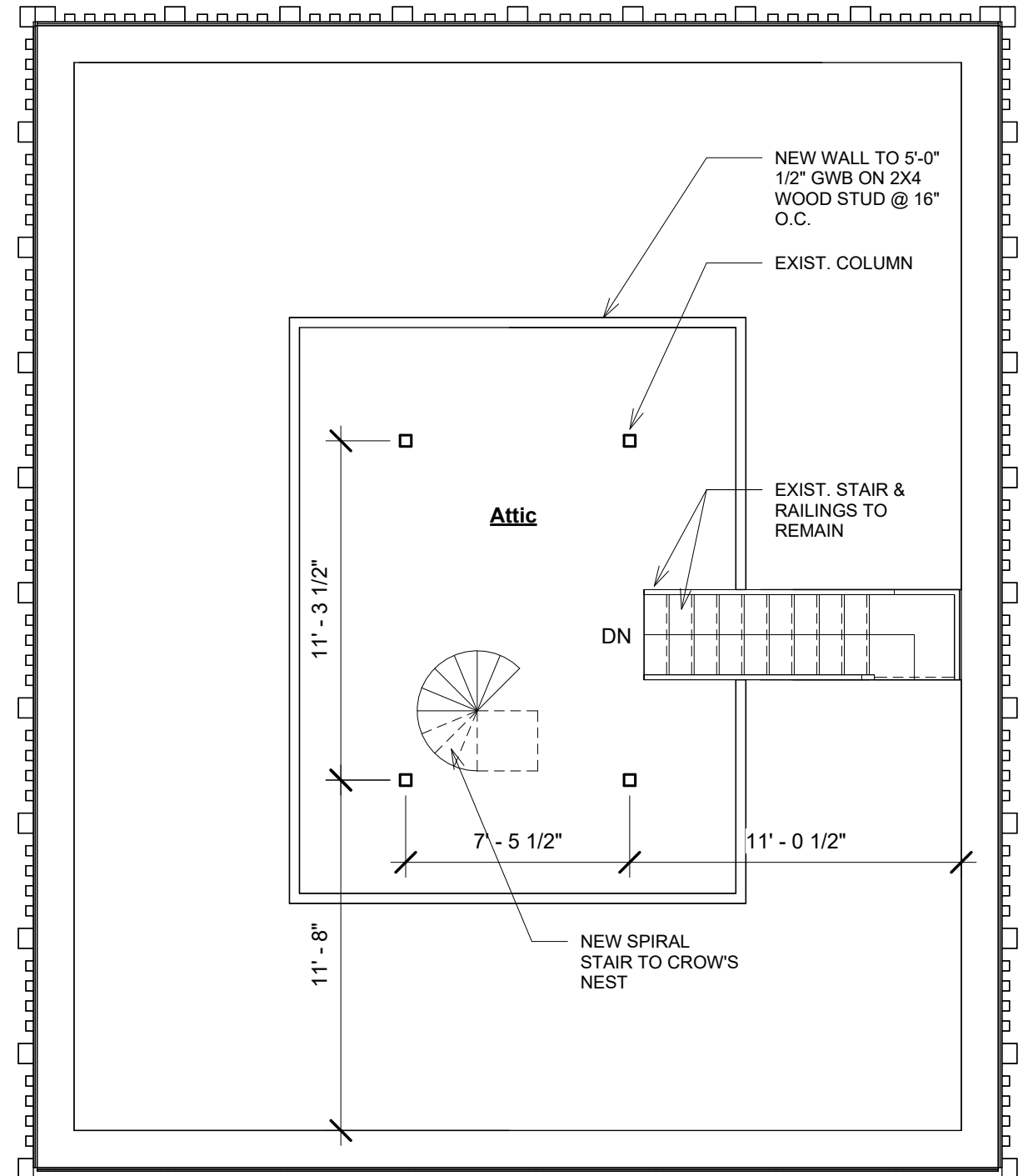
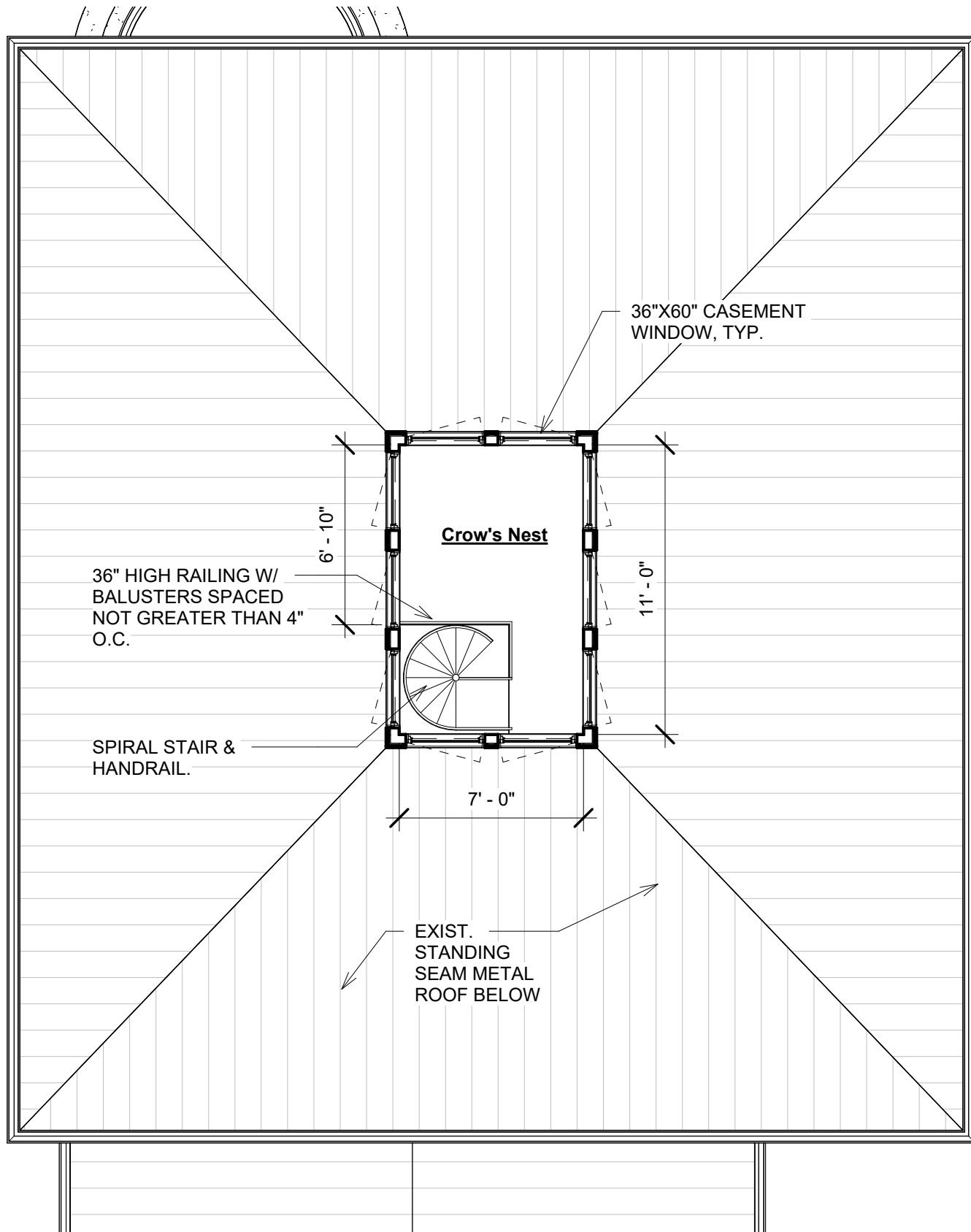
Renovations for:
 305 Morgan St. - Crow's Nest

Project number 26-006

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

3D Views & Project Overview	Sheet	1.0
Date	2/24/2026	
Landmarks Review		



Renovations for:
305 Morgan St. - Crow's Nest

Project number 26-006

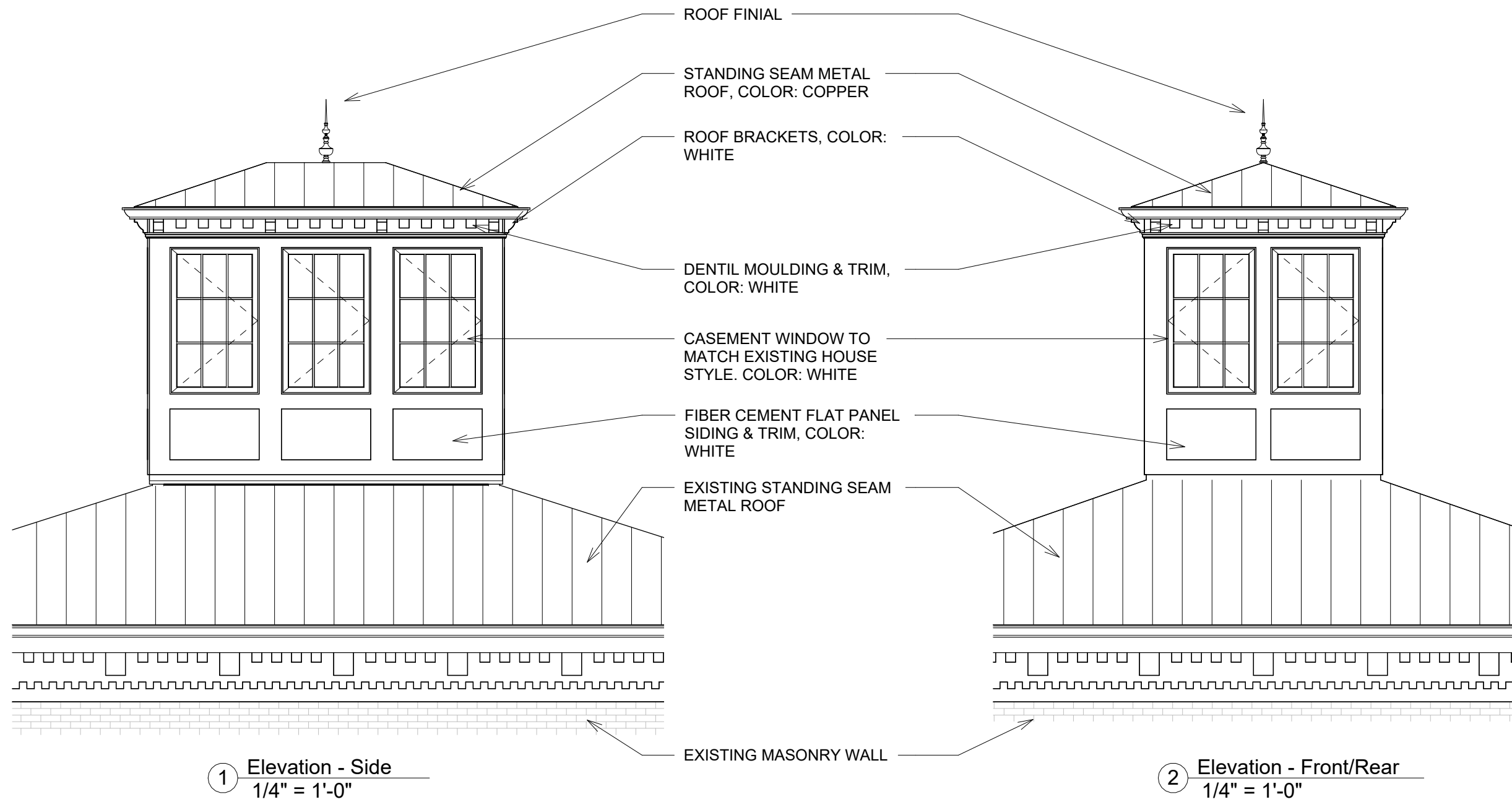
little hills architecture

① Roof Level Plan
3/16" = 1'-0"

② Attic Plan
3/16" = 1'-0"

DESIGN REVIEW - NOT FOR CONSTRUCTION

Plans	Sheet
Date	2/24/2026
Landmarks Review	2.0



Renovations for:
305 Morgan St. - Crow's Nest

Project number 26-006

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

Elevations	Sheet
Date 2/24/2026	3.0
Landmarks Review	



STAFF REPORT
**NEW BALCONY & REAR PORCH,
901 NORTH SECOND STREET
CASE NO. EC-2026-14**

BY TAYLOR MOORE

APPLICANT: Mark Hicks
500 North Main Street
De Soto, MO 63020

OWNER: Jamie Wiechens
32 Oxford Blvd
St. Louis, MO 63143

ADDRESS/LOCATION: 901 North Second Street

ZONING: FD—Frenchtown District
FPD—Frenchtown Preservation District

PROPOSED USE: Commercial & Residential

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Frenchtown Preservation District, the subject property is a three-story Federal styled building at 901 North Second Street which was constructed in 1880. The structure is also considered a contributing resource to the Frenchtown National Register Historic District. The applicant is requesting permission to remove the existing front balcony and rear deck and replace them with new ones in the same footprint. The applicant is only involved with the framing of the balcony and deck, while the property owner will spearhead the handrails, flooring, and painting of the new structures. Accompanying this application are elevations, material examples, site plan exhibits, and photographs of the property.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

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2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter III: Guidelines for All Historic Properties

Materials

- 3.19 Replace missing historically significant features in kind.
- c. If later covering materials exist that have not achieved historic significance, Removing them is strongly encouraged. Asphalt siding that covers original Wood siding, for example, may be removed, as may vinyl siding.
- 3.20 Base the replacement of missing historically important elements on accurate information about original features.
- a. The design should be substantiated by physical or pictorial evidence. This will avoid creating a misrepresentation of the building's genuine heritage.
 - b. Overall, a high percentage of the materials and features of the property should be historic ones in order to retain the integrity of the resource as an historic property.
 - c. Use only materials and details similar in character to those employed historically on compatible buildings.
- 3.23 Consider removing later covering materials that have not achieved historic significance; examples, include vinyl, aluminum, or asphalt siding, or permastone.

Porches

- 3.55 Porches shall be kept in good repair.
- b. Original wood work, when at all possible, shall be retained or replicated in a manner consistent with the time period. A model example will be considered for changes.
- 3.56 Porch flooring must replicate the original and be consistent with the time period.

STAFF RECOMMENDATION

While the design guidelines for Frenchtown do not specifically address balconies or decks, the proposed project seeks to recreate the existing features with similar appearance and footprints. The current balcony and rear deck are in a deteriorated condition, and the reconstruction of both with elements to match the existing configuration will improve the overall condition of the building. The footprint of both structures will remain unchanged. Material and design examples have been submitted for the proposed Soulard handrails and flooring systems. To remain consistent with the existing configuration, the floorboards should run perpendicular to the building rather than parallel.

As part of this project, the rear deck will no longer include the existing lattice screening, windmill feature, or pergola structure. The proposed front balcony will be painted in colors compliant to the district, with the railing and posts finished in Black Forest Green and the spindles in an Olive color.

Overall, the project will enhance and revitalize the appearance of the property while maintaining the established form of the balcony and deck. The improvements will be very visible given the property's location at a prominent intersection within the Frenchtown District. Therefore, Staff recommends approval of the project, subject to the following condition:

1. The floorboards of the balcony and deck shall run perpendicular to the structure.

Recommended Motions:

Motion to approve the construction of a new front balcony and rear deck at 901 North 2nd Street, subject to the condition recommended by Staff.



Figure 1: Subject property seen currently from intersection.

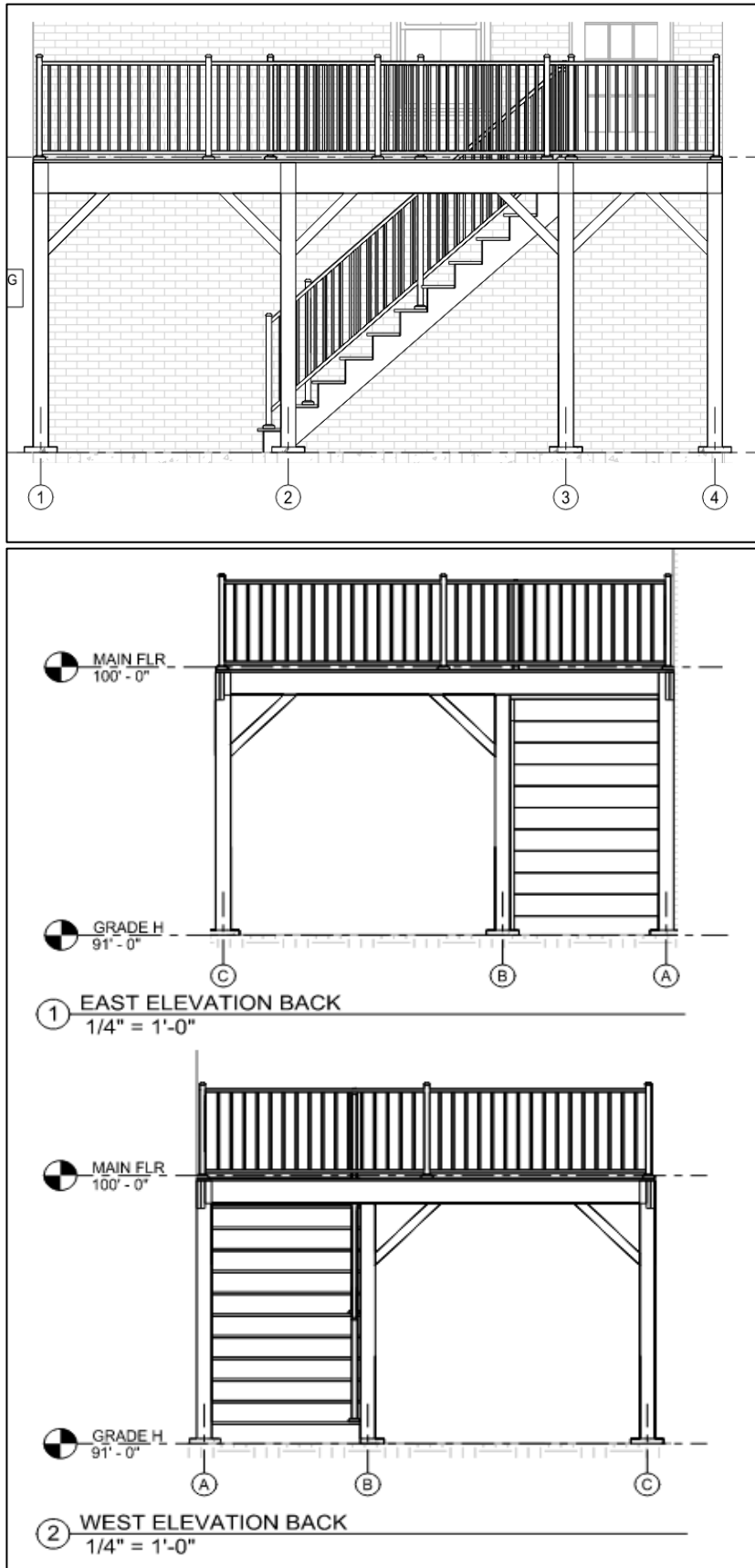


Figure 2: Rear deck elevations (railing not included).

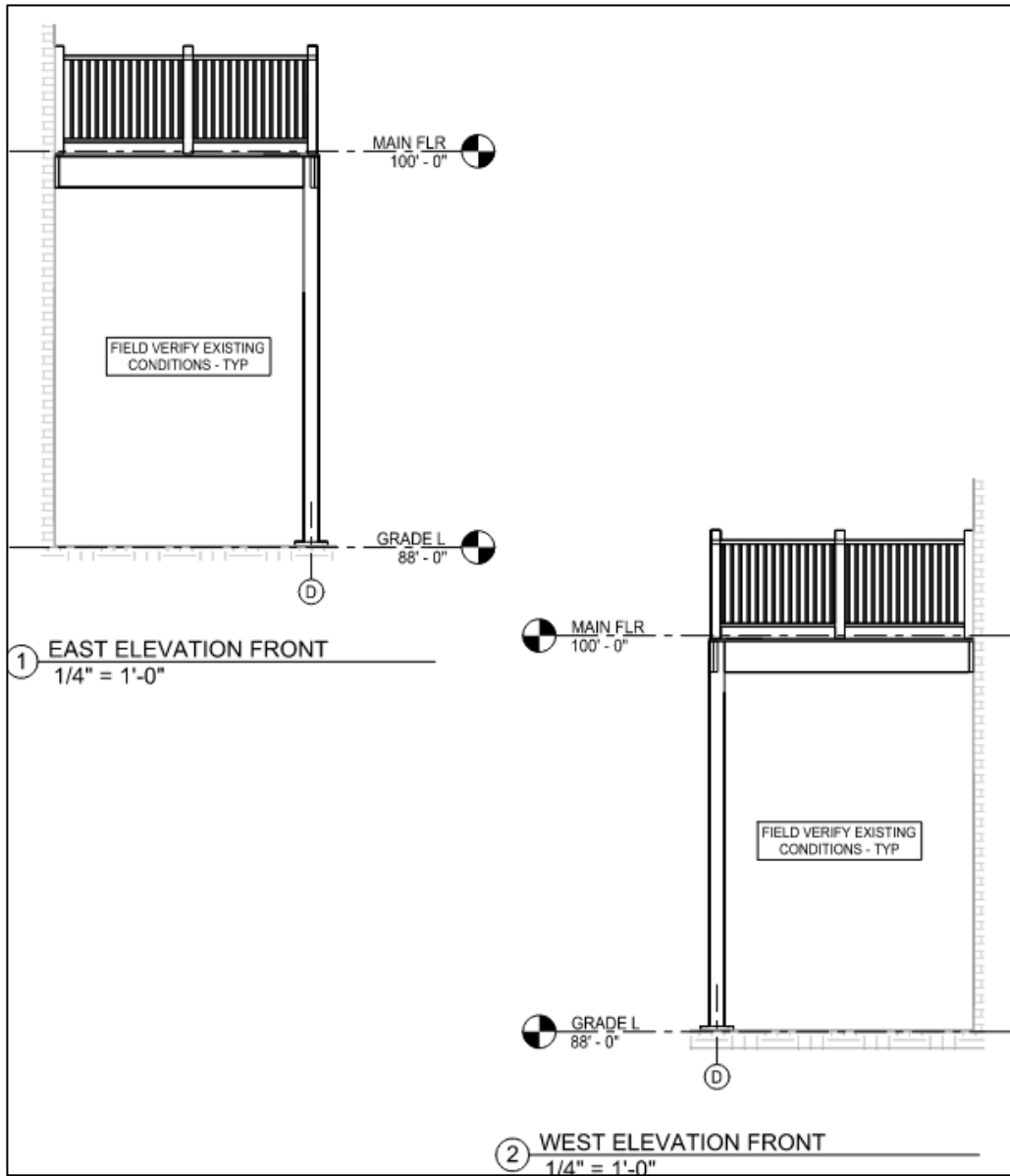


Figure 3: Elevations for front balcony (railings not included).

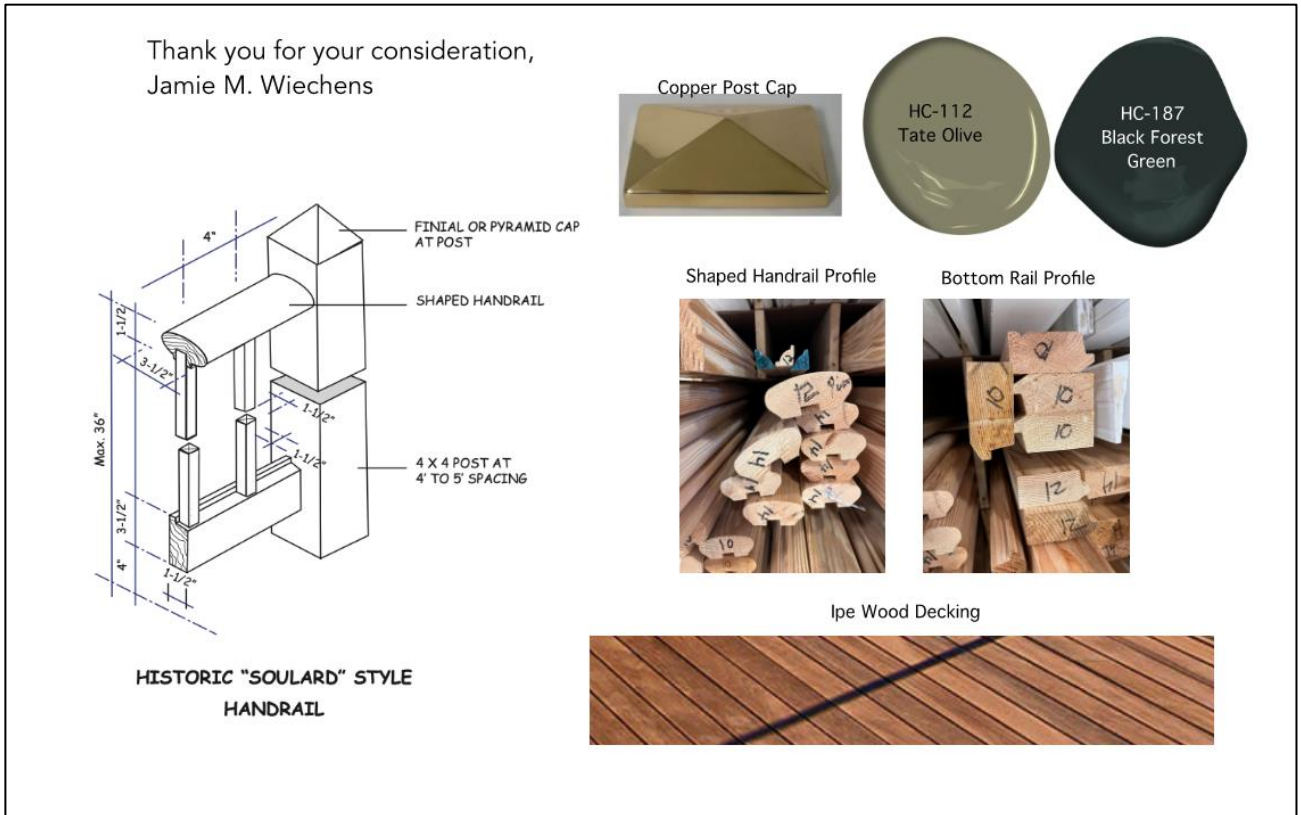


Figure 4: Material examples for railing system and floorboards of subject structures.



Figure 5: Renderings of both structures.



Figure 6: Subject structure's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 901 North 2nd Street

BUSINESS NAME (if applicable): _____

APPLICANT:

Mark Hicks, LLC

(Name)

500 N Main Street, De Soto, MO 63020

(Address)

636-337-7733 marla@markhicksllc.com

(Phone & Email Address)

PROPERTY OWNER:

Jamie Wiechens

(Name)

3625 Oxford Blvd, St. Louis, MO 63143

(Address)

314-606-2959 bitybo@gmail.com

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): Demolish and rebuild front and rear decks (framing only) using same footprint as current

Mark Hicks LLC framing only. Customer to finish treads, handrail, skirt and floor

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Construct front deck framing only using same footprint as current deck. Also re-using the steel beam/ledger currently attached to building.

Construct rear deck framing only using same footprint as current deck. Construct inset staircase consisting of 14 runs.

See order for construction details.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Marla McLaughlin Date: 2/20/2026

Signature of the property owner: [Signature] Date: 2/20/2026

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00

**M
E
M
O**

To: Marla McLaughlin
Email: marla@markhicksllc.com
From: Brad Kerans, MCP, CBO
Date: February 20, 2026
Pages: 1 including cover sheet

CITY OF ST. CHARLES
BUILDING PLAN REVIEW
REVISION REQUEST

Permit # 26-702
901 N 2nd St.

1. Provide engineer design for ledger attachment verification. **REUSING EXISTING LEDGER**
2. Provide details for corner post notching since the city does not permit notching on two sides. **ADDED NOTE**
3. The stair guard must be continuous for the stair flight. **ADJUSTED DRAWING**
4. The maximum riser height is 7 ¾ inch. **ADDED NOTE**
5. The minimum and maximum stair nosing is ¾ to 1 ¼ inch. **ADDED NOTE**
6. Provide the guard rail height. **REVISED DETAIL**
7. All beams/ headers to be #1 grade wood. **ADDED NOTE**
8. Provide blocking around 4x4 post at front deck. **REVISED DETAIL**
9. Provide an ESR report with the correct code cycle that the city adopted. The city has adopted the 2021 code.
10. Provide safety glass or safety film to window next to the stairs. **ADDED NOTE**

from the desk of . . .

Brad Kerans, MCP/CBO

Senior Building Inspector
Building Plans Examiner
City of St. Charles, Missouri
200 North Second Street
St. Charles, MO 63301-2891

bradley.kerans@stcharlescitymo.gov

636.949.3593
fax: 636.949.3557

TYPICAL PROJECT NOTES AND FINISHES:

1. DECKING TO BE INSTALLED PER OWNER.
2. HANDRAIL TO BE INSTALLED PER OWNER.
3. DECK STRUCTURE MUST NOT BE CONNECTED TO HOUSE CANTILEVERS.
4. THE CONCRETE PIER AND BELL DIMENSIONS SPECIFIED IN THE PLAN REPRESENT THE MINIMUM REQUIRED DIAMETERS. YOU ARE PERMITTED TO INCREASE THESE SIZES IF NECESSARY.
5. FINISH DECK ELEVATION SHALL BE 1" BELOW FINISH MAIN FLOOR ELEVATION OR PER CITY CODE.
6. ALL BEAMS/HEADERS TO BE #1 GRADE WOOD. ALL OTHER STRUCTURAL FRAMING (POSTS, JOISTS, LEDGER BOARDS, STAIR STRINGERS) TO BE PRESSURE TREATED (R317.1: R407.1) GRADE #2 OR BETTER.
7. ALL EXTERIOR BOLTS AND CONNECTORS, ETC. MUST BE WEATHERPROOF (GALVANIZED, STAINLESS STEEL, ETC.) (R317.3)
8. LATERAL LOAD CONNECTORS ARE REQUIRED WITHIN 24 INCHES OF EACH END OF DECK AND AS REQUIRED TO MEET A DESIGN CAPACITY OF 750 POUNDS EACH (R507.2.4).
9. REFER TO IRC TABLE 602.3(1) FASTENING SCHEDULE FOR ALL REQUIRED NAILING AND FASTENING SPECIFICATIONS - UNO.
10. FOLLOW ALL RESEARCH REPORT INFORMATION FOR DECKING CONNECTIONS AND JOIST SPACING.
11. SPLICES OF MULTISPAN BEAMS SHALL BE LOCATED AT INTERIOR POST LOCATIONS (R507.6).
12. CONNECTORS AND FASTENERS AS NOTED ARE "SIMPSON STRONG-TIE" BRAND. ALTERNATIVE BRANDS OF EQUAL OR GREATER CAPACITIES ARE ACCEPTABLE.
13. ALL ITEMS OR ELEMENTS DESIGNATED (E) REPRESENT EXISTING CONDITIONS.
14. PROVIDE SAFETY GLASS OR SAFETY FILM TO WINDOW NEXT TO THE STAIRS.



1 3D VIEW BACK



2 3D VIEW FRONT



MARK HICKS LLC.
 (636) 337-7733
 MarkHicksLLC.com

DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
 ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

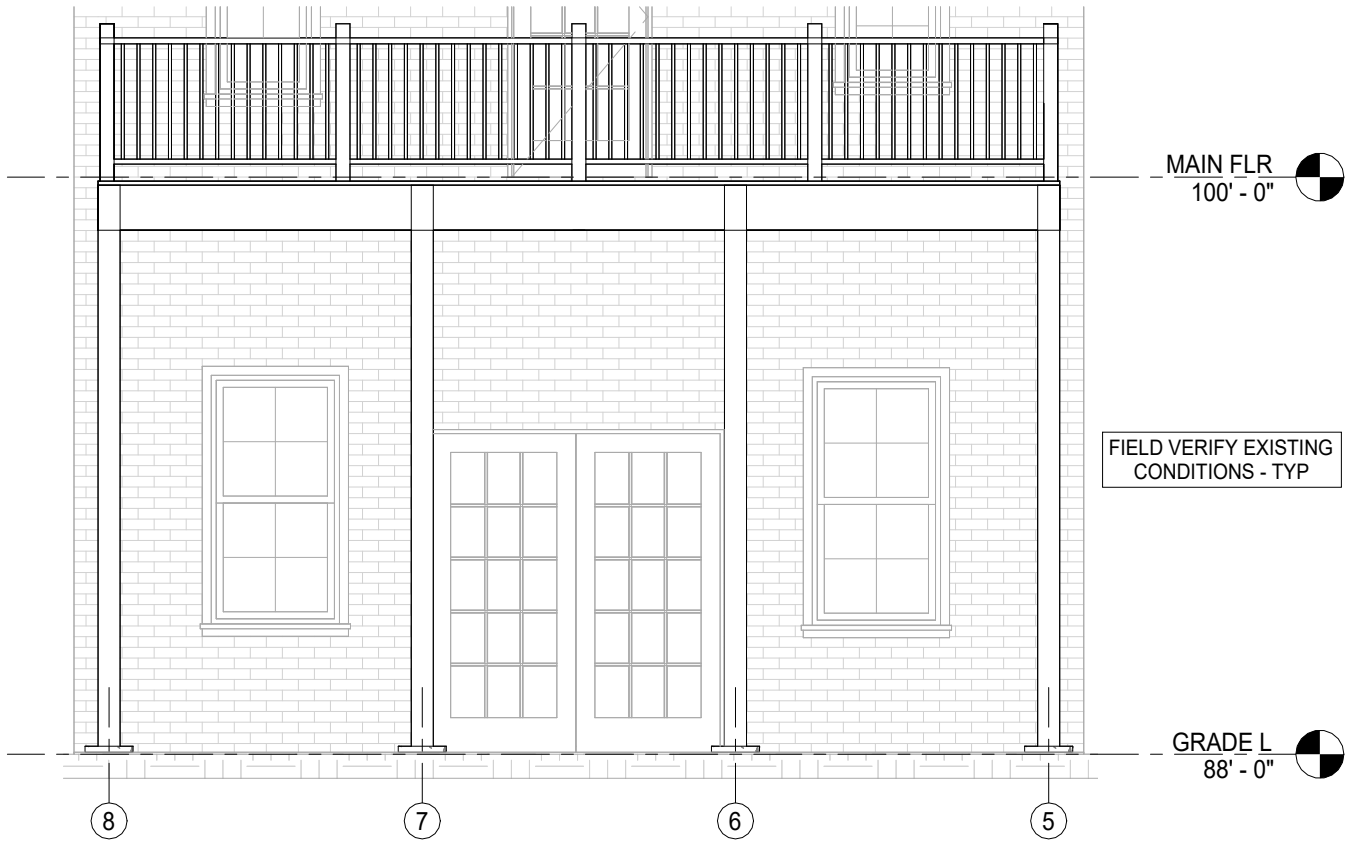
SHEET NAME:

COVER PAGE & PROJECT NOTES

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10
2	CITY COMMENTS	2026-02-24

D1

SCALE: 1/8" = 1'-0"



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MARK HICKS LLC.
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 MarkHicksLLC.com

DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
 ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

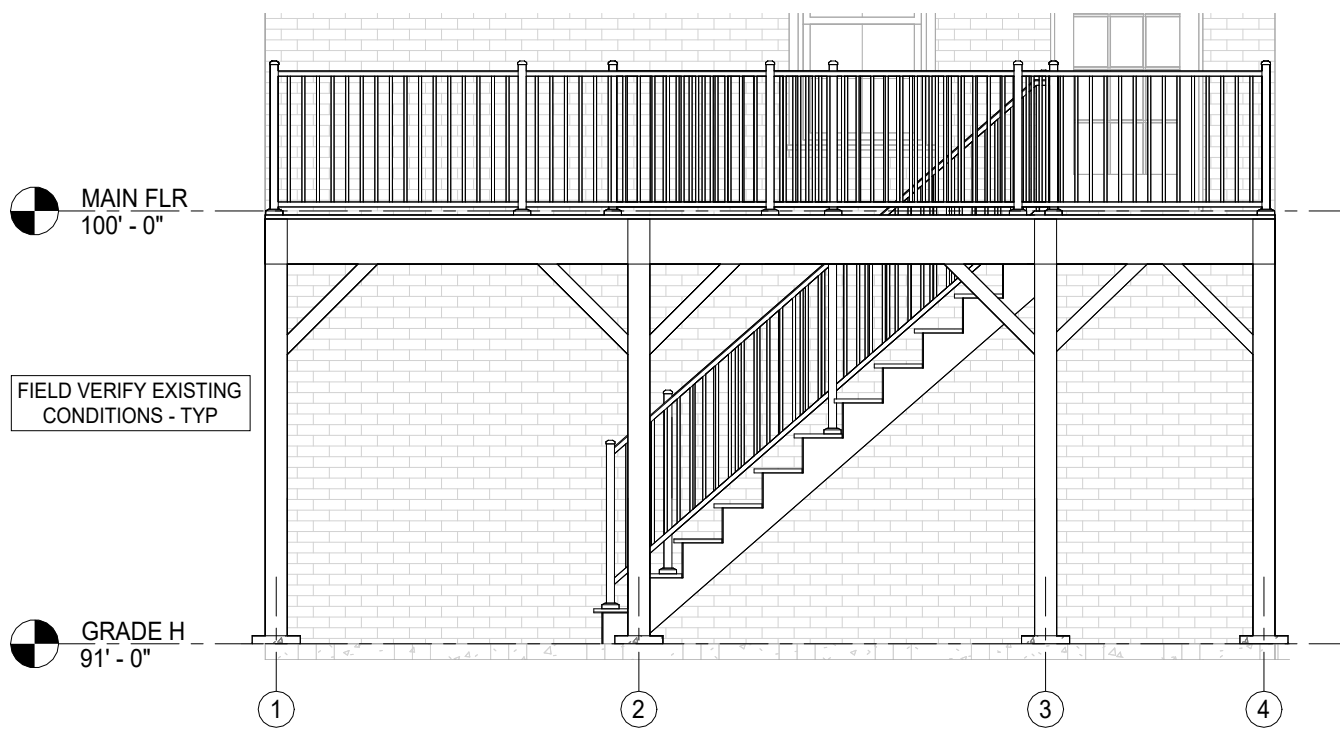
SHEET NAME:

NORTH ELEVATION

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10

D2

SCALE: 1/4" = 1'-0"



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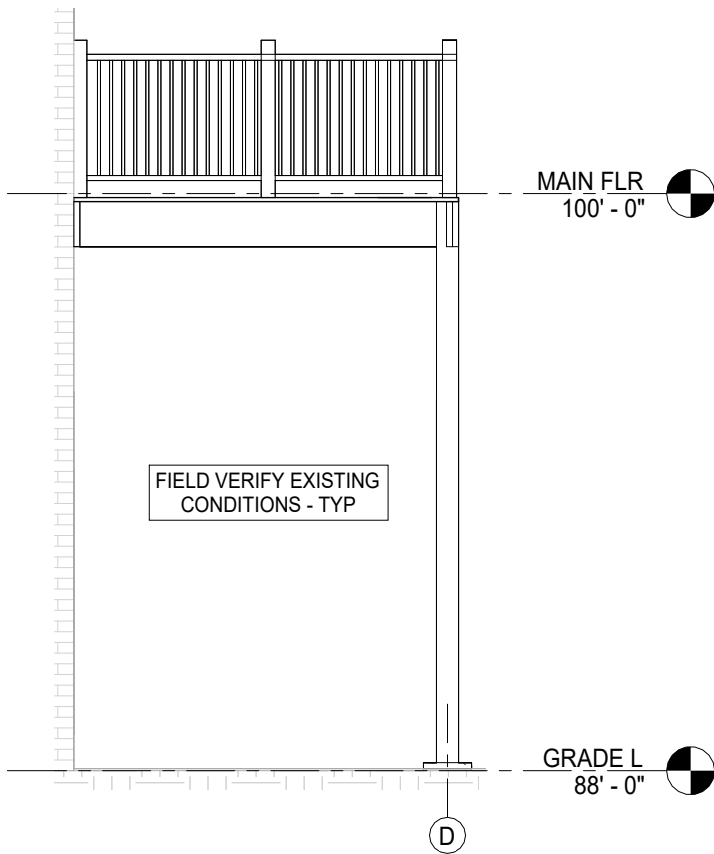
DECK DRAWINGS FOR:
 WIECHENS RESIDENCE
 901 N 2ND STREET
 ST. CHARLES, MO 63301
 PROJECT # HS-MO-25-07

SHEET NAME:
 SOUTH ELEVATION

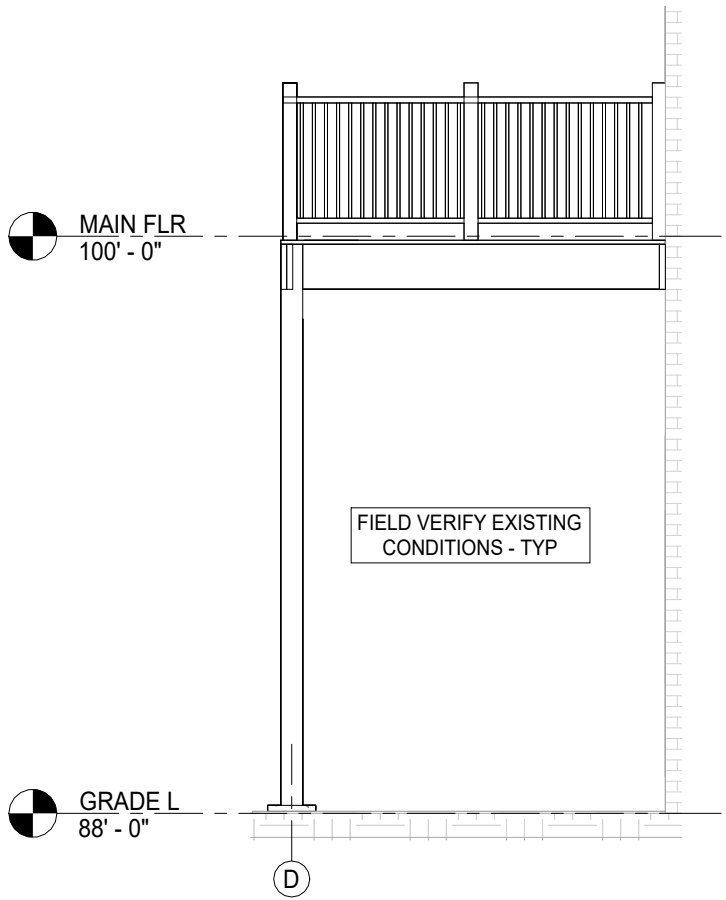
#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10

D3

SCALE: 1/4" = 1'-0"



1 EAST ELEVATION FRONT
1/4" = 1'-0"



2 WEST ELEVATION FRONT
1/4" = 1'-0"



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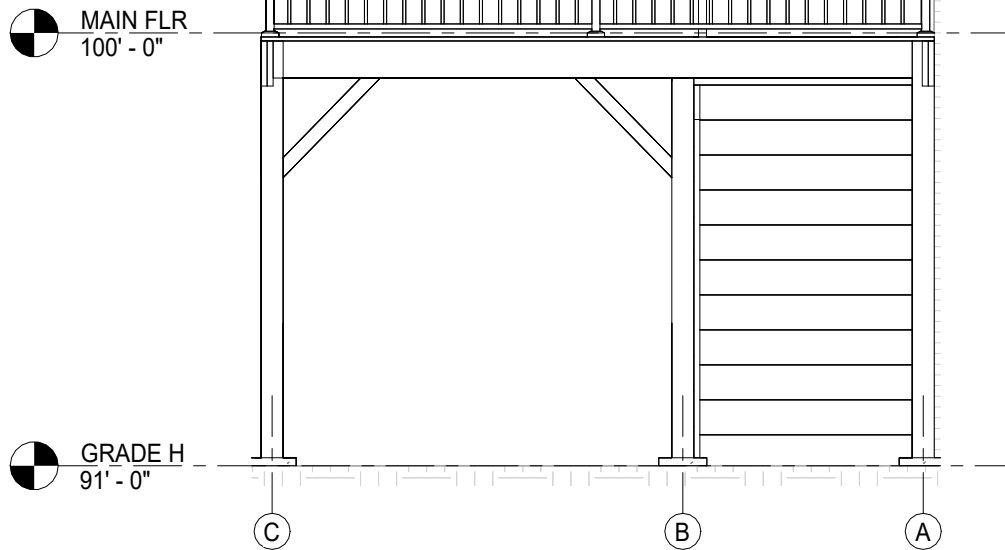
DECK DRAWINGS FOR:

WIECHENS RESIDENCE

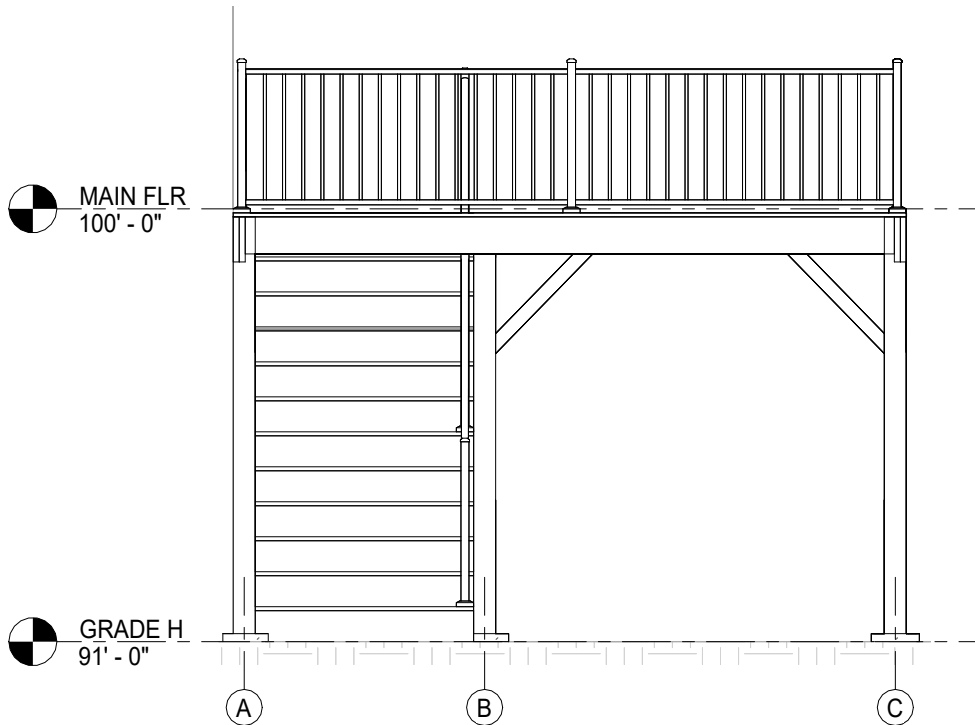
901 N 2ND STREET
ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

SHEET NAME: EAST & WEST ELEVATION FRONT			
#	ISSUED FOR:	DATE	D4
1	PERMIT	2026-02-10	
			SCALE: 1/4" = 1'-0"



1 EAST ELEVATION BACK
1/4" = 1'-0"



2 WEST ELEVATION BACK
1/4" = 1'-0"

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MarkHicksLLC.com

DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

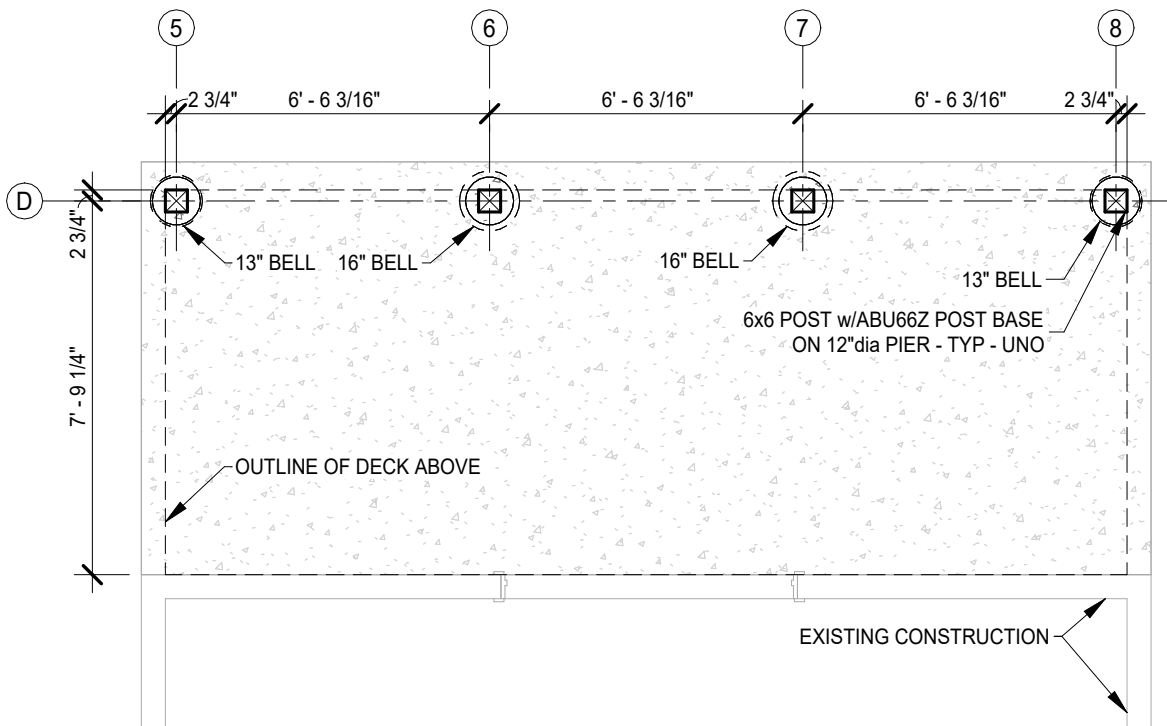
SHEET NAME:

EAST & WEST ELEVATION BACK

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10

D5

SCALE: 1/4" = 1'-0"



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DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
 ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

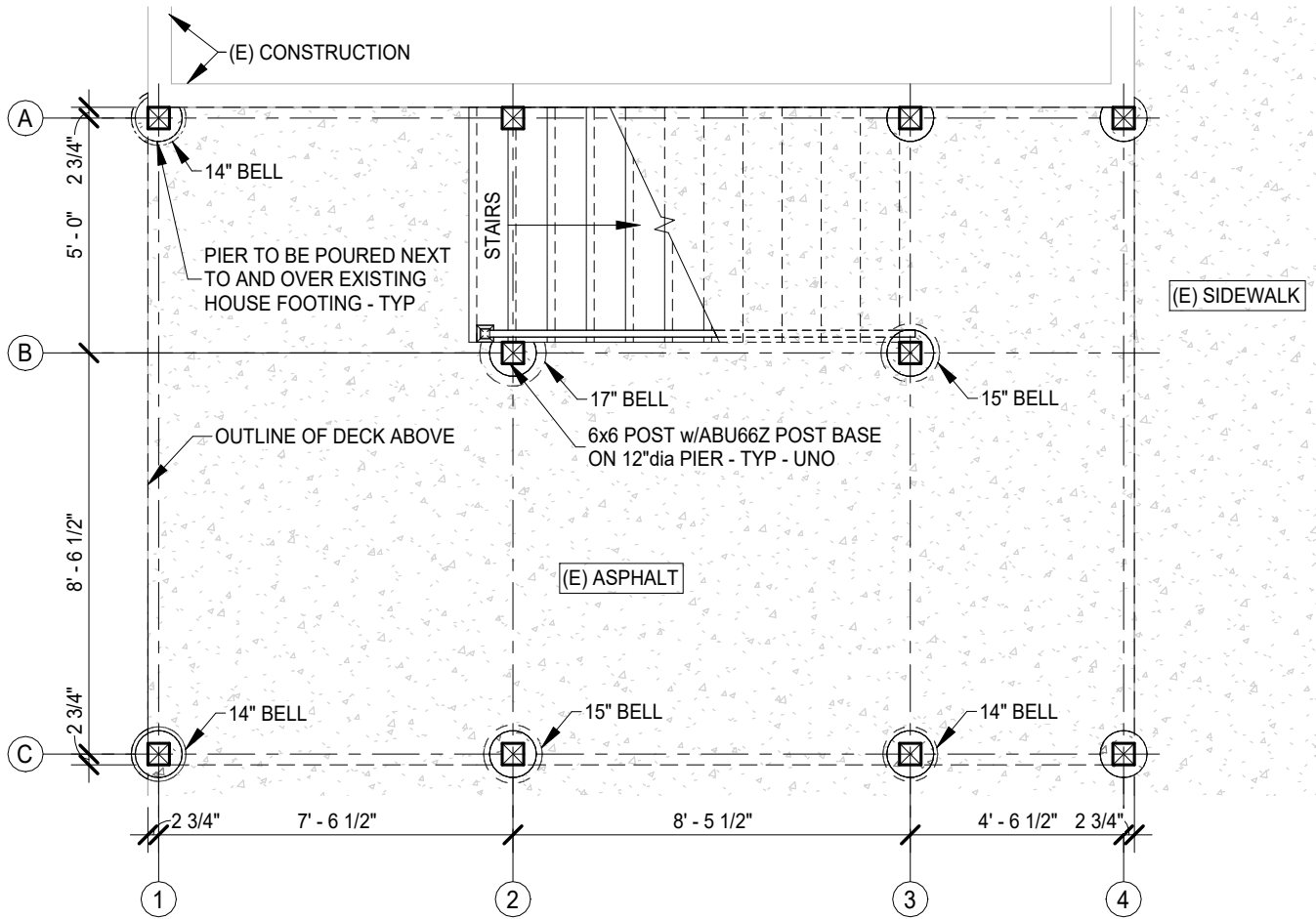
SHEET NAME:

PIER PLAN FRONT

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10

D6

SCALE: 1/4" = 1'-0"



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DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
 ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

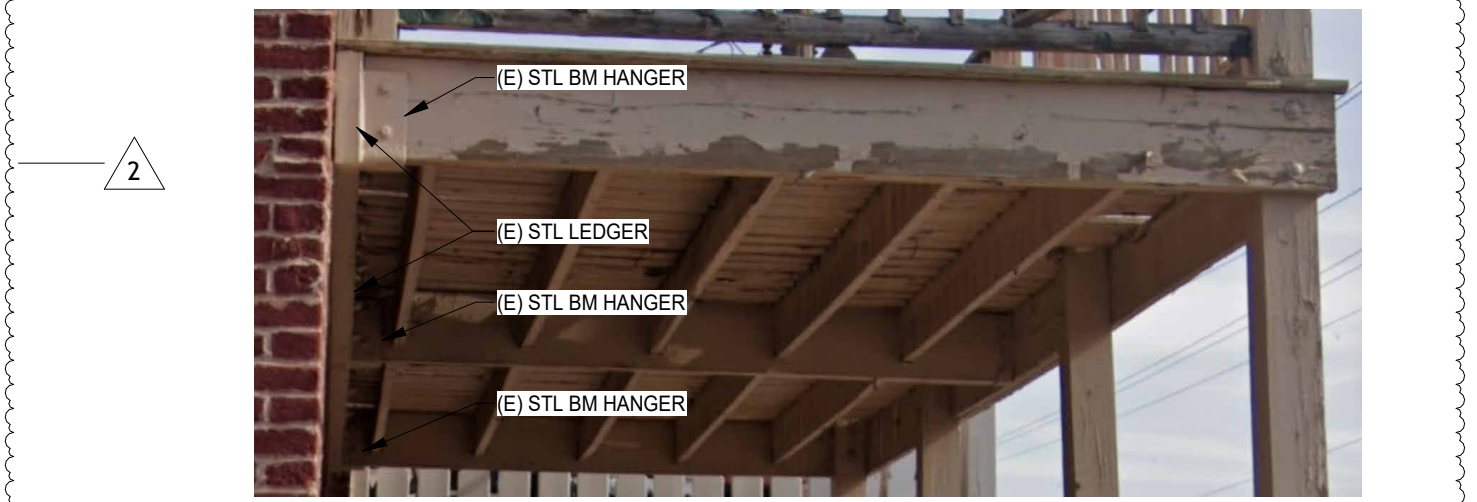
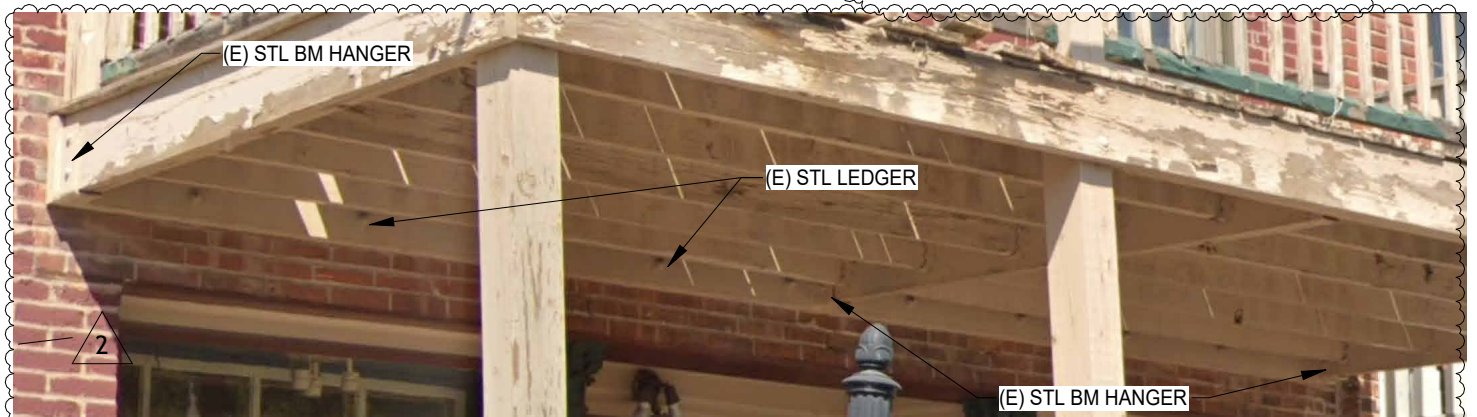
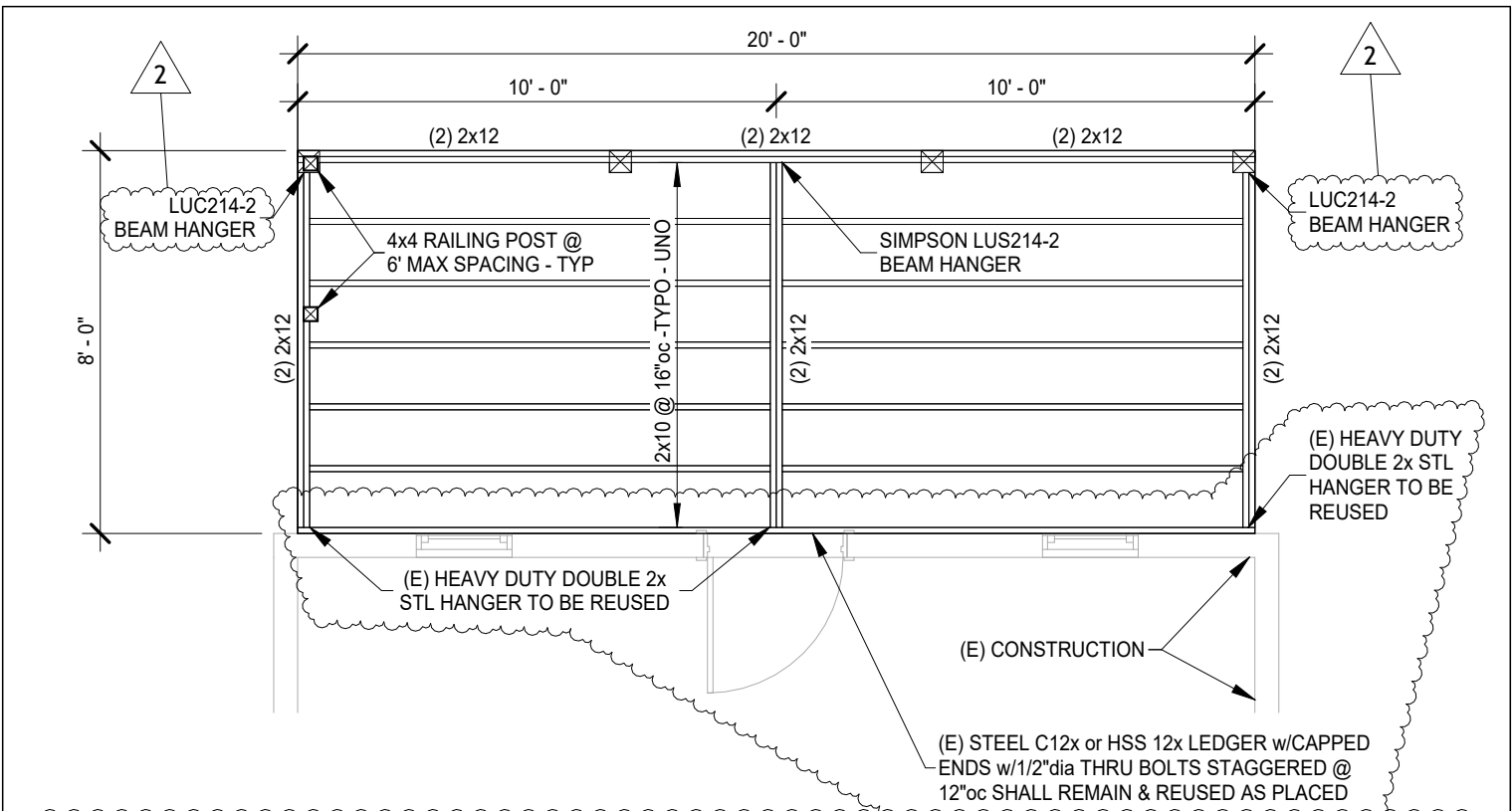
SHEET NAME:

PIER PLAN BACK

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10

D7

SCALE: 1/4" = 1'-0"



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DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

SHEET NAME:

FRAMING PLAN FRONT

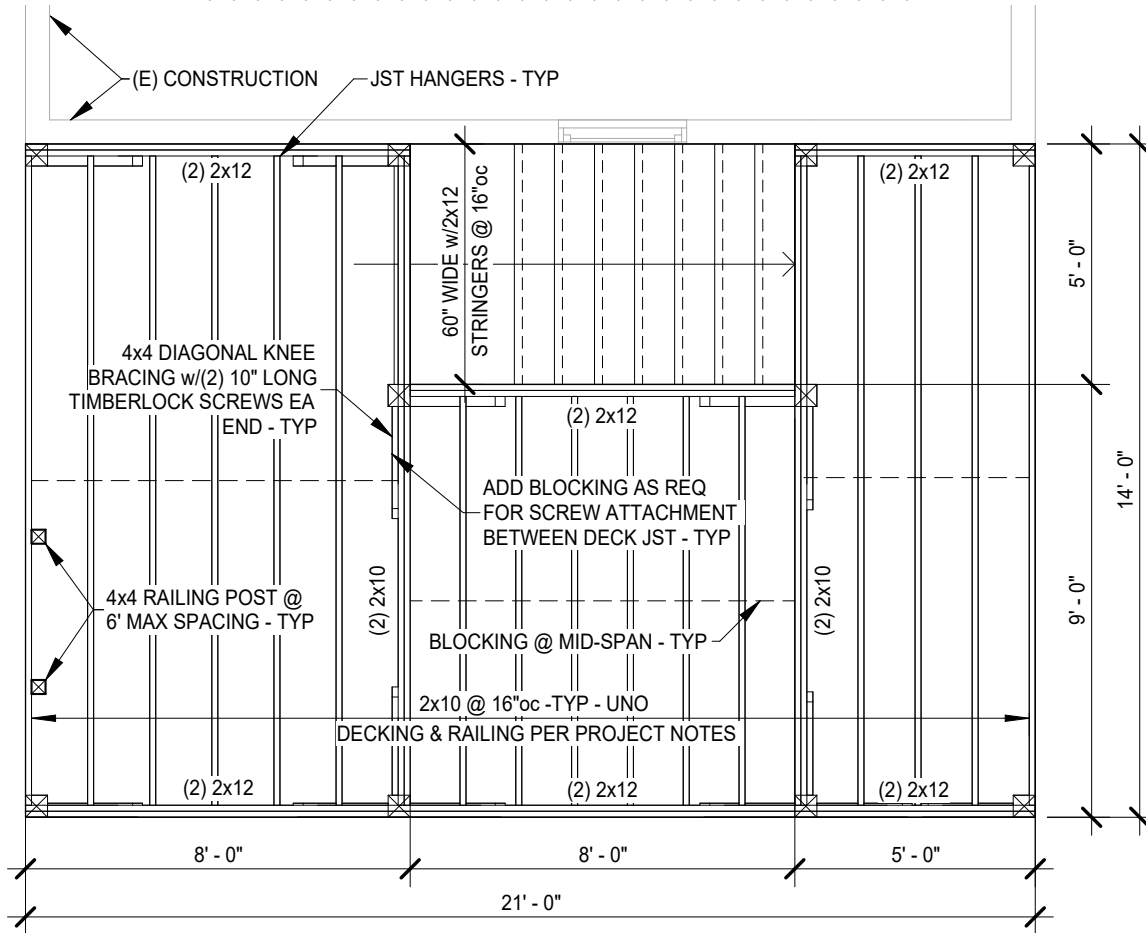
#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10
2	CITY COMMENTS	2026-02-24

D8

SCALE: 1/4" = 1'-0"

2

FRAMING NOTE:
 PROVIDE SIMPSON LUS214-2 & LUC214-2 BEAM HANGERS AS
 REQUIRED SO ONLY ONE SIDE OF POST IS NOTCHED - TYP



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DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
 ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

SHEET NAME:

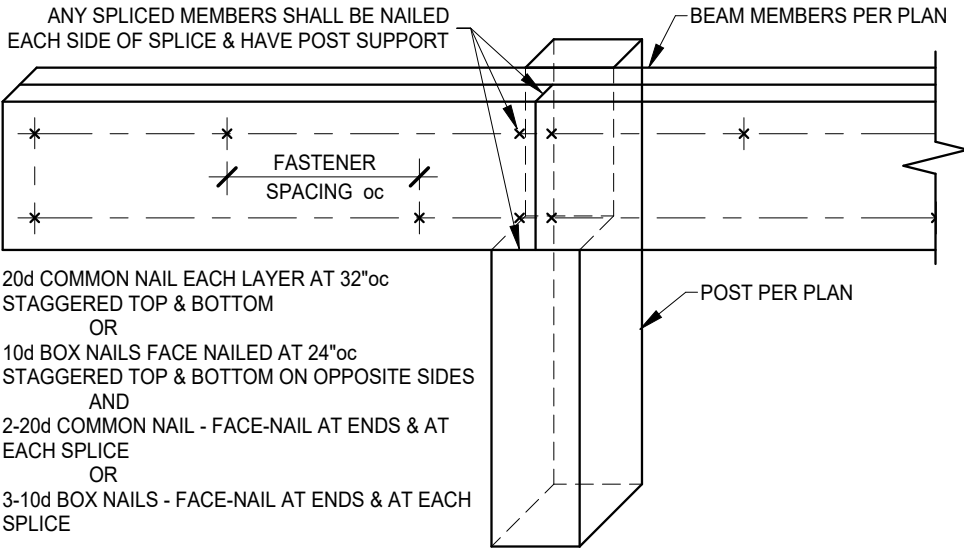
FRAMING PLAN BACK

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10
2	CITY COMMENTS	2026-02-24

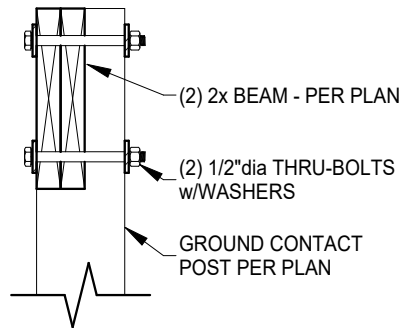
D9

SCALE: 1/4" = 1'-0"

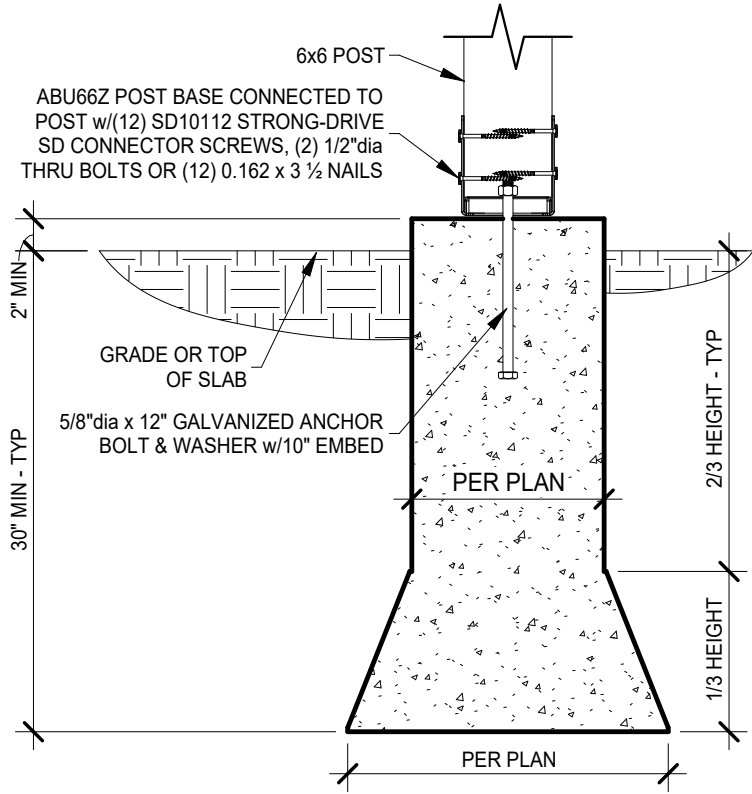
NOTE:
FOR 3-MEMBER BEAMS, FASTEN FROM BOTH SIDES OUTSIDE MEMBERS TO INSIDE MEMBERS



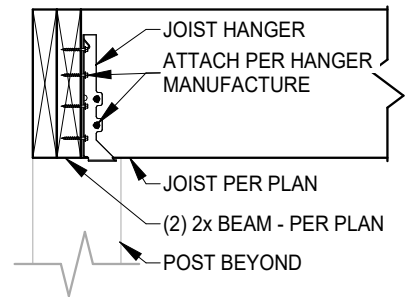
A BUILT-UP BEAM NAILING & SPLICE DETAIL
1" = 1'-0"




B FRAMING DETAIL
1" = 1'-0"

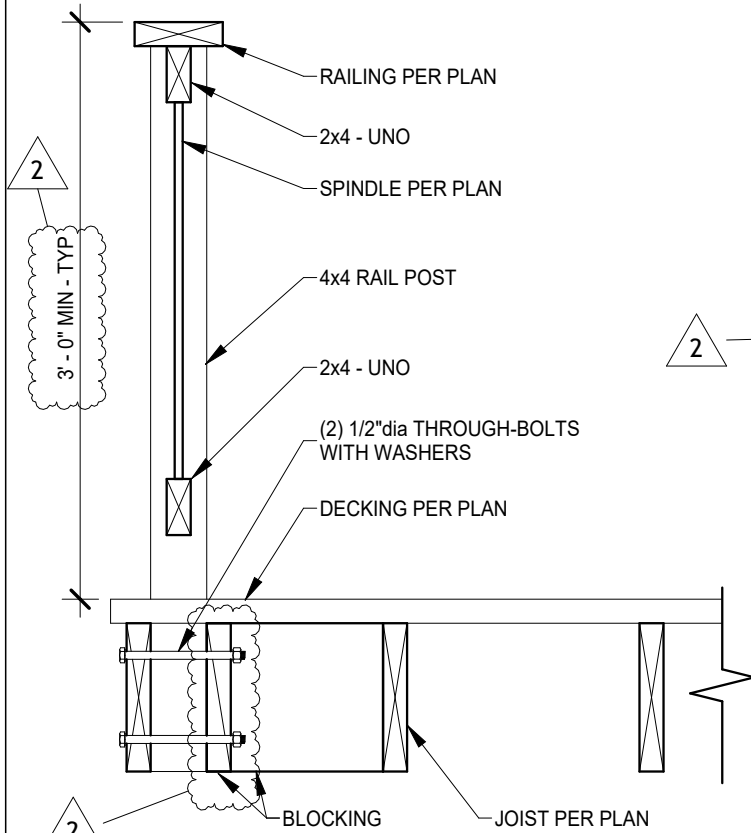


C PIER & POST DETAIL
1" = 1'-0"

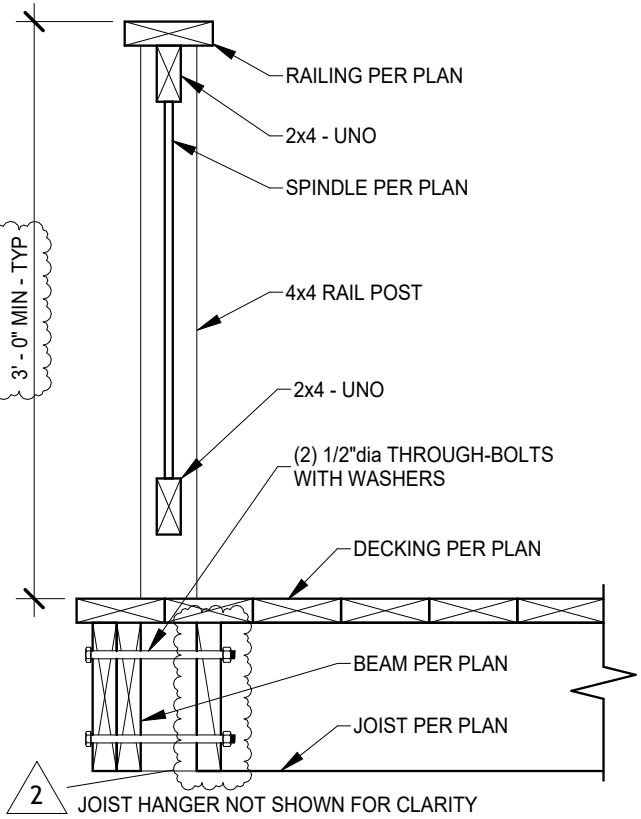


D FRAMING DETAIL
1" = 1'-0"

 MARK HICKS LLC. (636) 337-7733 MarkHicksLLC.com	DECK DRAWINGS FOR: WIECHENS RESIDENCE 901 N 2ND STREET ST. CHARLES, MO 63301		SHEET NAME: PIER, POST & BEAM DETAILS								
	PROJECT # HS-MO-25-07	<table border="1"> <tr> <th>#</th> <th>ISSUED FOR:</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>PERMIT</td> <td>2026-02-10</td> </tr> </table>	#	ISSUED FOR:	DATE	1	PERMIT	2026-02-10	<table border="1"> <tr> <td style="text-align: center; font-size: 2em;">D10</td> </tr> <tr> <td>SCALE: 1" = 1'-0"</td> </tr> </table>		D10
#	ISSUED FOR:	DATE									
1	PERMIT	2026-02-10									
D10											
SCALE: 1" = 1'-0"											



A FRAMING DETAIL
1" = 1'-0"



B FRAMING DETAIL
1" = 1'-0"

NOTE:
BLOCK ALL SIDES OF RAIL POST - TYP

2

Mark Hicks LLC

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MarkHicksLLC.com

DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

SHEET NAME:

HANDRAIL DETAILS

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10
2	CITY COMMENTS	2026-02-24

D11

SCALE: As indicated

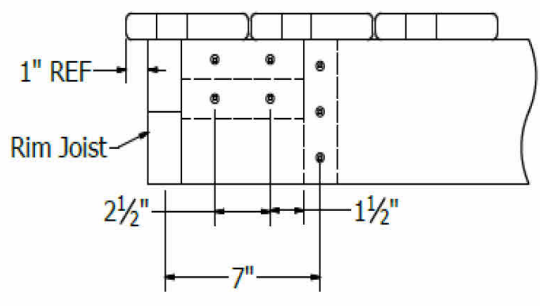
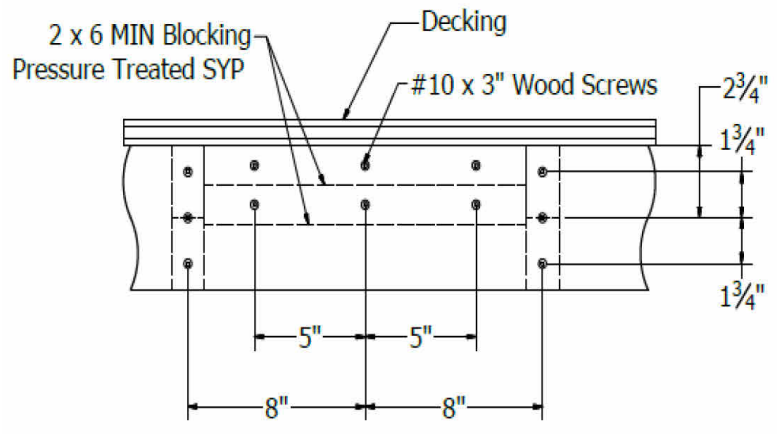
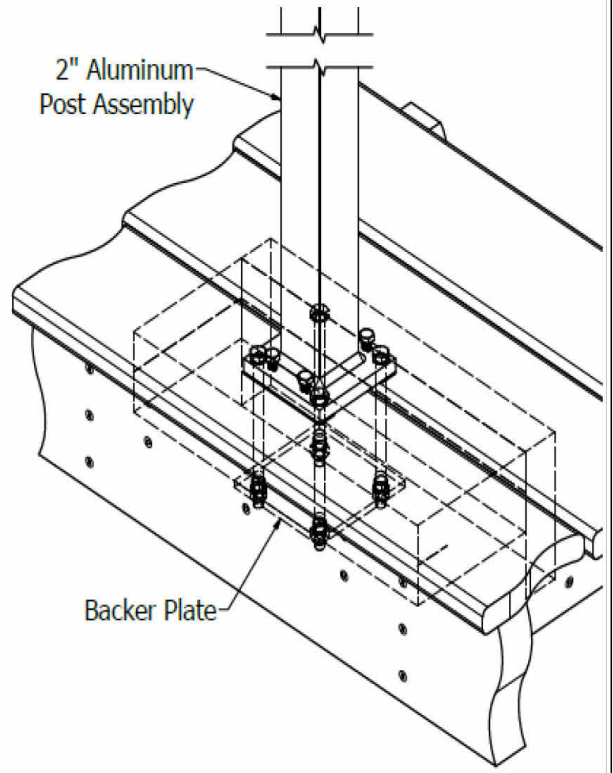
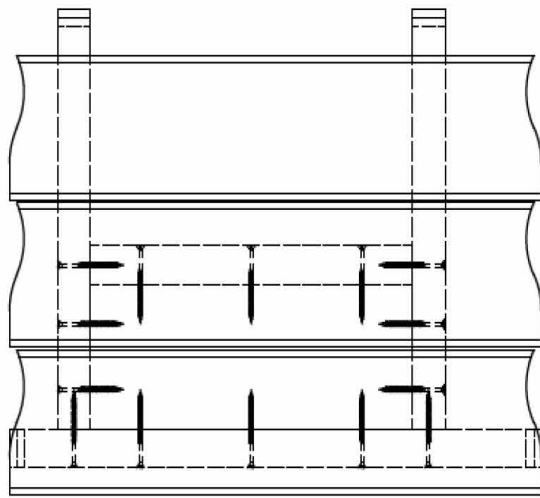


FIGURE 30 – STRUCTURAL WOOD FRAMING 2" POST MOUNT

Limited to IRC and FBC Residential



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DECK DRAWINGS FOR:
 WIECHENS RESIDENCE
 901 N 2ND STREET
 ST. CHARLES, MO 63301
 PROJECT # HS-MO-25-07

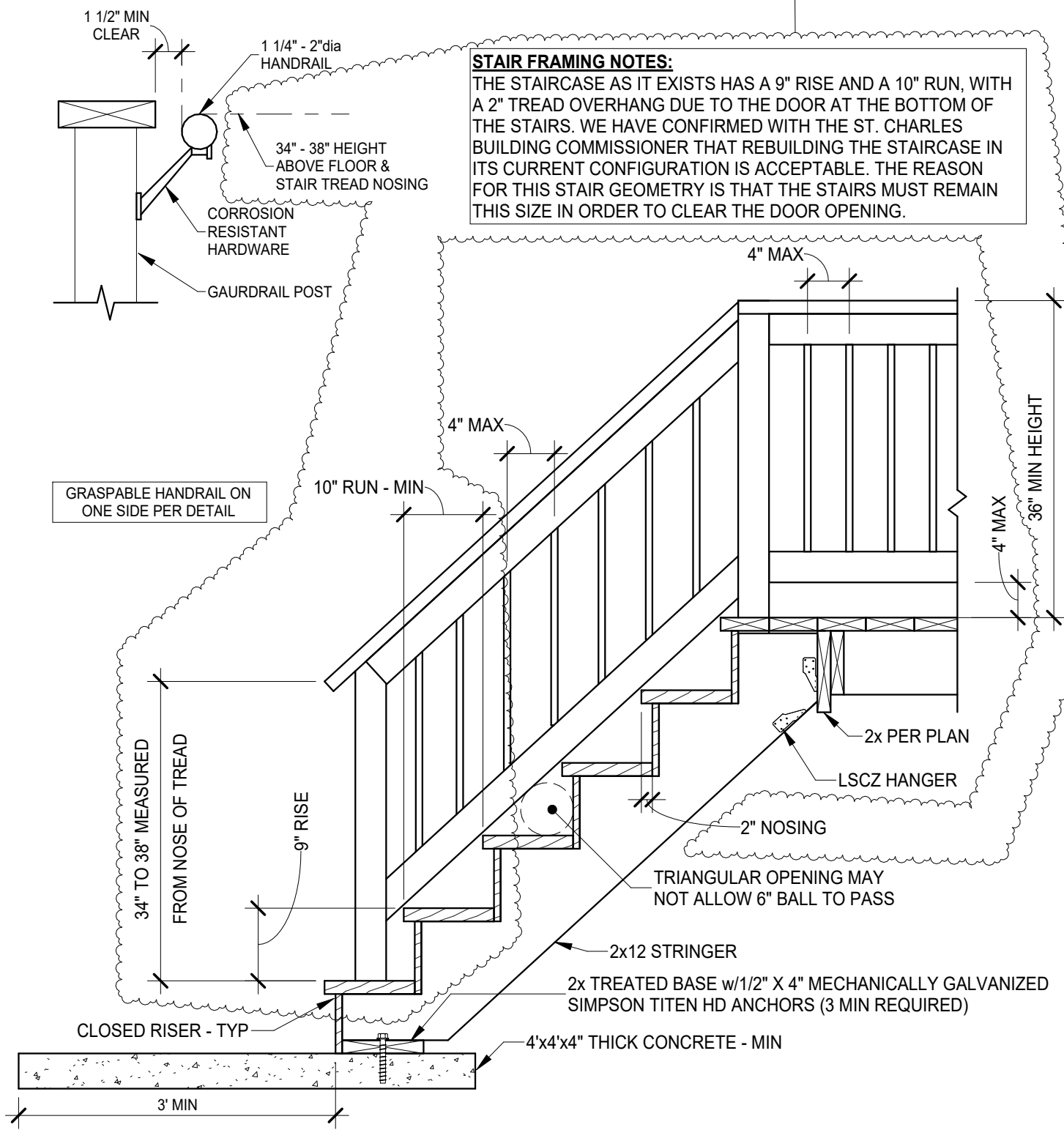
SHEET NAME:
 OPTIONAL HANDRAIL DETAILS

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10


D12

SCALE: As indicated

STAIR FRAMING NOTES:
 THE STAIRCASE AS IT EXISTS HAS A 9" RISE AND A 10" RUN, WITH A 2" TREAD OVERHANG DUE TO THE DOOR AT THE BOTTOM OF THE STAIRS. WE HAVE CONFIRMED WITH THE ST. CHARLES BUILDING COMMISSIONER THAT REBUILDING THE STAIRCASE IN ITS CURRENT CONFIGURATION IS ACCEPTABLE. THE REASON FOR THIS STAIR GEOMETRY IS THAT THE STAIRS MUST REMAIN THIS SIZE IN ORDER TO CLEAR THE DOOR OPENING.



GRASPABLE HANDRAIL ON ONE SIDE PER DETAIL

 MARK HICKS LLC. (636) 337-7733 MarkHicksLLC.com	DECK DRAWINGS FOR: WIECHENS RESIDENCE 901 N 2ND STREET ST. CHARLES, MO 63301		SHEET NAME: STAIR DETAILS		D13 SCALE: As indicated	
	PROJECT #	HS-MO-25-07	#	ISSUED FOR:		DATE
			1	PERMIT		2026-02-10
		2	CITY COMMENTS	2026-02-24		

St Charles
County Assessor



Legend:
353: RETAIL STORE
BSA: BASEMENT AREA

Property Details

Information is current as of 01/09/2026

Account Number: 004980A000 **Parcel ID:** 6-009A-B061-00-0007.0000000

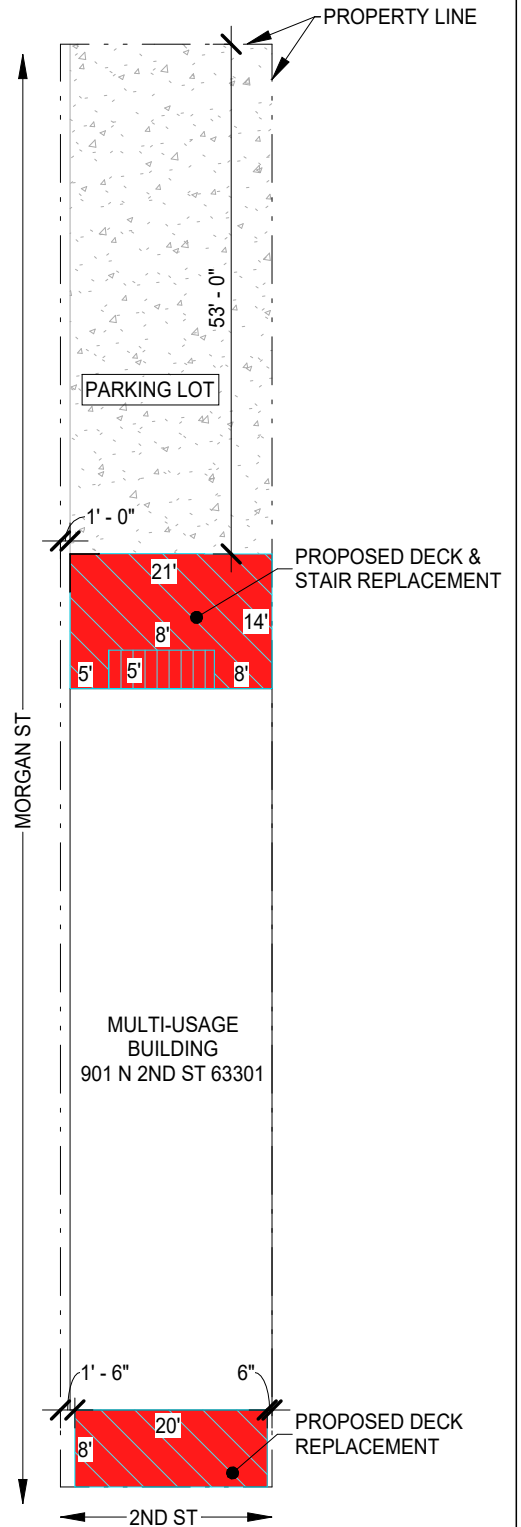
Owner(s): WIECHENS JAMIE MARIE 3625 OXFORD BLVD ST LOUIS, MO 63143	Property Address: 901 N 2ND ST 63301
	School District: St Charles
	City: St. Charles
	Fire District: St. Charles
	Neighborhood Code: 5102
	Subdivision:

Legal Description: PT CITY BLK 61

Lot Size: 22X150 [Site Map](#)

Building Data

Year Built: 1880	Property Type: MULTI-USAGE (XCAR)
Quality Code: C - Not used	Architectural Type: 353 - RETAIL STORE
	Exterior Walls: 100% COMMON BRICK,
Bedrooms: 0	Total Area: 4,410
Bathrooms: 0	Base Area: 3,150
Half Bathrooms: 0	Parking Area: 0
Total Rooms: 0	Basement Area: 1,575
Fireplaces: 0	Finished Basement Area: 0



MARK HICKS LLC.
(636) 337-7733
MarkHicksLLC.com

DECK DRAWINGS FOR:

WIECHENS RESIDENCE

901 N 2ND STREET
ST. CHARLES, MO 63301

PROJECT # HS-MO-25-07

SHEET NAME:
PLOT/SITE PLAN & DETAILS

#	ISSUED FOR:	DATE
1	PERMIT	2026-02-10

D14

SCALE: 1" = 20'-0"



STAFF REPORT
PRIMARY STRUCTURE & REAR GARAGE
EXTERIOR ALTERATIONS
825 SOUTH MAIN STREET
CASE NO. EC-2026-16

BY TAYLOR MOORE

APPLICANT: Michelle Beucke
602 North Benton Avenue
St. Charles, MO 63301

OWNER: Distillery Properties LLC
580 Lexington Landing Place
St. Charles, MO 63303

ADDRESS/LOCATION: 825 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial—Cardinal Sin Distillery

MEETING DATE: March 23, 2026

BACKGROUND

The subject property is 825 South Main Street in the South Main Preservation District. Property records indicate that the primary building was built in 1910. However, the primary structure and an outbuilding appear on the 1909 map published by the Sanborn Map Company in December of that year; neither are indicated on the 1900 map. The applicant is requesting to make exterior alterations to both the rear detached garage and a rear addition to the primary structure. The applicant is proposing to reclad the garage with new siding material, replace alley garage door, and remove the existing deck and roof covering that faces the rear yard. On the primary structure, the applicant is proposing to remove an existing bay window on a rear addition and replace it with a large picture window to fill the opening. The project also entails replacing one rear door. Accompanying this application is a site plan, elevation drawings, material examples, and photographs of the existing property.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: “SMPD” SOUTH MAIN PRESERVATION DISTRICT

C. Special Building and Occupancy Permit.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and

Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

Architectural Design Guidelines for the South Main Street Historic District

Chapter IV: Guidelines for Historic Properties

Site Planning & Site Features

4.5 Select replacement or new materials and features that are compatible with the existing character of the site.

Architectural Details: Preservation, Treatment, & Replacement

4.11 Preserve the historic design character of a building.

4.12 Minimize alteration of historically significant features.

4.14 Historically significant materials and features shall not be altered or removed.

a. Examples of historically significant architectural features are porches, turned columns, brackets and jig-saw ornaments. The overall building or roof form is also significant.

b. Preserve original doors, windows and porches in their original condition when physical conditions permit.

Materials

4.25 A replacement material shall appear similar in character to that used historically.

Doors & Entries

4.31 Preserve a historically important door when physical conditions permit.

4.33 Changing the position of historically important door is inappropriate,

4.34 Maintain the original proportions of a historically important door.

Windows

4.40 When replacement window is necessary, use materials like those seen historically.

Building Form, Mass and Scale

6.13 A new buildings shall appear similar in scale to historic structures found traditionally in the area.

a. A building shall have a simple rectangular mass as its primary form.

6.14 A new building shall appear similar in height to those seen traditionally in the District.

6.17 A secondary structure shall be similar in form, mass and scale to secondary structures traditionally in the District.

STAFF RECOMMENDATION

The proposed project primarily entails renovating the existing detached garage building. The rear deck and associated roof covering are to both be removed, which face the rear of the primary structure. The existing garage will be clad with new composite wood look vertical siding that is like the existing but will be a lime white tone. The north wall will be clad in a different material (Hardi Panel Siding) but will also be painted the lime white tone. This elevation features existing mechanical equipment that will require screening. The fascia on the structure is also to be replaced on the west and north elevations and new facias board will be installed on the south and east elevations. The small window on the east elevation of the garage is to be replaced with a composite clad window. New goose-neck sconces for exterior lighting are to be installed on the south and west elevations. Lastly, the barn door facing the alleyway is to be removed and replaced with an overhead coiling door and steel man door.

Regarding the primary structure, the project involves removing an existing bay window

that is on the rear of an addition. The opening will be infilled with a new picture window accompanied by siding material that matches the current structure. The project also calls for a full-glass double door entry to be replaced with ½ light door. This portion of the primary structure is not original, and therefore these alterations will not have any impact on the historic integrity of the property.

Overall, the project will enhance the property by renovating both the rear garage structure and the rear portion of the primary building. The updates are compliant with the design standards for the district and will be minimally visible from the alleyway. Therefore, Staff recommends approval of the exterior alterations, subject to the following condition:

1. The mechanical equipment on the north elevation of the garage will need to be screened.

Recommended Motion:

Motion to approve the exterior alterations to a rear garage and rear addition at 825 South Main Street, subject to the condition recommended by Staff.



Figure 1: Primary structure seen from South Main Street.

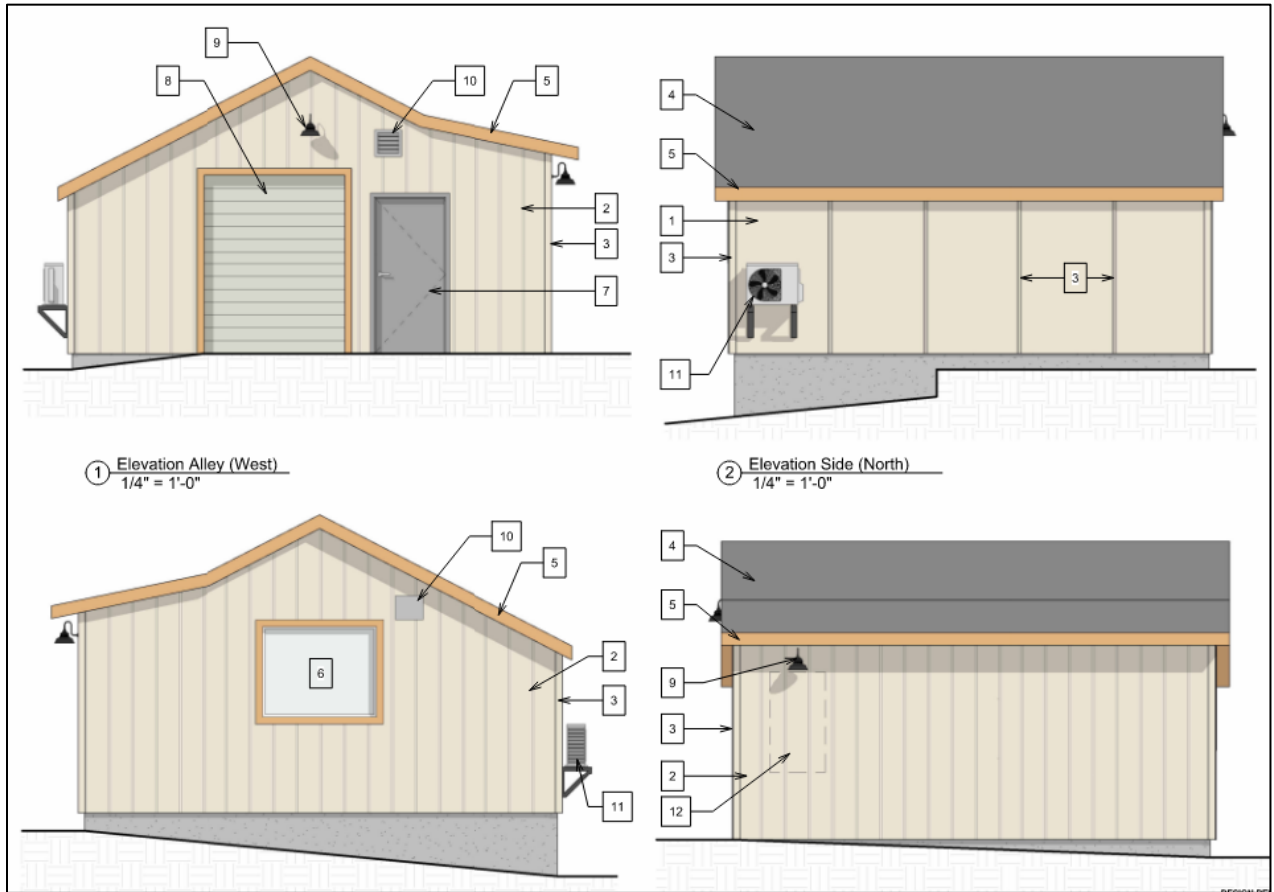


Figure 2: Elevations for the rear garage structure.

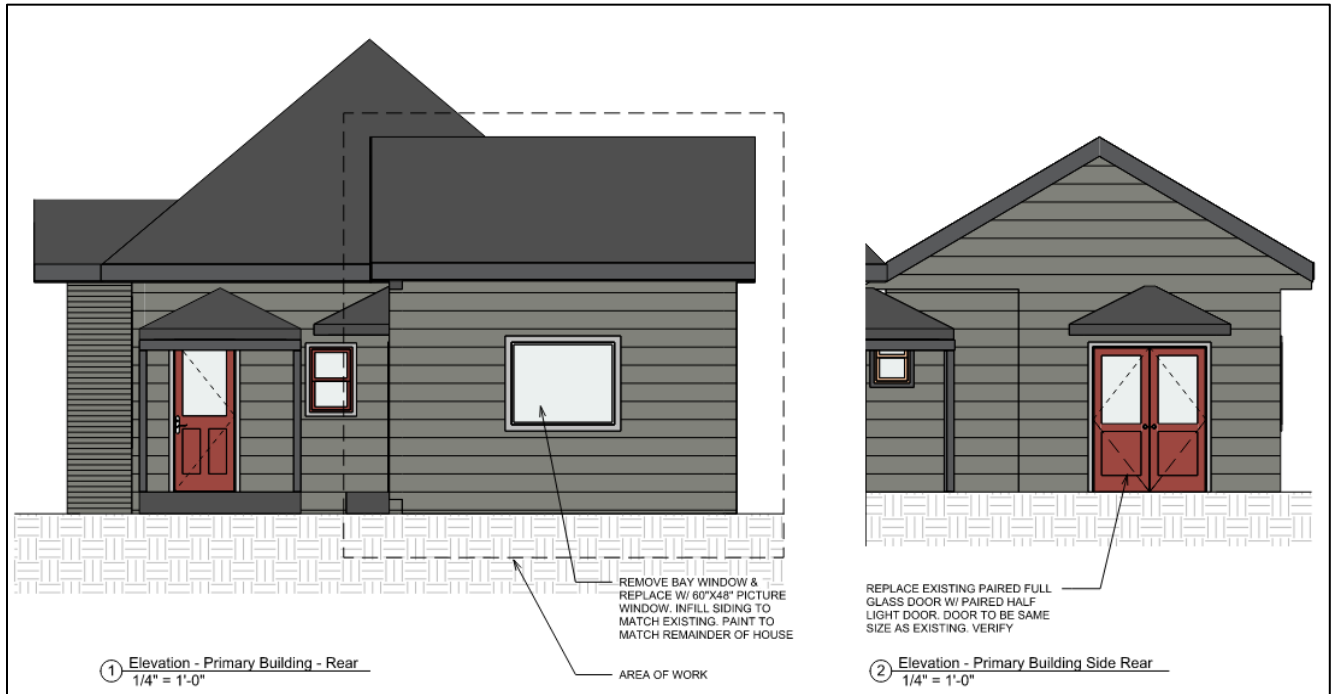


Figure 3: Elevations for rear addition.

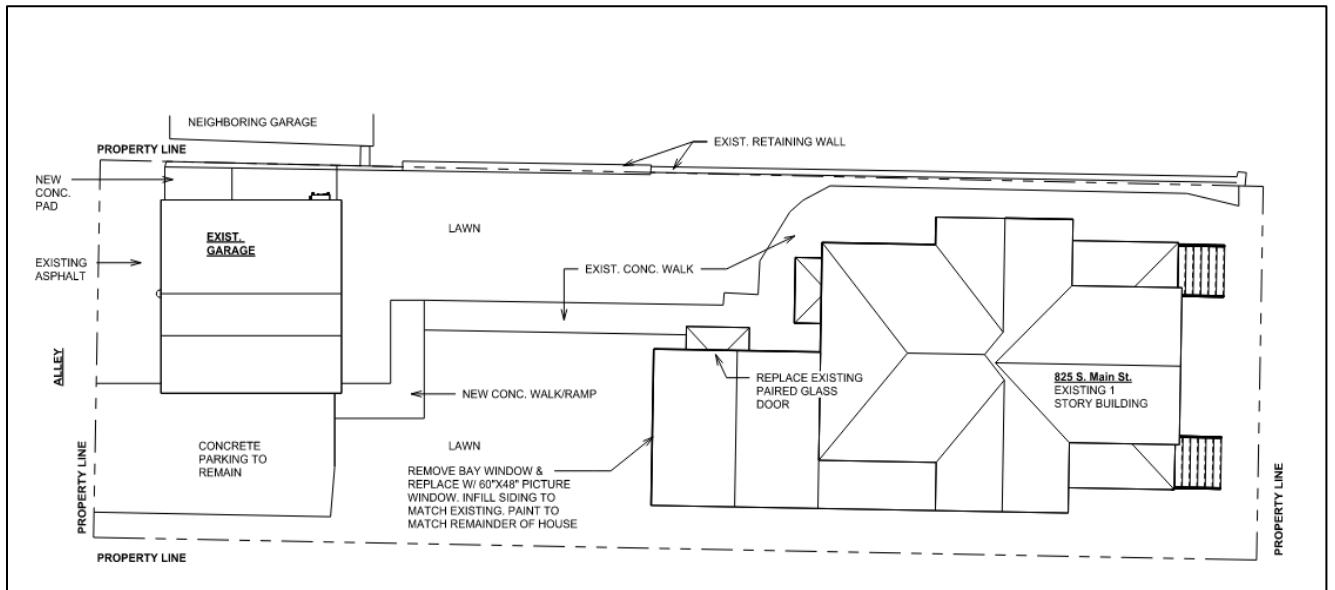


Figure 4: Site plan of property.



Figure 5: Rear garage currently with porch and roof covering.



Figure 6: Rear addition on primary structure.



Figure 7: Garage seen currently from rear alleyway.



Figure 8: Subject property's location.

March 4, 2026

Taylor R. Moore

Preservation Planner

St. Charles Department of Community Development

Re: Case No. EC-2026-14 901 North 2nd Street – Rebuild front and rear decks

I intend for the overall appearance to stay the same. I would like the building to look refreshed, to stand stately and proud. The railing style will be made in the Historic "Souard" style. The wood handrail will be made of Douglas Fir. Spindles will be 1" x 2", 5" on center 36" long. The decking will be made of 5/4" x 6" Ipe sealed with hardwood deck oil. Finish on posts, skirts and railings will be from the Benjamin Moore Historic Paint Collection. The top and bottom rail, skirt and posts to be painted HC187 Black Forest Green. Spindles to be painted HC-112 Tate Olive.

Posts will have copper metal pyramid caps.

Front and back porches will match in railing style and finish colors.

Back deck will no longer have the pergola-like structure. I intend to keep the windmill and the screened in area below using lattice to add shade and security.

Thank you for your consideration,
Jamie M. Wiechens

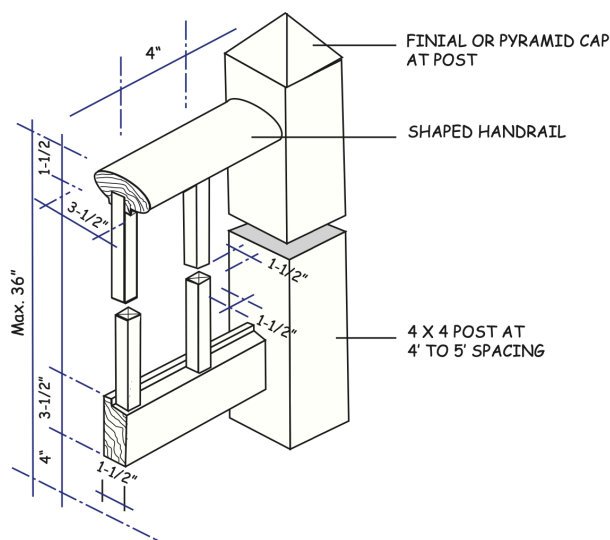
Copper Post Cap



HC-112
Tate Olive



HC-187
Black Forest
Green



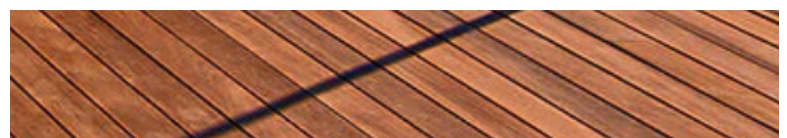
Shaped Handrail Profile



Bottom Rail Profile



Ipe Wood Decking



**HISTORIC "SOULARD" STYLE
HANDRAIL**

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____ 825 S. Main St. _____

BUSINESS NAME (if applicable): _____ Cardinal Sin Distillery _____

APPLICANT: _____ Micki Beucke, Little Hills Architecture _____

(Name)

_____ 602 N. Benton Ave., St. Charles, MO 63301 _____

(Address)

_____ 636-578-9973 micki@littlehillsarchitecture.com _____

(Phone & Email Address)

PROPERTY OWNER: _____ Distillery Properties, LLC _____

(Name)

_____ 580 Lexington Landing Pl., St. Charles, MO 63303 _____

(Address)

_____ 314-805-0867 william.schroer@stldistillery.com _____

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District Extended Historic Preservation District

Frenchtown Preservation District Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____ Garage - unknown,
Primary Structure = 1909 _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Existing 1 story wood framed house w/ wood lap siding & asphalt shingle roof. House has been converted to business occupancy and is currently occupied by Cardinal Sin Distillery.

Existing detached garage in rear yard. Wood framed with vertical wood panel siding, asphalt shingle roof, and rear covered deck structure.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: Garage: Reclad garage with new siding material, replace alley garage door, infill existing openings

Construct a new structure: _____

Demolish or move structure: Garage: Remove existing deck & roof covering

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): Primary Structure: Remove existing bay window on rear addition of primary structure. Infill opening w/ picture window and like exterior siding material to match existing walls. Replace existing door.

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Garage Scope of Work: Renovate existing detached garage building. Remove rear deck, associated roof covering, & all structural elements. Reclad existing garage exterior walls (West, East & South) with new composite wood look vertical siding material (LP Smart Side Vertical Panel Siding) similar to existing. North wall to be clad with Hardi Panel Siding - Select Cedarmill Texture. All walls to be painted Lime White (from Williamsburg Paint Collection). Existing asphalt shingle roof to remain. Replace fascia board west & north elevations and install new fascia board south and east elevations to be stained wood. Remove one existing window and replace other existing window with new composite clad awning style window of same size. Provide stained wood window trim. Infill existing door openings at east wall as indicated on plans. Remove existing inoperable alley facing sliding barn door and replace with new overhead coiling door and steel man door. Install new exterior lighting - goose neck style fixture.

Primary Structure scope of Work: Remove existing bay window on rear addition of primary structure. Infill opening w/ picture window and like exterior siding material to match existing walls. Replace paired full glass divided light door pair on rear of building with 1/2 light door pair.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: *Michelle A. Bunde*

Date: 2/20/2026

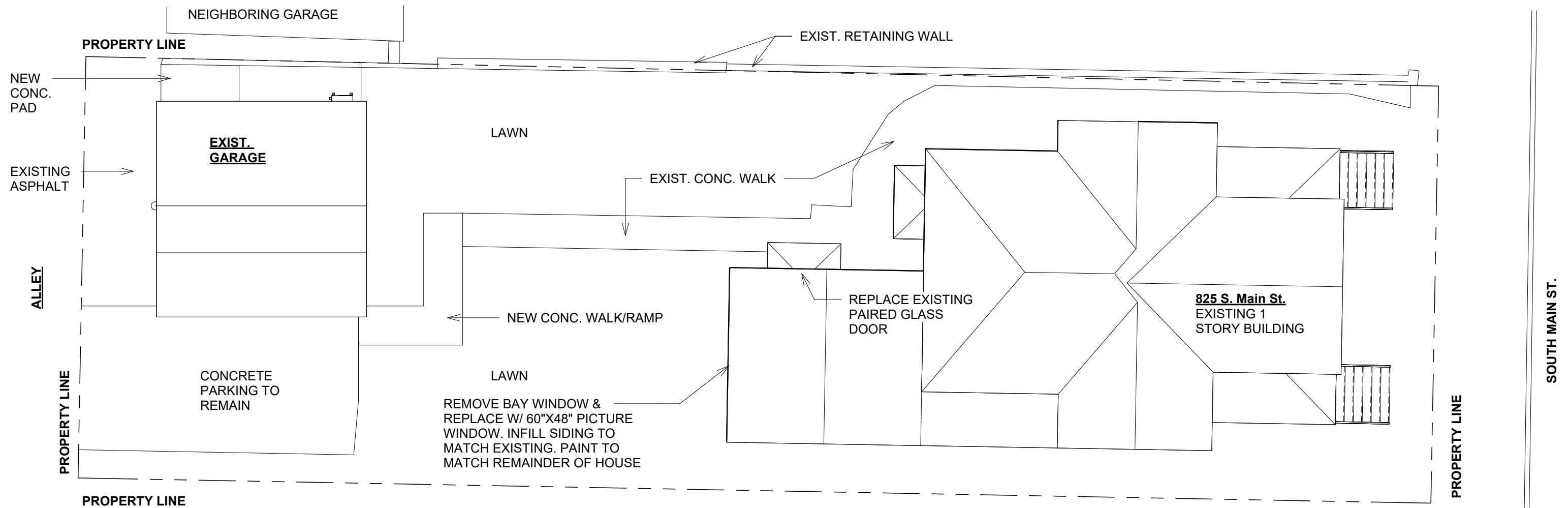
Signature of the property owner: *[Signature]*

Date: 2/21/2026

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00



1 Site Plan
1" = 10'-0"

SCOPE OF WORK:

RENOVATE EXISTING GARAGE

- REMOVE EXISTING REAR DECK & ROOF COVERING
- RECLAD EXTERIOR - SEE ELEVATIONS
- REPLACE EXISTING SLIDING DOOR WITH OVERHEAD COILING DOOR & MAN DOOR AT ALLEY - SEE ELEVATIONS

PRIMARY STRUCTURE

- REMOVE REAR BAY WINDOW. INFILL WITH SIDING TO MATCH EXISTING & 60"x48" PICTURE WINDOW.
- REPLACE EXISTING PAIRED FULL GLASS DOOR AT REAR OF BUILDING W/ NEW PAIRED HALF LIGHT GLASS DOOR

Renovations for:
825 S. Main St. - Cardinal Sin

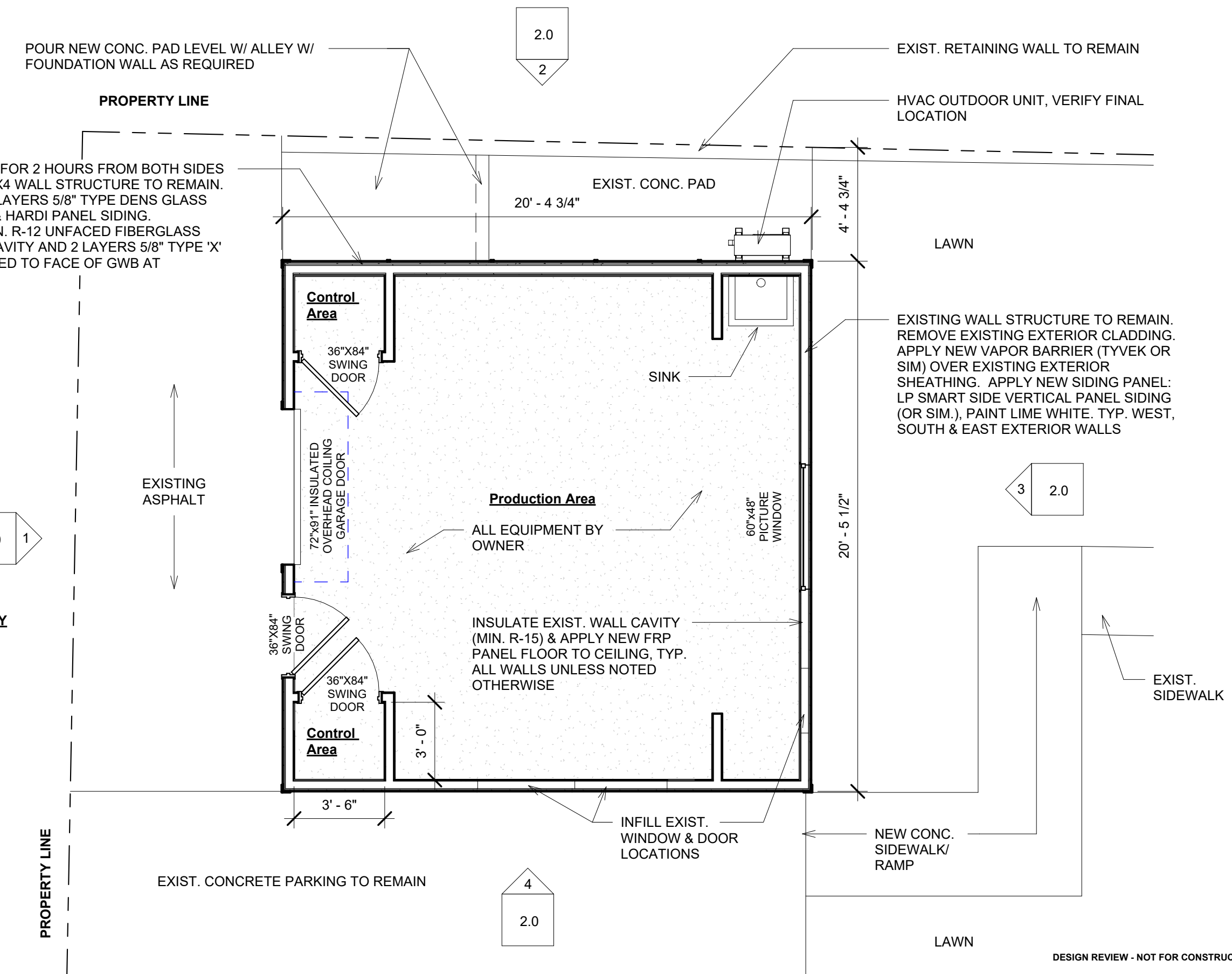
Project number 26-013

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

Site Plan	Sheet	0.0
Date	2/23/2026	
Landmarks Submittal		

EXTERIOR WALL RATED FOR 2 HOURS FROM BOTH SIDES REQUIRED. EXISTING 2X4 WALL STRUCTURE TO REMAIN. TO EXTERIOR, APPLY 2 LAYERS 5/8" TYPE DENS GLASS EXTERIOR SHEATHING & HARDI PANEL SIDING. TO INTERIOR, APPLY MIN. R-12 UNFACED FIBERGLASS INSULATION TO WALL CAVITY AND 2 LAYERS 5/8" TYPE 'X' GWB. FRP PANEL APPLIED TO FACE OF GWB AT INTERIOR AS DESIRED.



EXISTING WALL STRUCTURE TO REMAIN. REMOVE EXISTING EXTERIOR CLADDING. APPLY NEW VAPOR BARRIER (TYVEK OR SIM) OVER EXISTING EXTERIOR SHEATHING. APPLY NEW SIDING PANEL: LP SMART SIDE VERTICAL PANEL SIDING (OR SIM.), PAINT LIME WHITE. TYP. WEST, SOUTH & EAST EXTERIOR WALLS

1 Floor Plan
1/4" = 1'-0"

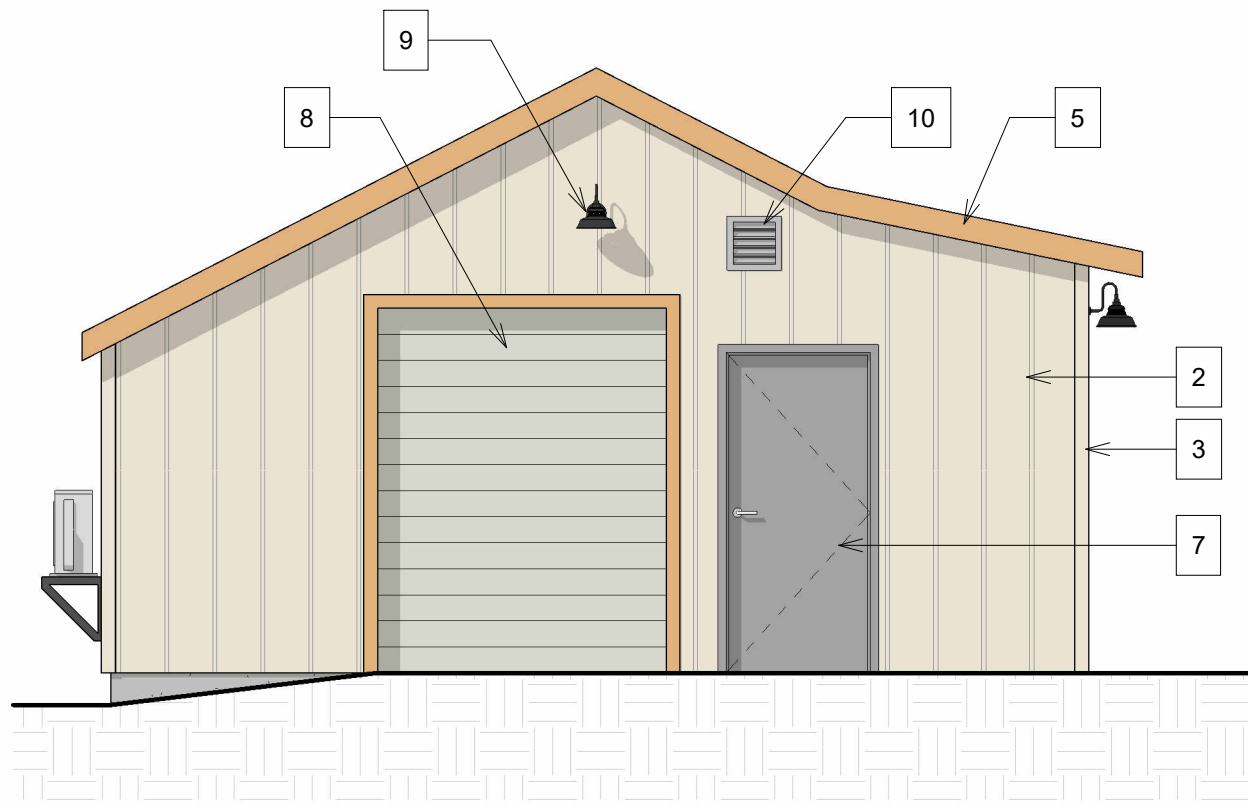
Renovations for:
825 S. Main St. - Cardinal Sin

Project number 26-013

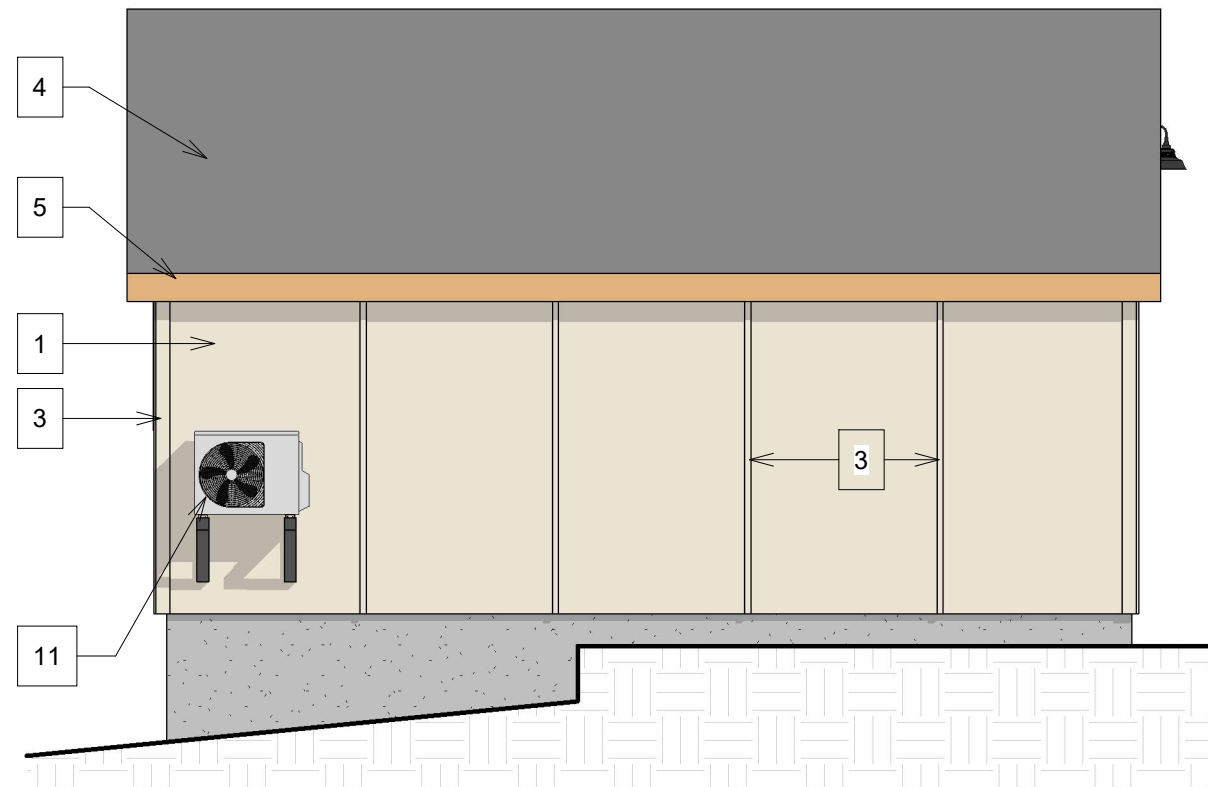
little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

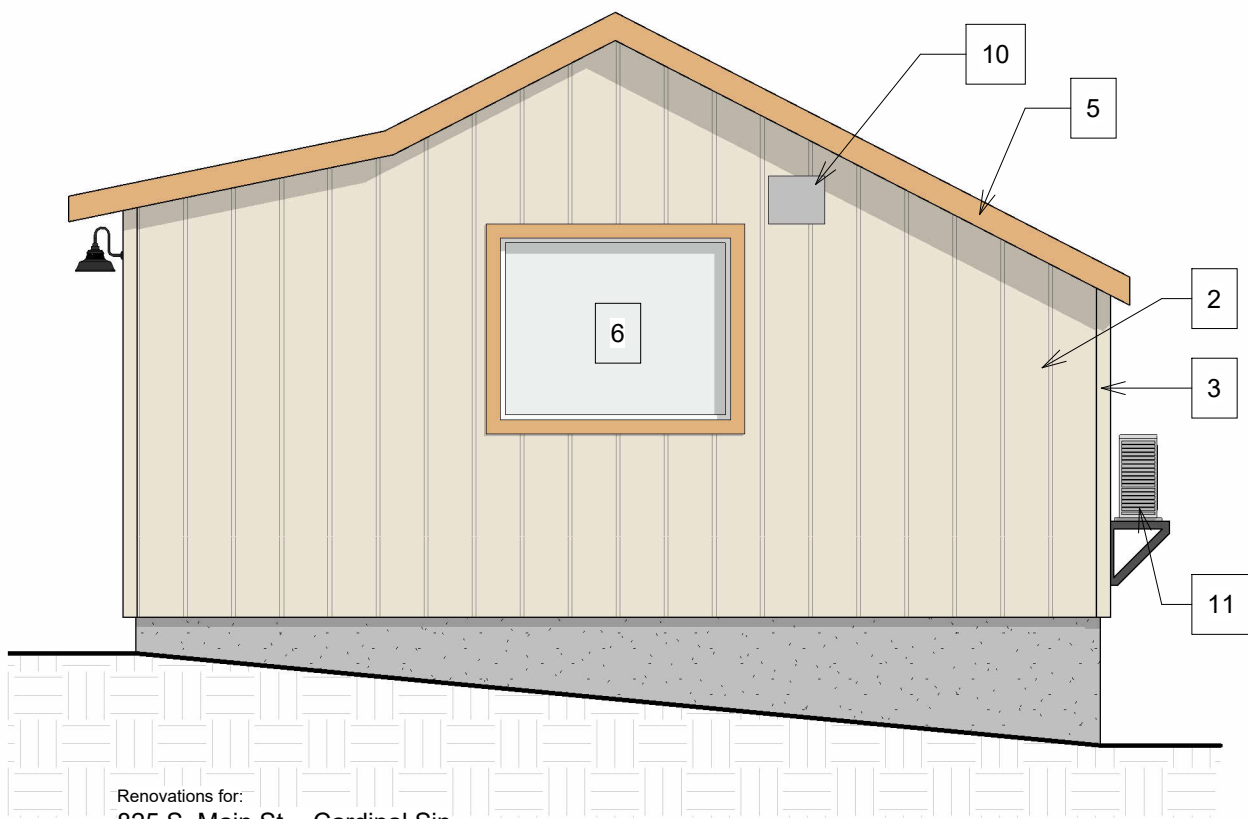
Floor Plan - Garage	Sheet	1.0
Date	2/23/2026	
Landmarks Submittal		



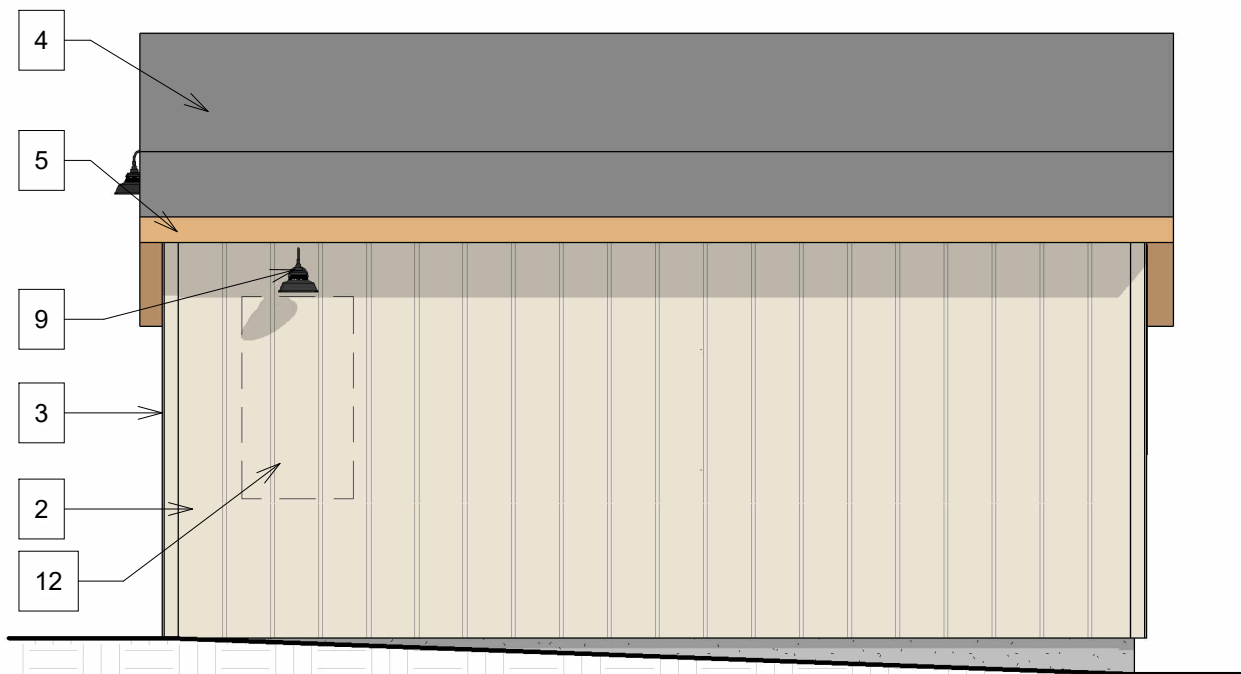
① Elevation Alley (West)
1/4" = 1'-0"



② Elevation Side (North)
1/4" = 1'-0"



③ Elevation Rear (East)
1/4" = 1'-0"



④ Elevation Side (South)
1/4" = 1'-0"

- ELEVATION KEYED NOTES:**
1. FIBER CEMENT PANEL SIDING, PAINT COLOR: LIME WHITE
 2. COMPOSITE WOOD LOOK VERTICAL SIDING PANEL (LP SMART SIDE VERTICAL PANEL SIDING), PAINT COLOR: LIME WHITE
 3. TRIM, PAINT COLOR: LIME WHITE
 4. EXISTING ASPHALT SHINGLE ROOF
 5. FASCIA, WOOD STAINED
 6. COMPOSITE CLAD WINDOW, SEE PLAN FOR SIZE/TYPE, TRIM COLOR: STAINED WOOD
 7. STEEL ENTRY DOOR, COLOR: GRAY
 8. OVERHEAD COILING DOOR, COLOR: SAND w/ STAINED WOOD TRIM
 9. EXTERIOR LIGHT FIXTURE
 10. LOUVER VENT, COLOR: GRAY
 11. WALL MOUNTED HVAC EQUIPEMENT
 12. WALL MOUNTED SIGNAGE

Renovations for:
825 S. Main St. - Cardinal Sin

Project number 26-013

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

Elevations - Garage	Sheet
Date 2/23/2026	2.0
Landmarks Submittal	



① Elevation - Primary Building - Rear
1/4" = 1'-0"

REMOVE BAY WINDOW &
REPLACE W/ 60"X48" PICTURE
WINDOW. INFILL SIDING TO
MATCH EXISTING. PAINT TO
MATCH REMAINDER OF HOUSE

AREA OF WORK



REPLACE EXISTING PAIRED FULL
GLASS DOOR W/ PAIRED HALF
LIGHT DOOR. DOOR TO BE SAME
SIZE AS EXISTING. VERIFY

② Elevation - Primary Building Side Rear
1/4" = 1'-0"

Renovations for:
825 S. Main St. - Cardinal Sin

Project number 26-013

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

Elevations - Primary Structure	Sheet
Date 2/23/2026	2.1
Landmarks Submittal	



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STAFF REPORT
FRONT AND BACK PORCH REPAIRS
725 NORTH 4TH STREET
CASE NO. EC-2026-17

BY TAYLOR MOORE

APPLICANT: Ace Kessler
10 Entrance Court
Foristell, MO 63348

OWNER: Drew Garvey
725 North Fourth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 725 North Fourth Street

ZONING: R1-E—Single-Family Residential District
FPD – Frenchtown Preservation District

PROPOSED USE: Single-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

The subject property is 725 North Fourth Street in the Frenchtown Preservation District. The 2½-story, brick American Foursquare is situated at the southwest corner of Fourth and Franklin Streets. The structure is also considered a contributing resource to the National Frenchtown Preservation District. The applicant is requesting approval to reconstruct both the front porch and the rear two-tier porch. Accompanying the application is a site plan and drawing of the proposed fence, and a photograph of the property appears at the end of this report.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter III: Guidelines for All Historic Properties

Materials

- 3.19 Replace missing historically significant features in kind.
- c. If later covering materials exist that have not achieved historic significance, Removing them is strongly encouraged. Asphalt siding that covers original Wood siding, for example, may be removed, as may vinyl siding.
- 3.20 Base the replacement of missing historically important elements on accurate information about original features.
- a. The design should be substantiated by physical or pictorial evidence. This will avoid creating a misrepresentation of the building's genuine heritage.
 - b. Overall, a high percentage of the materials and features of the property should be historic ones in order to retain the integrity of the resource as an historic property.
 - c. Use only materials and details similar in character to those employed historically on compatible buildings.
- 3.23 Consider removing later covering materials that have not achieved historic significance; examples, include vinyl, aluminum, or asphalt siding, or permastone.

Porches

- 3.55 Porches shall be kept in good repair.
- a. Porches shall have a weather protective finish (paint, varnish, etc.).
 - b. Original woodwork, when at all possible, shall be retained or replicated in a manner consistent with the time period. A model example will be considered for changes.
- 3.56 Porch flooring must replicate the original and be consistent with the time period.
- c. Alternative materials may be considered with a model example.
- 3.59 Every effort should be taken to repair rather than replace historic foundations.
- 3.60 Every effort should be taken to repair rather than replace historic porch piers.
- a. Replacement of historic piers with non-historic materials may be considered with a model example.

STAFF RECOMMENDATION

The project involves proposed improvements to the existing front porch while retaining primary structural elements, including the roof structure and supporting columns. The proposed work primarily consists of replacing the porch flooring with composite decking, installing new railings, and reconstructing the front steps. The applicant has indicated that the new decking boards will be installed perpendicular to the structure to maintain the historic appearance of traditional porch floorboards. Staff raised concerns about the front porch railings being changed from wood to Westbury Tuscan railings, which are more contemporary in appearance. The existing railing system is wooden and painted to match the green and white colors of the porch. The applicant indicated they could install a white colored Westbury railing and have the railings painted green and the spindles remain white to closely match the existing color scheme of the structure. Due to the similar color and overall appearance, Staff finds the alternative railing material will not significantly impact the visual compatibility of the porch with the surrounding streetscape.

Regarding the rear, two-tier porch, the proposal calls for a larger scope of work. While the existing roof structure and the primary structures rear wall will remain, the project includes the reconstruction of the deck platforms below. Proposed work includes installation of new

pressure treated structural post and beams, new concrete pier footings, composite decking installed on pressure-treated floor joists, and a new stair assembly leading to the rear yard. The proposed railing system is also the Westbury Tuscany aluminum material that is proposed for the front porch. It will be the required 36” in height and is proposed along the porch perimeters to match the existing configuration.

Although the rear deck structure will be largely reconstructed, the work is located in the rear of the structure and will only be visible from Franklin Street when traveling east. Additionally, the proposed changes are not increasing the footprint of the porch or its overall appearance. Therefore, Staff finds the proposed improvements will not negatively impact the historic character of the property or the overall visual compatibility. Staff therefore recommends approval of the overall project, subject to the conditions listed below:

1. The proposed railing system be a green color rather than the proposed black.

Recommended Motion:

Motion to approve the reconstruction of a front porch and rear two-tier porch 725 North 4th Street, subject to the condition recommended by Staff.



Figure 1: 725 North 4th Street seen presently.



Figure 2: Front porch (left) and rear porch (right) presently.

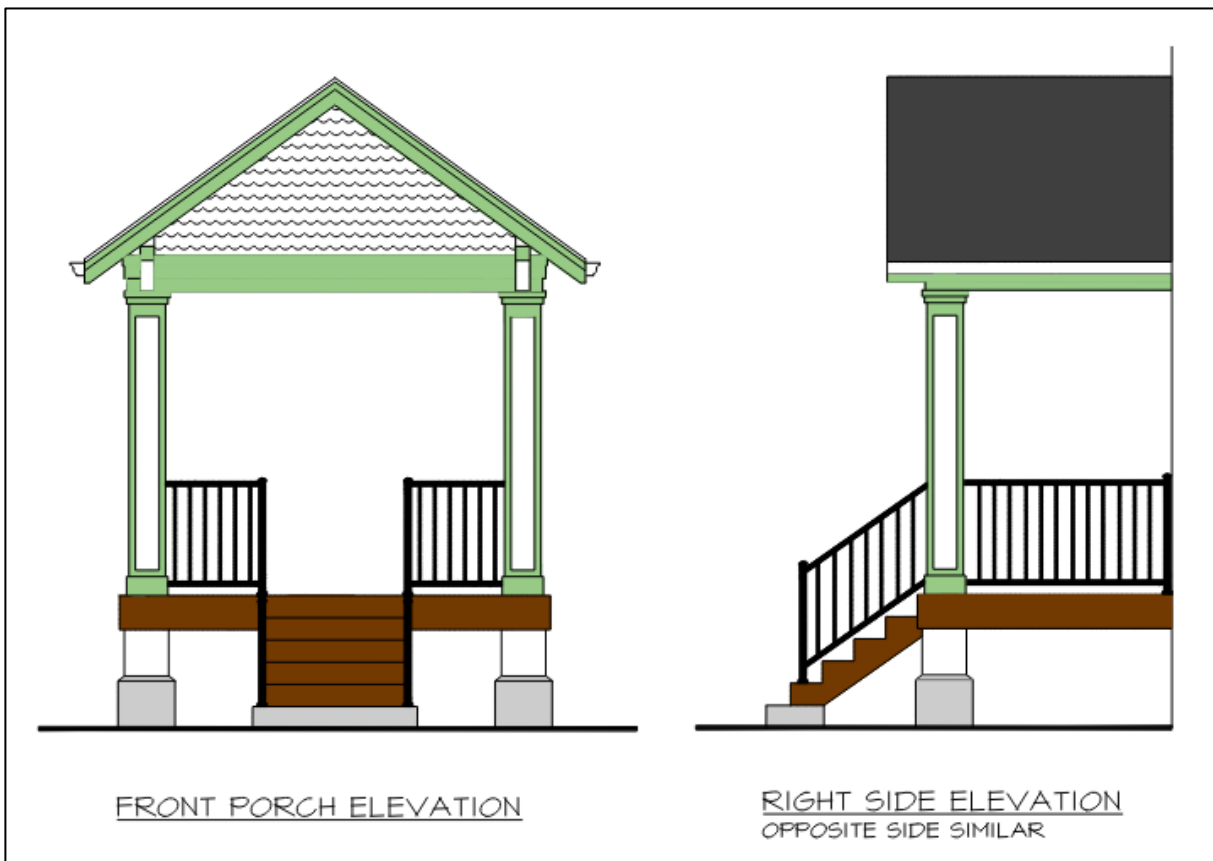


Figure 3: Front porch elevation.

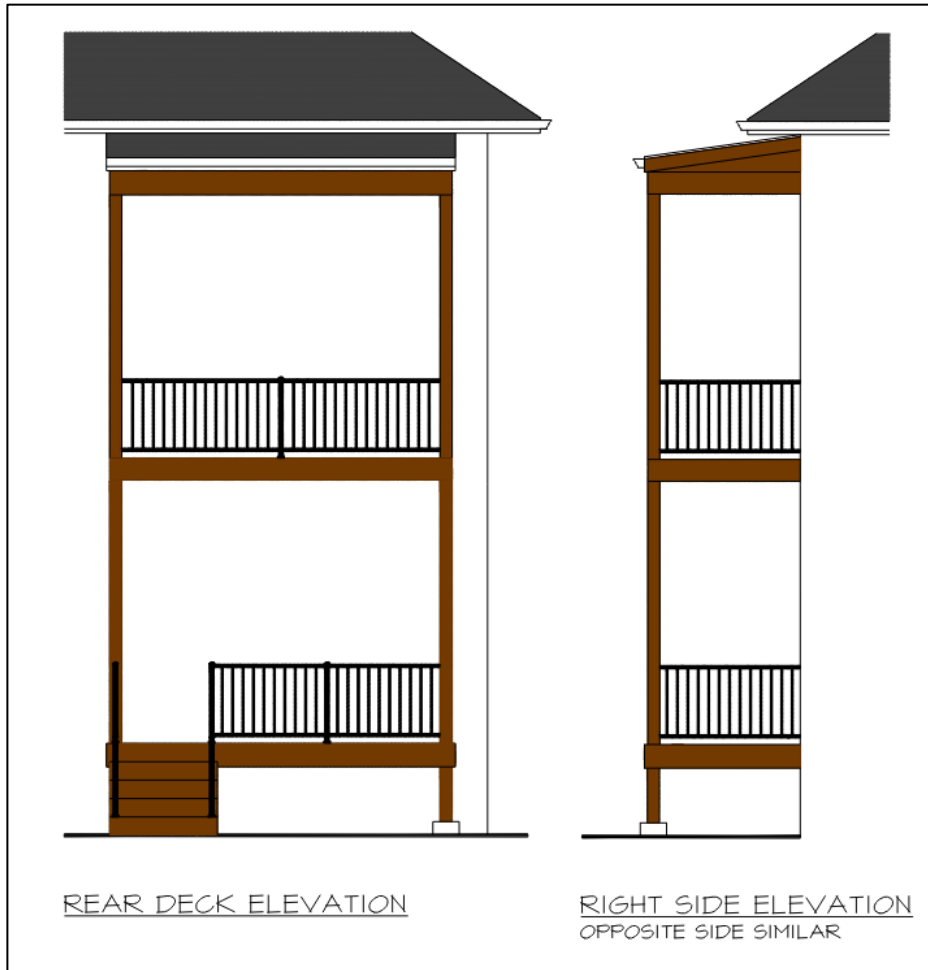


Figure 4: Rear two-tier porch elevation.



Figure: Subject property's location.



STAFF REPORT
FRONT AND BACK PORCH REPAIRS
725 NORTH 4TH STREET
CASE NO. EC-2026-17

BY TAYLOR MOORE

APPLICANT: Ace Kessler
10 Entrance Court
Foristell, MO 63348

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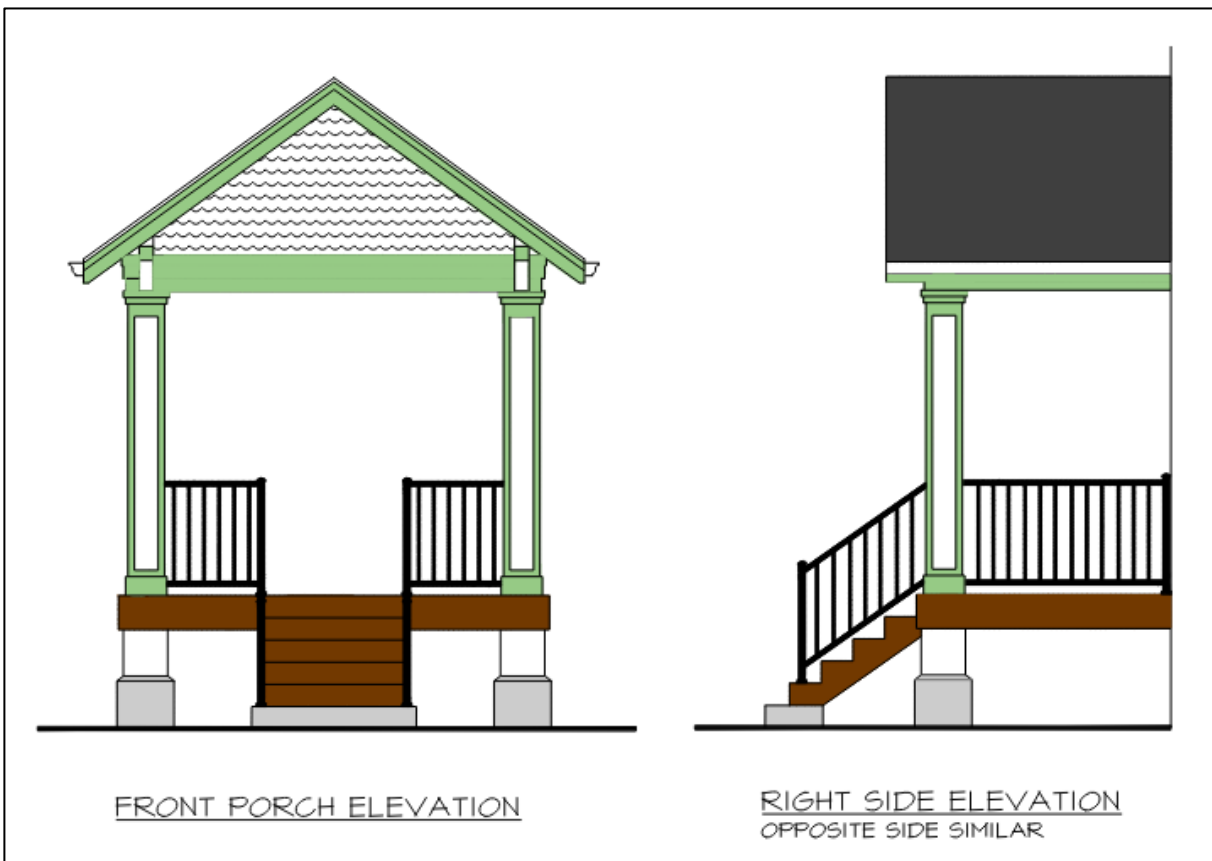


Figure 3: Front porch elevation.

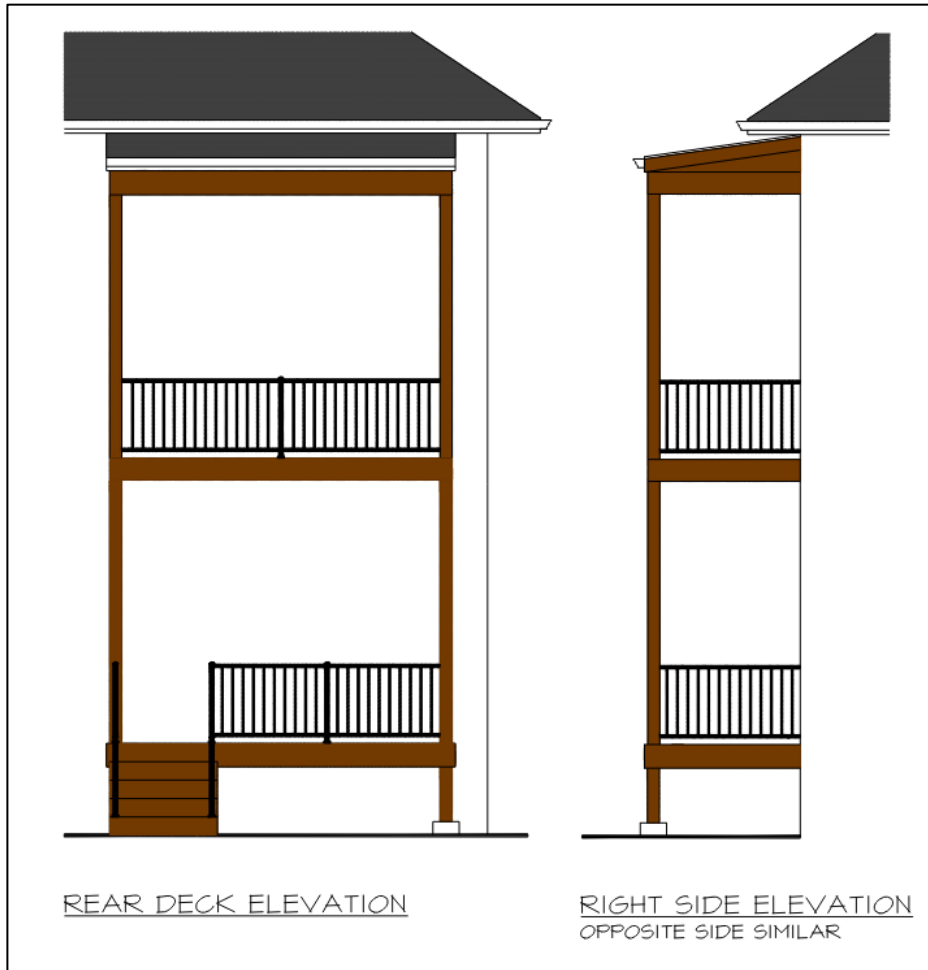


Figure 4: Rear two-tier porch elevation.



Figure: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 725 N. 4th ST.

BUSINESS NAME (if applicable): ACE CONSTRUCTION ENTERPRISES / TOP DECKS

APPLICANT: ACE KESSLER
(Name)

10 ENTRANCE CT FORSTELL, MO 63348
(Address)

636-357-3238 TOPDECKS/1c@GMAIL.COM
(Phone & Email Address)

PROPERTY OWNER: DREW GARVEY
(Name)

725 N. 4th ST. ST. CHARLES, MO
(Address)

314-791-3744 DREWGARVEY23@GMAIL.COM
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): WE ARE RECONSTRUCTING THE STRUCTURE OF ORIGINAL PORCHES USING THE SAME FOOTPRINT

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

PORCH DECKING WILL BE DECKORATORS COMPOSITE IN THE SEDONA COLOR
PORCH RAILING WILL BE WESTBURY ALUMINUM IN THE COLOR OF BLACK
WE ARE UPDATING THE STRUCTURAL INTEGRITY USING THE SAME FOOTPRINT

APPLICATION SUBMITTAL:

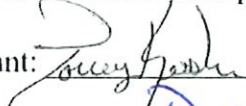
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

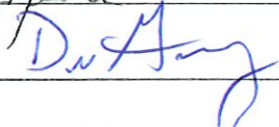
1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 2/20/26

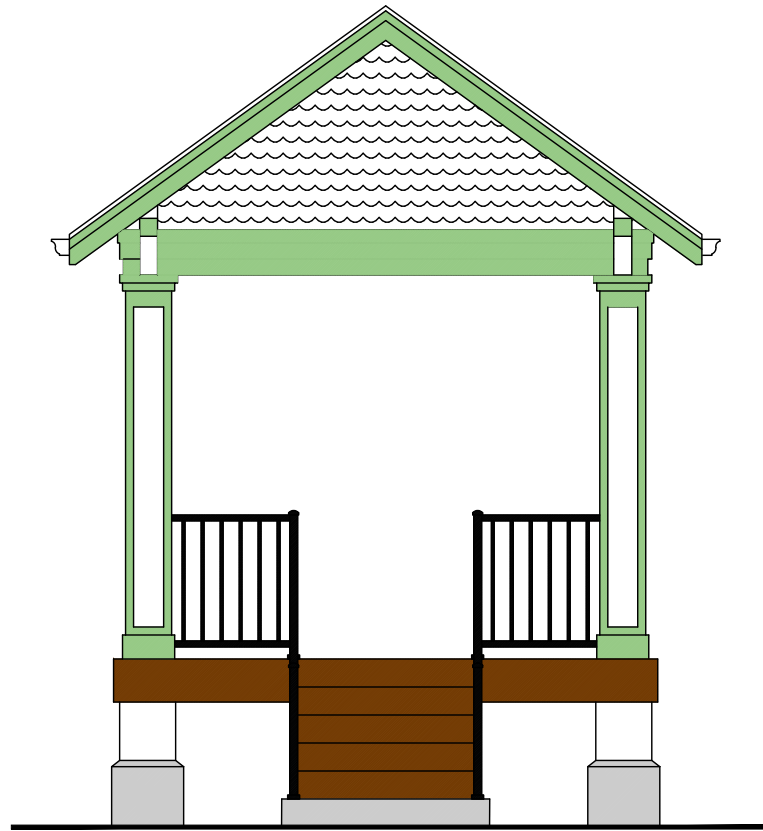
Signature of the property owner: 

Date: 2/20/26

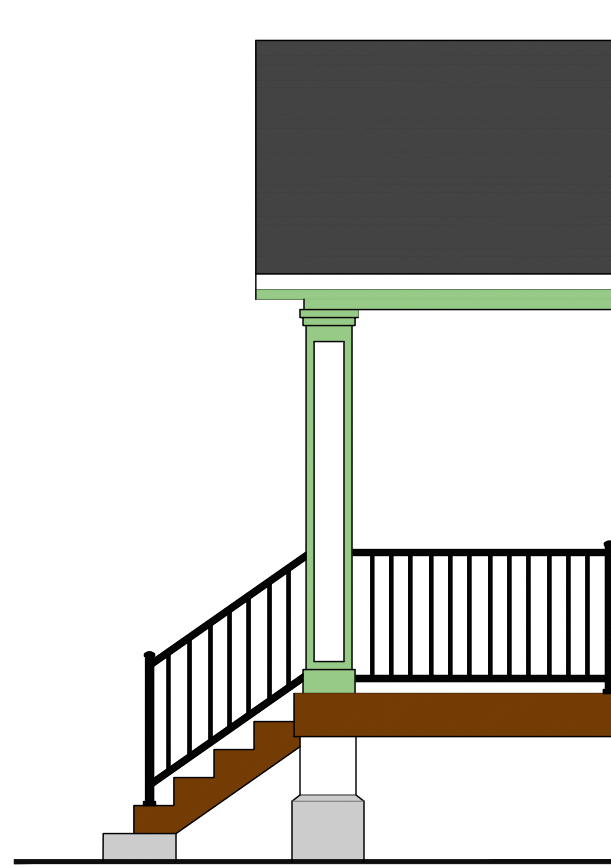
- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

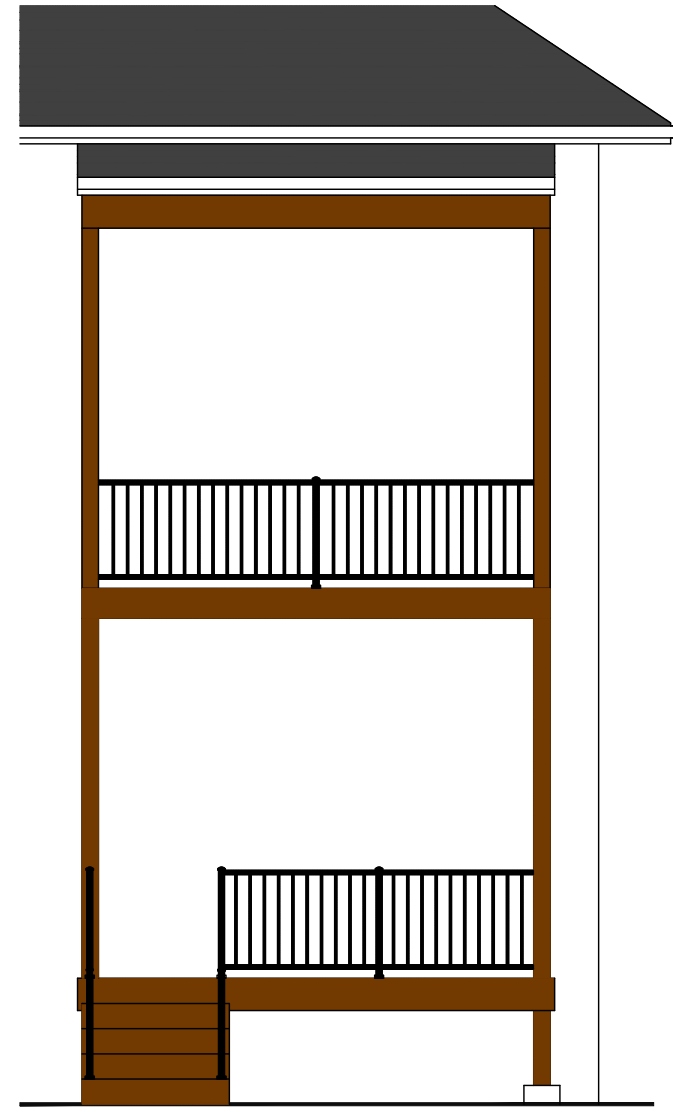
Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00



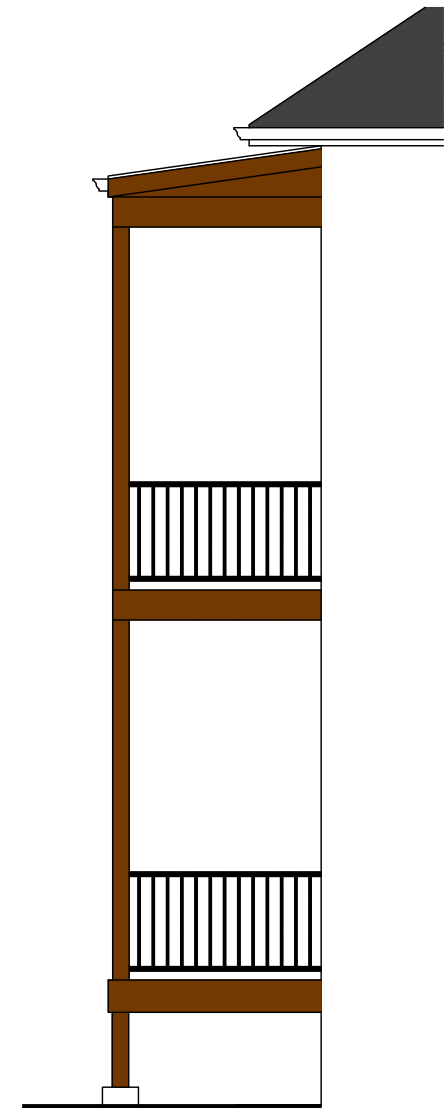
FRONT PORCH ELEVATION



RIGHT SIDE ELEVATION
OPPOSITE SIDE SIMILAR



REAR DECK ELEVATION



RIGHT SIDE ELEVATION
OPPOSITE SIDE SIMILAR

DESIGN PROFESSIONAL:

dkDesign

Daniel Kary - Senior Residential
Architectural & Structural Designer
Phone: 314-238-6494
NCARB: Record #634539

FRONT PORCH AND REAR
COVERED DECK REMODEL

For
725 N. 4th St.
Saint Charles, MO 63119

REAR COVERED DECK
COLOR ELEVATIONS

ISSUED FOR PERMITS:
01.30.2026

REVISIONS		
NO.	DESCRIPTION	DATE

A7

FRONT PORCH AND REAR COVERED DECK REPAIR

GARVEY RESIDENCE
714 N. 4TH STREET
ST. CHARLES, MO

SCOPE OF WORK

REPAIR WORK DONE FOR THE FRONT PORCH AND TWO-STORY REAR COVERED DECKS. NEW DECK STRUCTURES. ROOF STRUCTURES ARE TO REMAIN.

INDEX OF DRAWINGS

- A1 COVER SHEET AND EXISTING CONDITIONS PHOTO
- A2 FRONT PORCH PLANS, ELEVATIONS AND SECTION DETAIL
- A3 REAR COVERED DECK PLANS
- A4 REAR COVERED DECK ELEVATIONS
- A5 SECTION DETAILS
- A6 WESTBURY RAILING INSTALLATION DETAILS

APPLICABLE CODES:

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE



EXISTING CONDITIONS

DESIGN PROFESSIONAL:

dkDesign

Daniel Kary - Senior Residential
Architectural & Structural Designer
Phone: 314-238-6494
NCARB: Record #634539

FRONT PORCH AND REAR
COVERED DECK REMODEL

For
725 N. 4th St.
Saint Charles, MO 63119

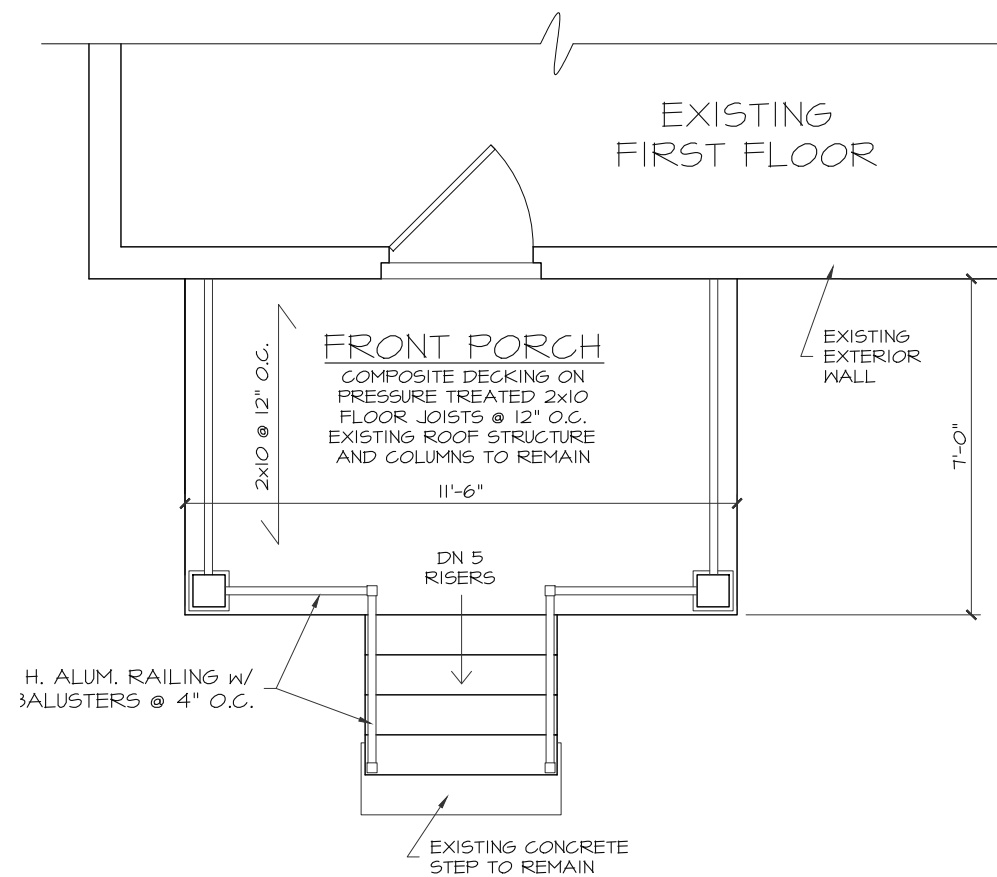
COVER SHEET AND
EXISTING CONDITIONS

ISSUED FOR PERMITS:
01.30.2026

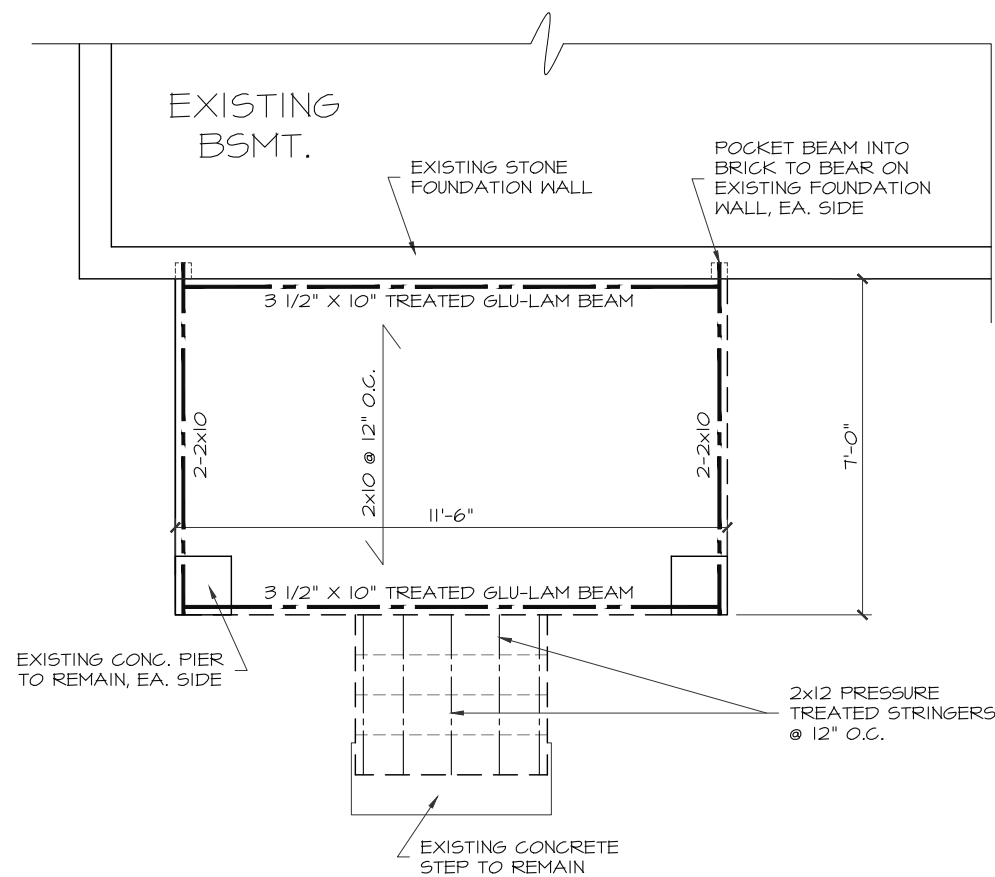
REVISIONS

NO.	DESCRIPTION	DATE

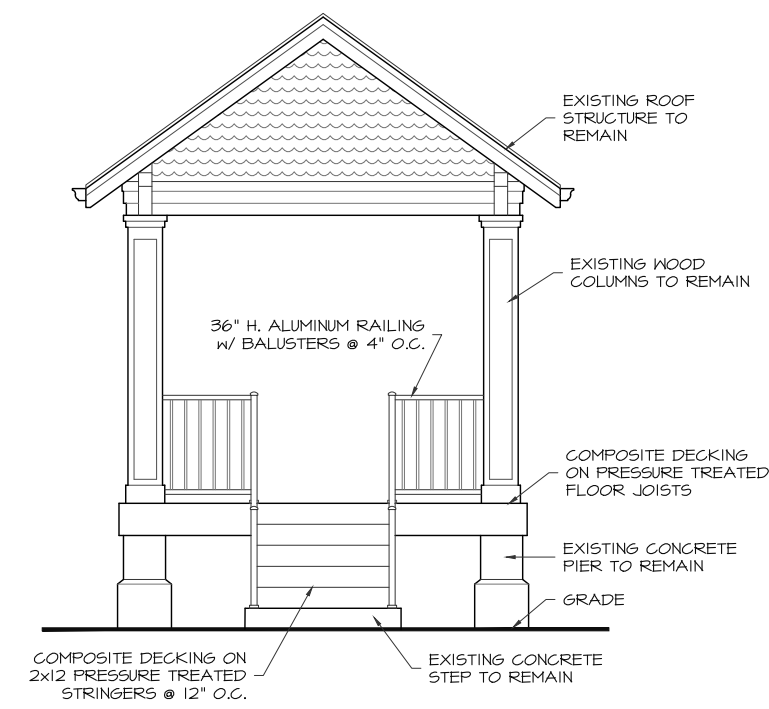
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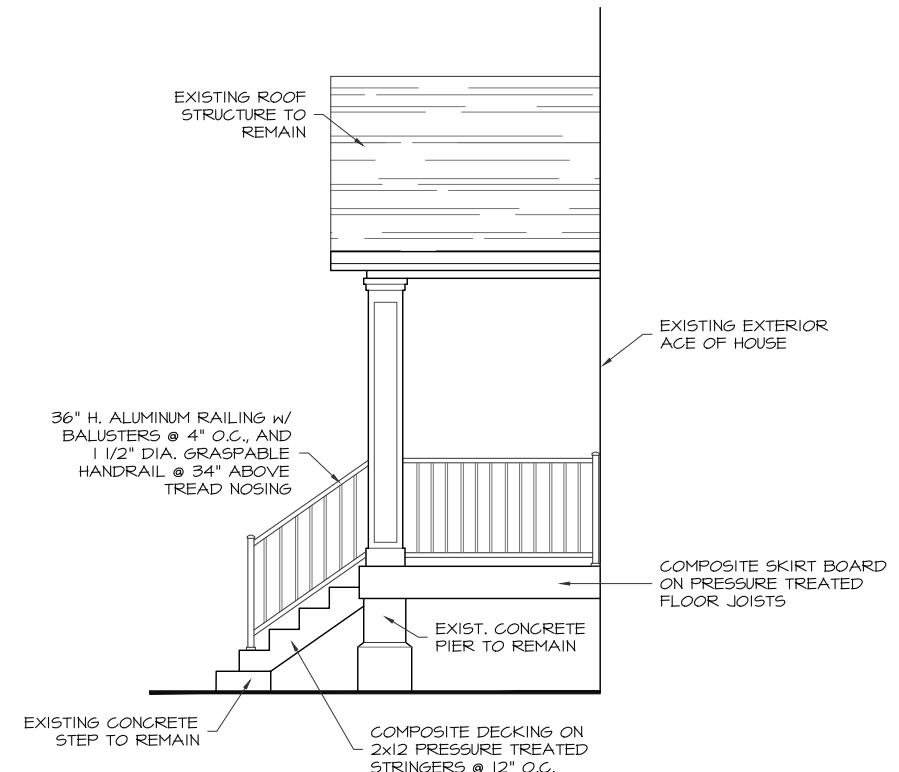
A
A2 FRONT PORCH PLAN
SCALE: 1/4" = 1'-0"



B
A2 FRAMING PLAN
SCALE: 1/4" = 1'-0"



C
A2 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



D
A2 SIDE ELEVATION
SCALE: 3/16" = 1'-0"

DESIGN PROFESSIONAL:

dkDesign
Daniel Kary - Senior Residential
Architectural & Structural Designer
Phone: 314-238-6494
NCARB: Record #634539

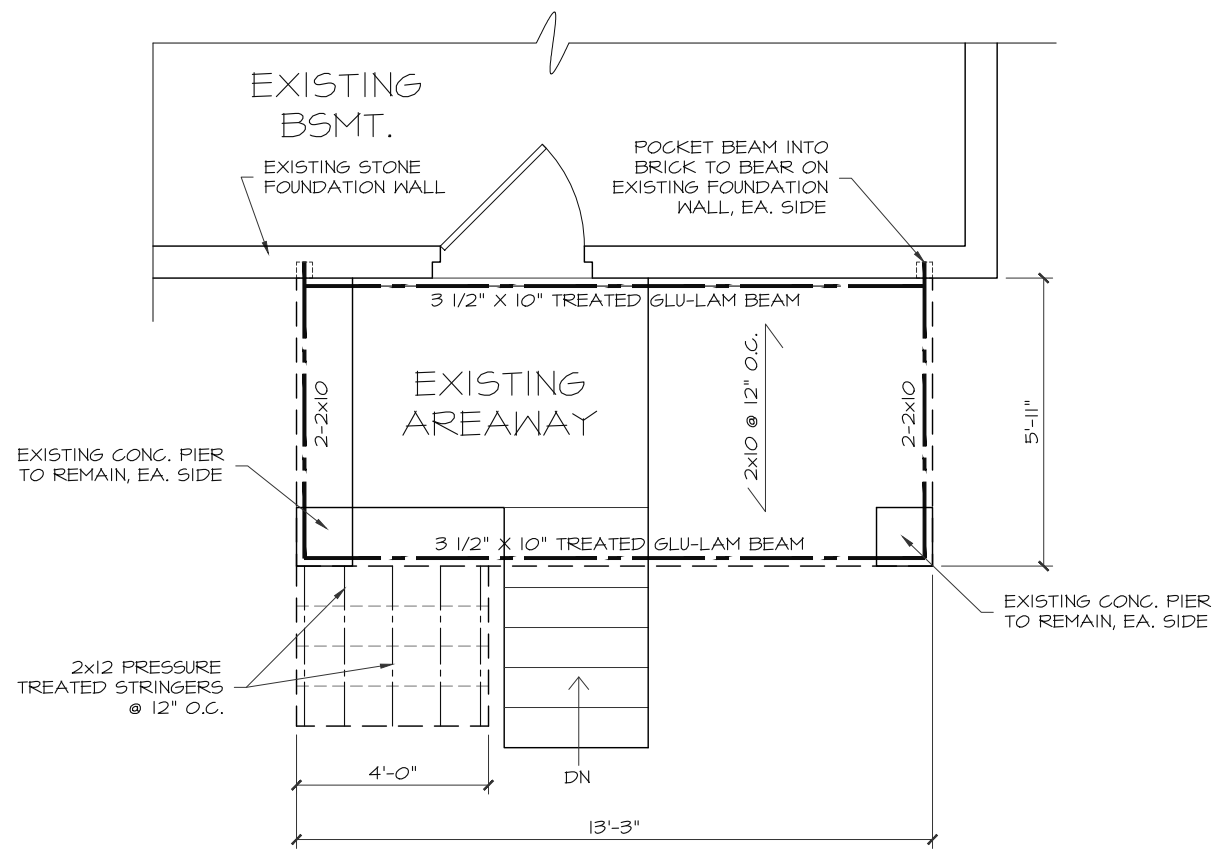
**FRONT PORCH AND REAR
COVERED DECK REMODEL**

For
725 N. 4th St.
Saint Charles, MO 63119

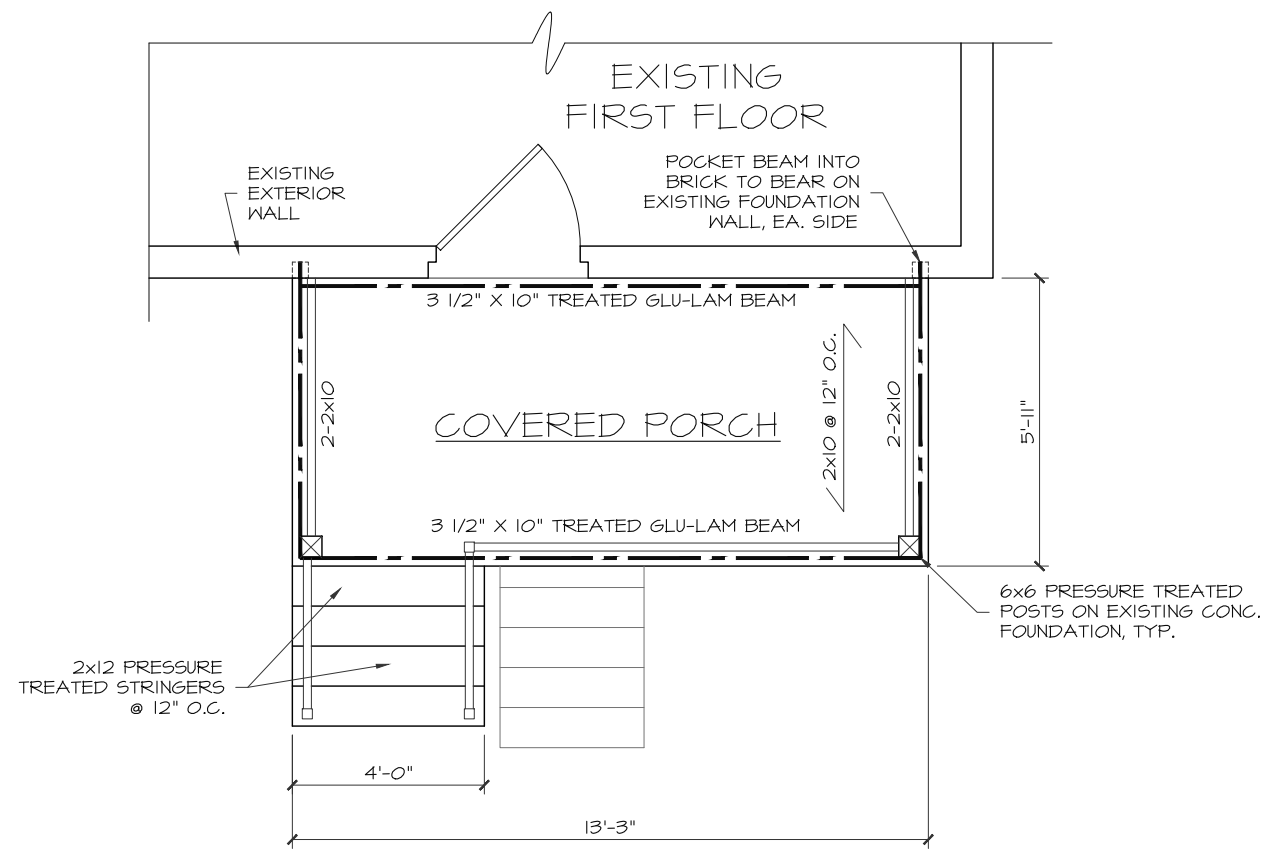
**FRONT PORCH PLANS,
ELEVATIONS AND
SECTION DETAIL**

ISSUED FOR PERMITS: 01.30.2026		
REVISIONS		
NO.	DESCRIPTION	DATE

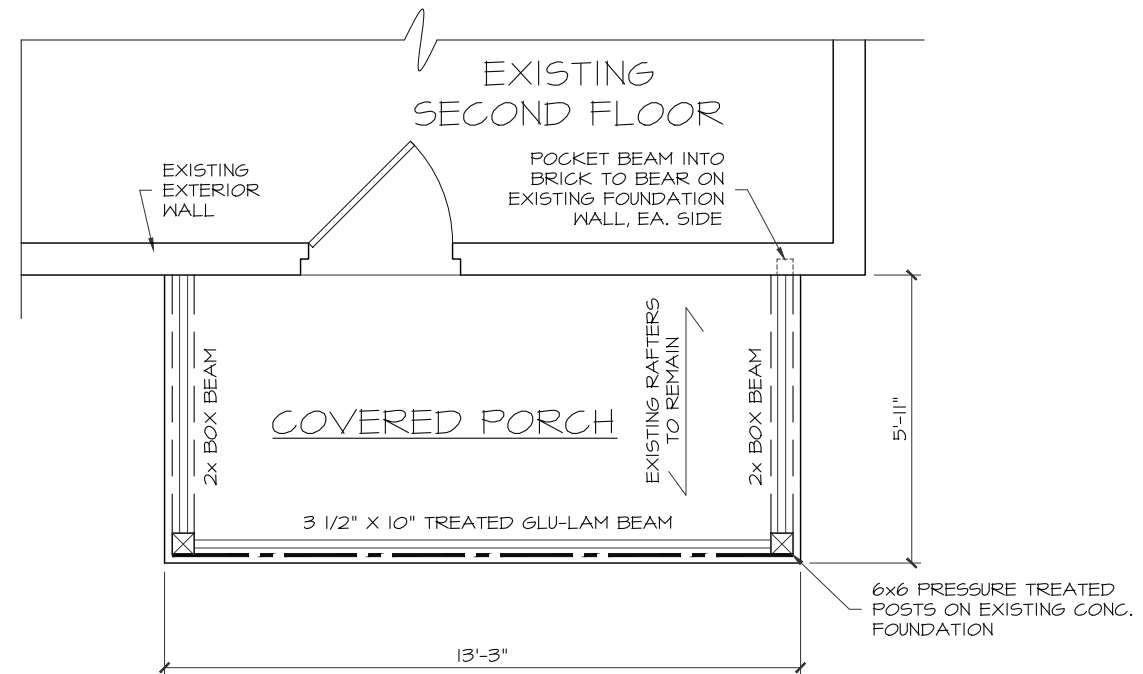
A2



A REAR PORCH FRAMING PLAN
A3 SCALE: 1/4" = 1'-0"



B FIRST FLOOR PLAN
A3 SCALE: 1/4" = 1'-0"



C SECOND FLOOR PLAN
A3 SCALE: 1/4" = 1'-0"

DESIGN PROFESSIONAL:

dkDesign

Daniel Kary - Senior Residential
Architectural & Structural Designer
Phone: 314-238-6494
NCARB: Record #634539

FRONT PORCH AND REAR
COVERED DECK REMODEL

For
725 N. 4th St.
Saint Charles, MO 63119

REAR COVERED
DECK PLANS

ISSUED FOR PERMITS:
01.30.2026

REVISIONS		
NO.	DESCRIPTION	DATE

A3

DESIGN PROFESSIONAL:

dkDesign
 Daniel Kary - Senior Residential
 Architectural & Structural Designer
 Phone: 314-238-6494
 NCARB: Record #634539

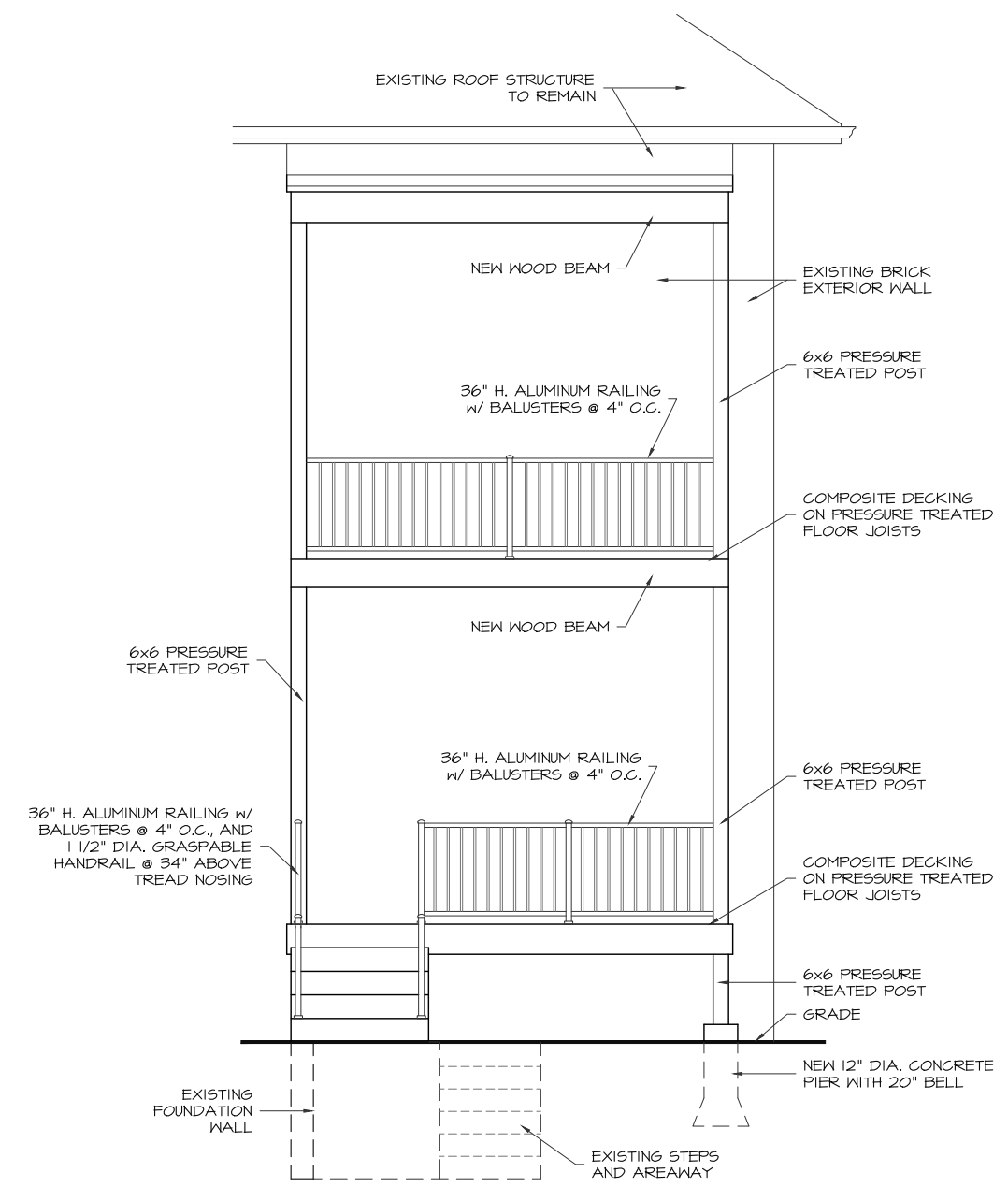
**FRONT PORCH AND REAR
 COVERED DECK REMODEL**

For
 725 N. 4th St.
 Saint Charles, MO 63119

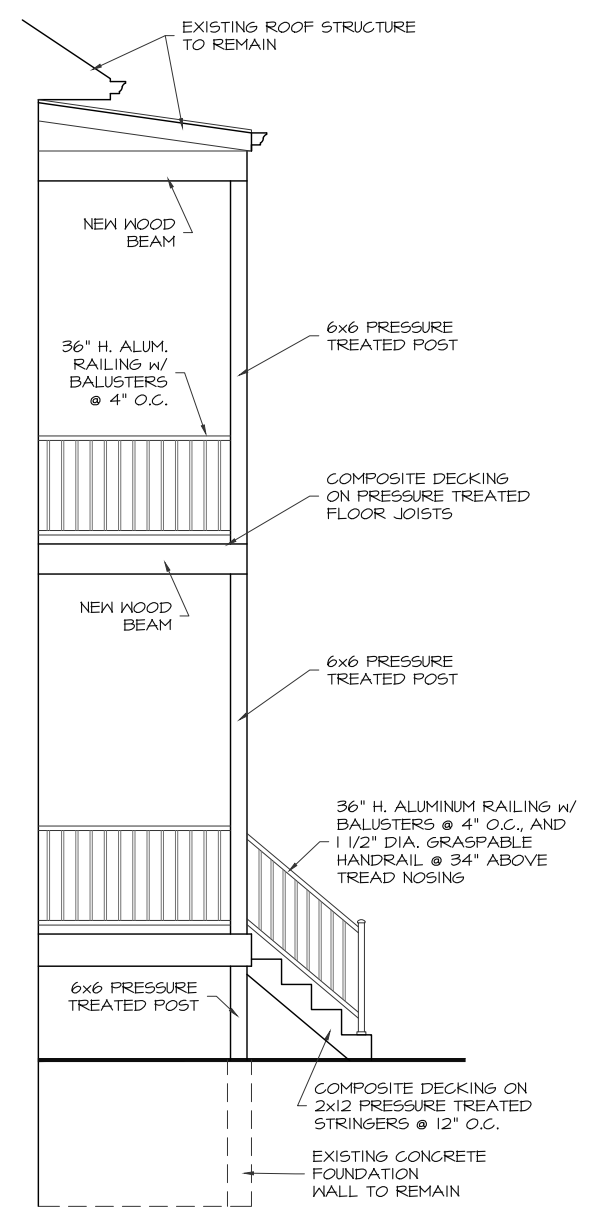
**REAR COVERED DECK
 ELEVATIONS**

ISSUED FOR PERMITS: 01.30.2026		
REVISIONS		
NO.	DESCRIPTION	DATE

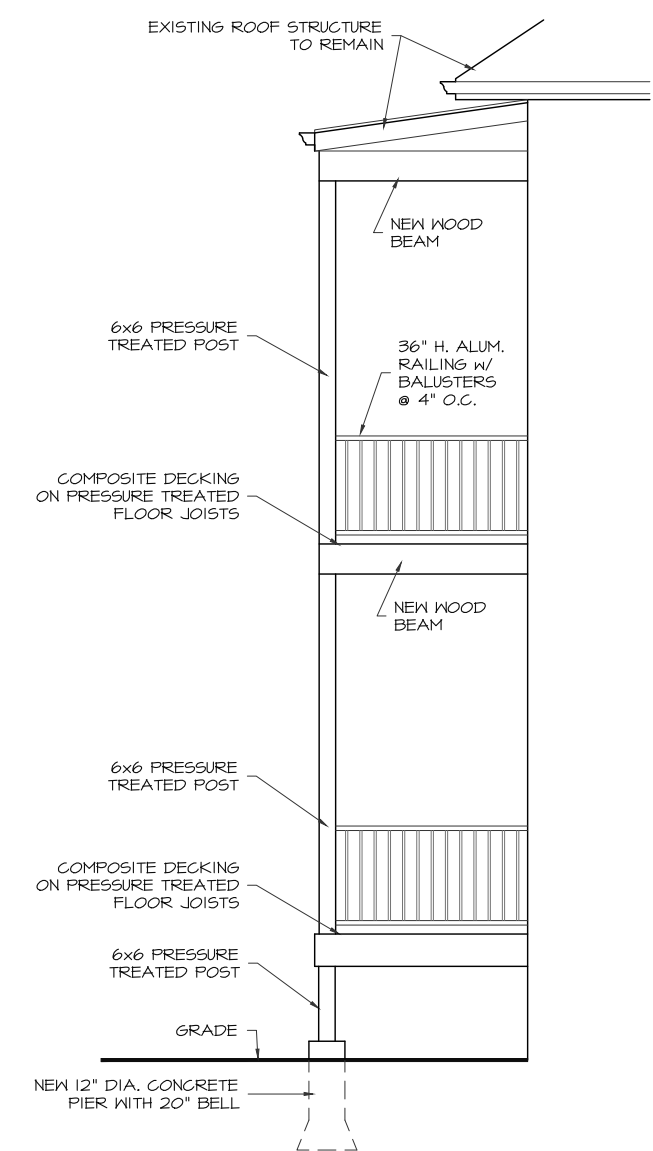
A4



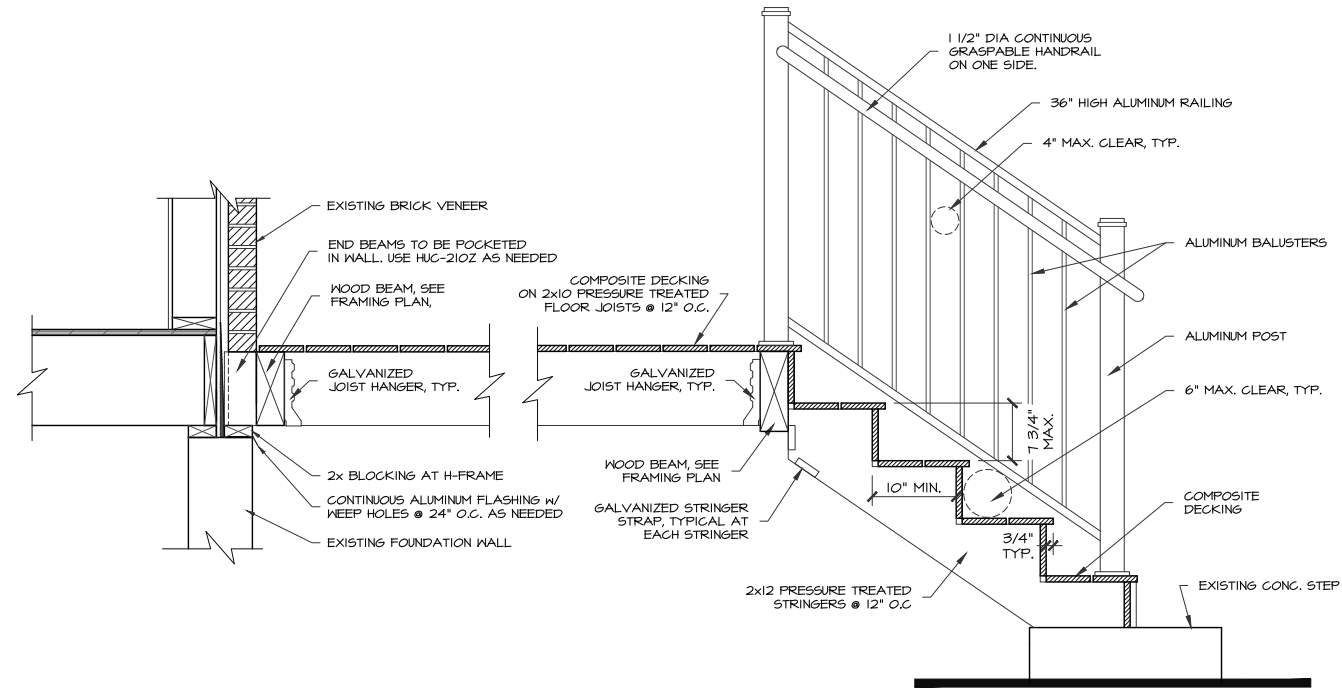
A
A4 REAR DECK ELEVATION
 SCALE: 3/16" = 1'-0"



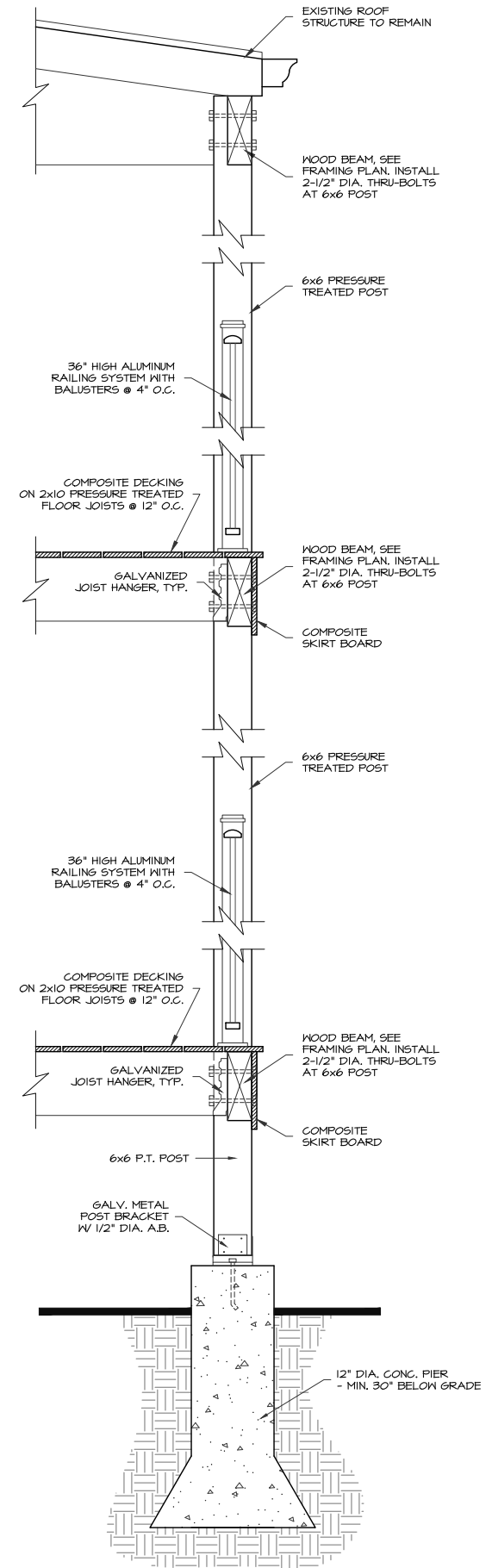
B
A4 RIGHT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



C
A4 LEFT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



A
A5 TYP. LEDGER AND STAIR DETAIL
SCALE: 1/2" = 1'-0"



A
A5 TWO-STORY SECTION DETAIL
SCALE: 1/2" = 1'-0"

DESIGN PROFESSIONAL:

dkDesign

Daniel Kary - Senior Residential
Architectural & Structural Designer
Phone: 314-238-6494
NCARB: Record #634539

**FRONT PORCH AND REAR
COVERED DECK REMODEL**

For
725 N. 4th St.
Saint Charles, MO 63119

SECTION DETAILS

ISSUED FOR PERMITS:
01.30.2026

REVISIONS		
NO.	DESCRIPTION	DATE

A5

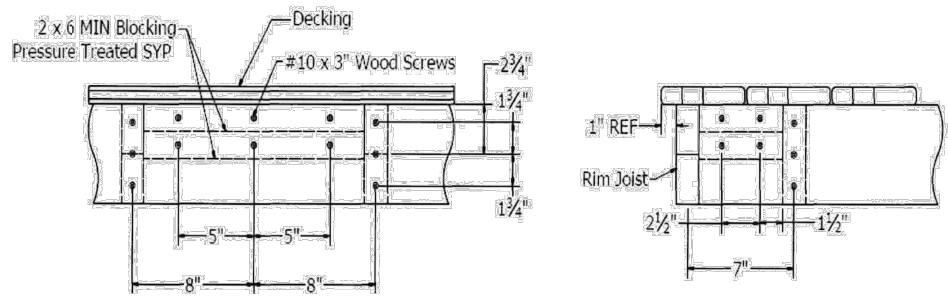
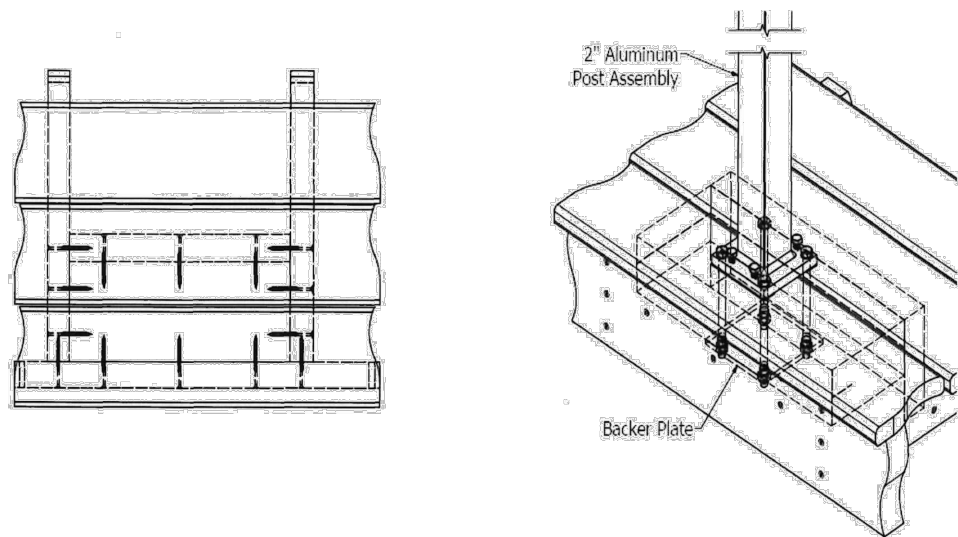


FIGURE 22 – STRUCTURAL WOOD FRAMING 2" POST MOUNT
Limited to IRC and FBC Residential

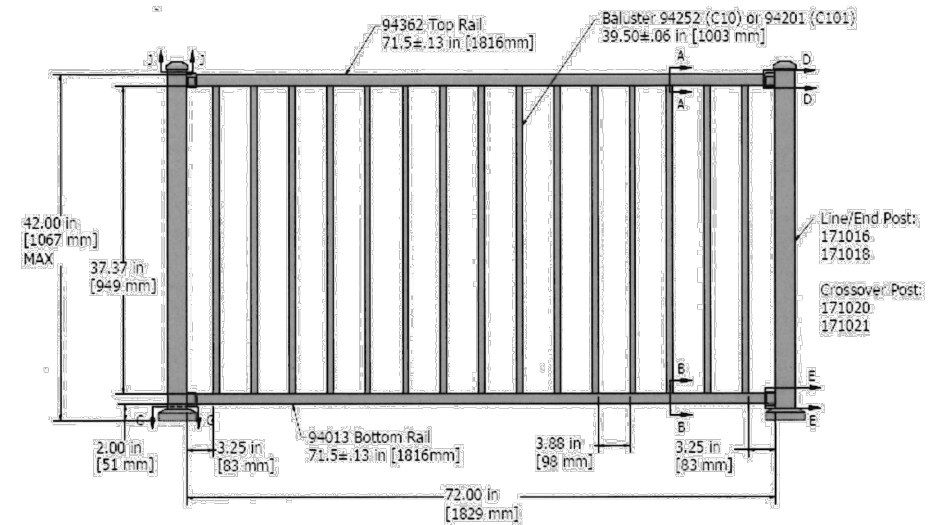


FIGURE 1 - WESTBURY® TUSCANY SERIES STYLE C10 HVY ALUMINUM RAILING SYSTEM (42" TALL)

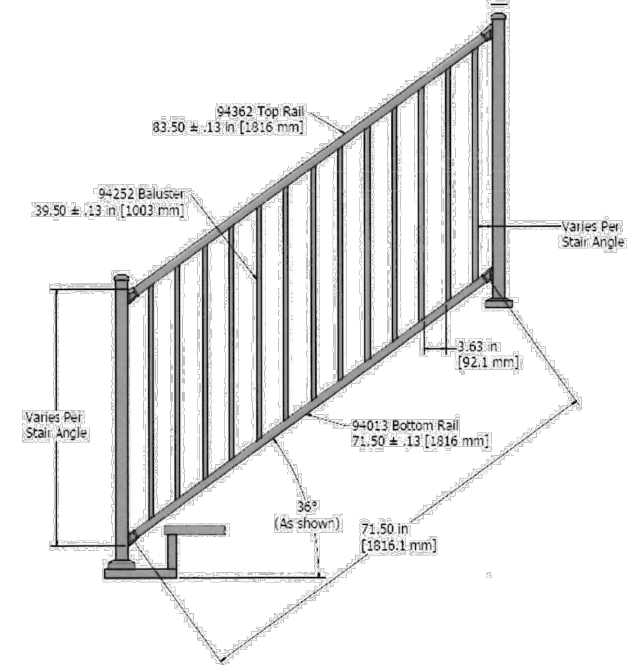


FIGURE 2 - WESTBURY® TUSCANY SERIES STYLE C10 HVY ALUMINUM RAILING SYSTEM 6 FT STAIR

DESIGN PROFESSIONAL:

dkDesign

Daniel Kary - Senior Residential
Architectural & Structural Designer
Phone: 314-238-6494
NCARB: Record #634539

**FRONT PORCH AND REAR
COVERED DECK REMODEL**

For
725 N. 4th St.
Saint Charles, MO 63119

**WESTBURY RAILING
SYSTEM DETAILS**

ISSUED FOR PERMITS:
01.30.2026

REVISIONS		
NO.	DESCRIPTION	DATE

A6



STAFF REPORT
PATIO & RESTROOM ADDITION
1106 N. SECOND STREET
CASE NO. EC-2026-18

BY TAYLOR MOORE

APPLICANT: Marcia Randoll
610 Hawthorn Drive
Farmington, MO 63640

OWNER: XRP HOMES LLC
610 Hawthorn Drive
Farmington, MO 63640

ADDRESS/LOCATION: 1106 North Second Street

ZONING: FD—Frenchtown District
FPD—Frenchtown Preservation District

PROPOSED USE: Commercial

MEETING DATE: March 23, 2026

BACKGROUND

The subject property is the 2½-story Federal style brick building located at 1106 North Second Street in the Frenchtown Preservation District. Built in 1860, the property is also considered a contributing resource to the National Register Frenchtown Historic District. The applicant is requesting approval to construct an approximately 593 square foot outdoor patio space on the north side of the building. The proposed patio is to allow for additional space for the event venue business (La Rivière Events) that occupies the structure. The submitted application also references the addition of a restroom, which is proposed to accommodate the additional occupancy of the building. Accompanying this report is a site plan, elevations, and photographs of the existing structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of

appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter III: Guidelines for All Historic Properties

Site Planning & Site Features

- 3.1 All efforts shall be taken to maintain and preserve all original out buildings.
 - a. Out buildings include such structures as smoke houses, coach houses, barns and garages.
- 3.18 Replacement of missing elements may be included in repair activities.
 - a. Use the same kind of material as the original. A Substitute material is acceptable if the form and design of the substitute itself convey the visual appearance of the original material. The finish should match the original in appearance as closely as is possible.

Building Form, Mass, and Scale

- 3.7 Maintain the historic building form, mass, and scale.
 - a. Simple rectangular builds are historically appropriate.

Materials

- 3.24 Replacement materials should appear similar in character to that used historically.

Doors & Entries

- 3.35 Door openings shall not be altered without a model example, and should be consistent with the time period.
- 3.36 New wood or finished metal doors which replicate the original doors, or are consistent with the time period, may be used.

Chapter IV: Guidelines for Additions

Site Planning of an Addition

- 4.1 An addition shall adhere to current zoning requirements for setbacks unless otherwise deemed appropriate.
 - b. In some cases, however, the historic setbacks may be different from those mandated in current regulations.
- 4.2 An addition should be built on historic footprints where applicable.
- 4.5 An addition must not obscure the primary entrance to a building.
 - a. Locating an addition to the rear is preferred.

Form, Mass, and Scale of an Addition

- 4.7 A new addition shall be subordinate to the historic structure in scale and character.
 - a. The addition shall be setback significantly from the primary facades.
 - b. The addition shall minimize destruction of the historic building.
 - c. The addition shall be consistent with the scale and character of the historic building.

Materials

- 4.17 Materials shall appear similar in character to those used historically.
 - a. Using materials that are the same as those employed historically is preferred.
 - c. New materials must have demonstrated durability in this setting.
 - d. Materials should be used in a manner similar to that used traditionally.

STAFF RECOMMENDATION

The proposal includes exterior modifications to the north elevation of the existing structure consisting of a new fenced patio area and the addition of a small bathroom beneath the stair landing. The proposed patio will be located along the side elevation and accessed from an exterior door that is planned to match the existing door currently present.

The proposed 593 square foot patio will be enclosed by a 48” tall black aluminum fence that will run along the property line. The fence features a simple, open picket design which maintains visibility while providing enclosure for the new space. The material and design are consistent with commonly approved fencing styles within the district and are compatible with the surrounding context. Beneath the stair structure, the construction of a small, enclosed bathroom addition is proposed. This addition will be clad in horizontal vinyl siding painted in a color intended to closely match the existing painted brick of the structure. By utilizing compatible color palette and locating the addition beneath the existing stairs, this new portion of the structure remains visually subordinate to the primary structure and minimizes its visual impact on the historic building.

Overall, the proposed exterior alterations are limited to the side and rear of the structure and will not alter the character-defining features of the building. The scale, placement, and materials of the patio and bathroom addition are compatible with the existing structure and maintain the building’s historic appearance. As proposed, Staff finds that the work is consistent with the design guidelines for the district and will have minimal impact on the historic character of the property. Therefore, Staff recommends approval of the project, as submitted.

Recommended Motion:

Motion to approve the installation of a new patio space and the construction of a bathroom addition at 1106 N. 2nd Street, as submitted.



Figure 1: Subject structure seen from North 2nd Street currently.

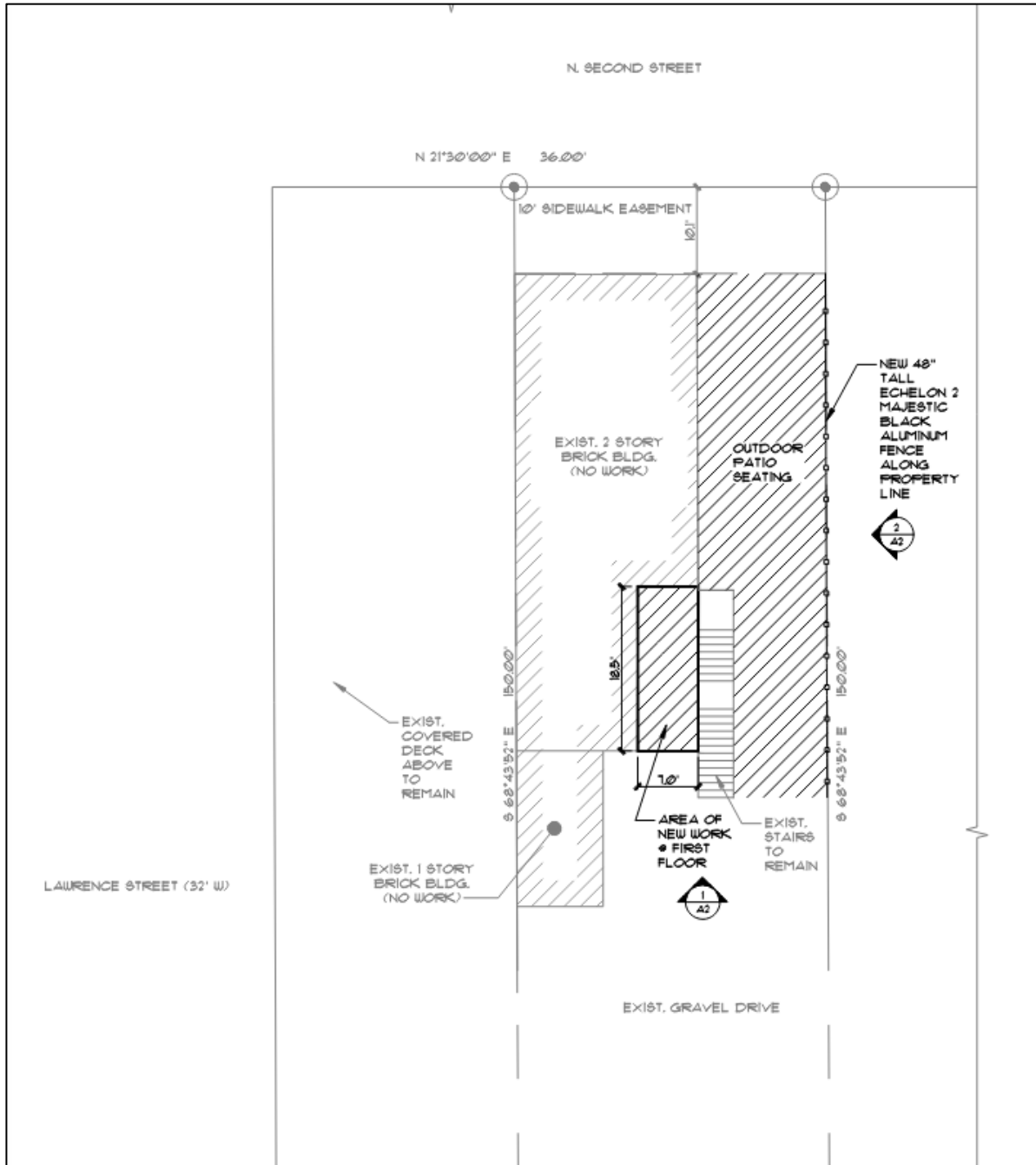


Figure 2: Site plan for proposed projects.

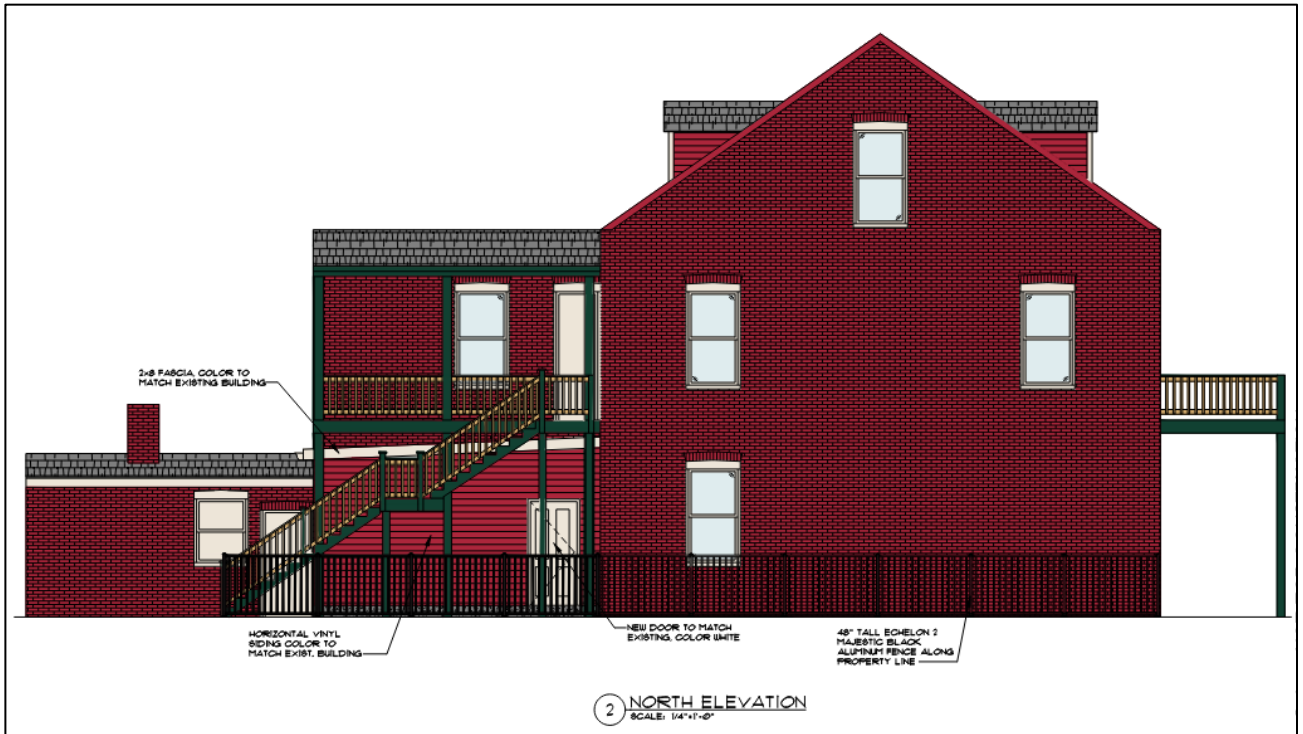


Figure 3: North elevation showcasing proposed alterations.

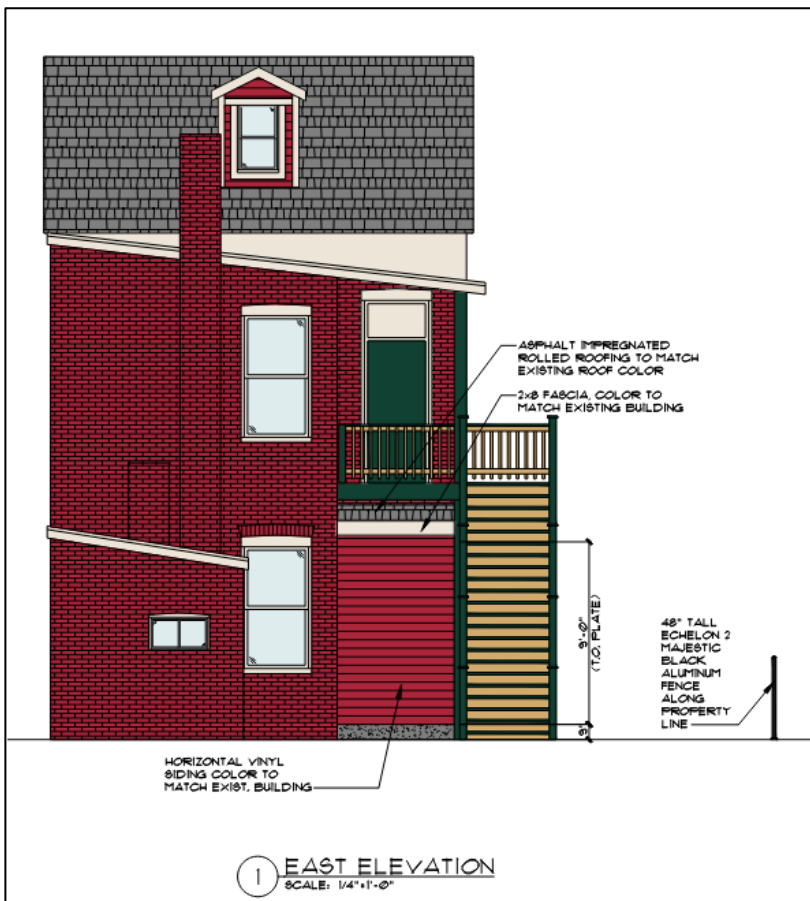


Figure 4: East elevation showcasing proposed alterations.



Figure 5: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1106 North 2nd St., St. Charles, MO 63301

BUSINESS NAME (if applicable): La Rivière Events

APPLICANT:

Marcia Randoll
(Name)

610 Hawthorne Dr., Farmington, MO 63640
(Address)

573-366-1312 / marciarandoll2@gmail.com
(Phone & Email Address)

PROPERTY OWNER:

XRP HOMES LLC
(Name)

610 Hawthorne Dr., Farmington, MO 63640
(Address)

573-366-1312 / xrphomes@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1860

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Two stories, red brick exterior, about 2,248 square feet

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): outdoor patio and fence

Other (briefly explain): additional restroom inside

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

An outdoor patio will be added to the space immediately adjacent to the current building, as well as a fence along the perimeter of the patio.

APPLICATION SUBMITTAL:

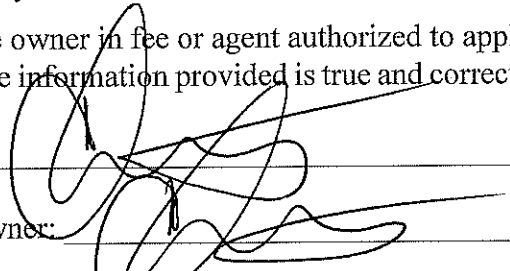
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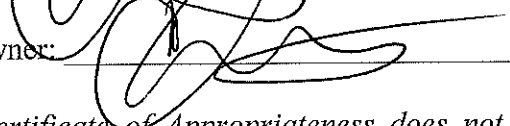
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  _____ Date: 01/30/28

Signature of the property owner:  _____ Date: 01/30/28

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

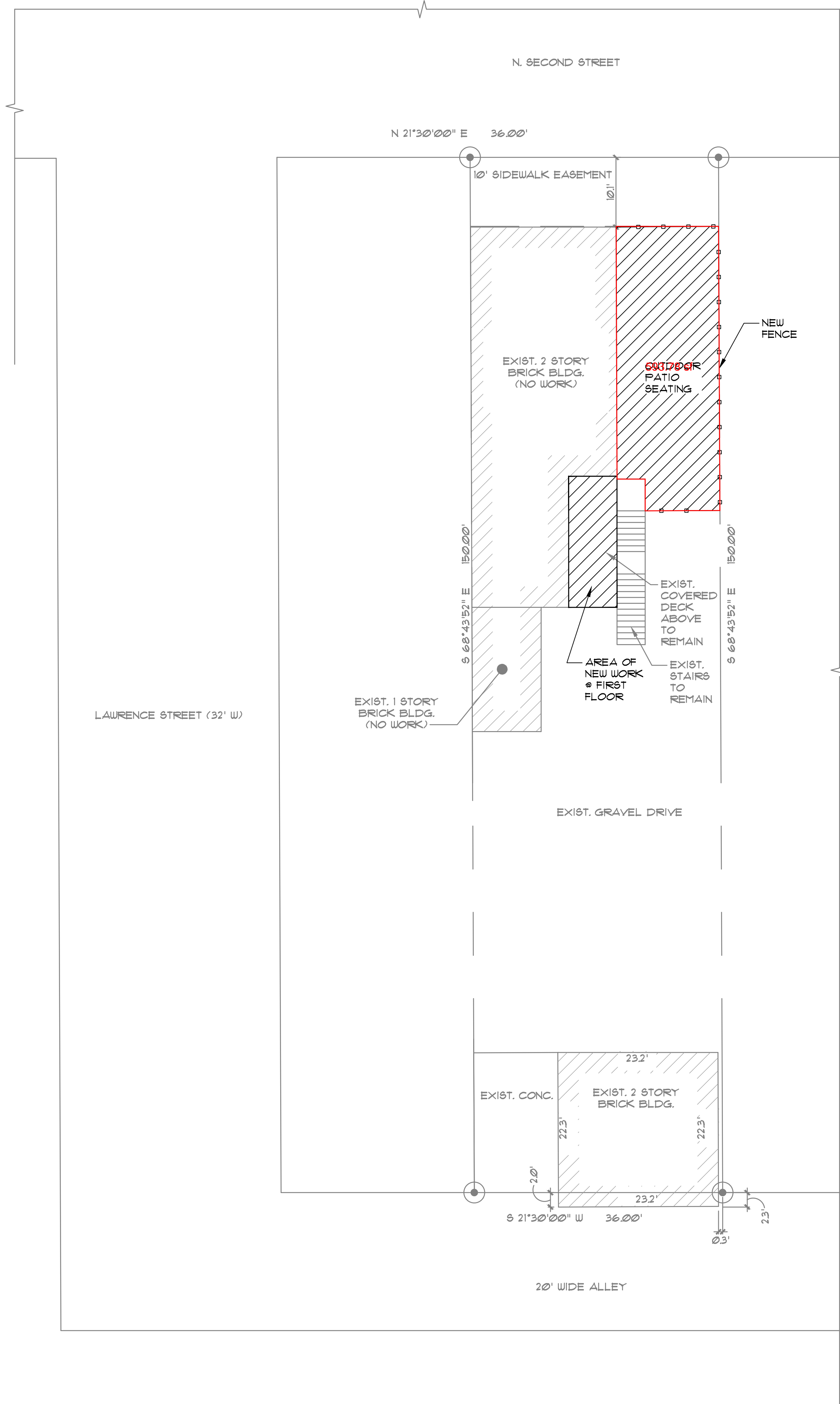
Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00

Narrative of Proposed Use

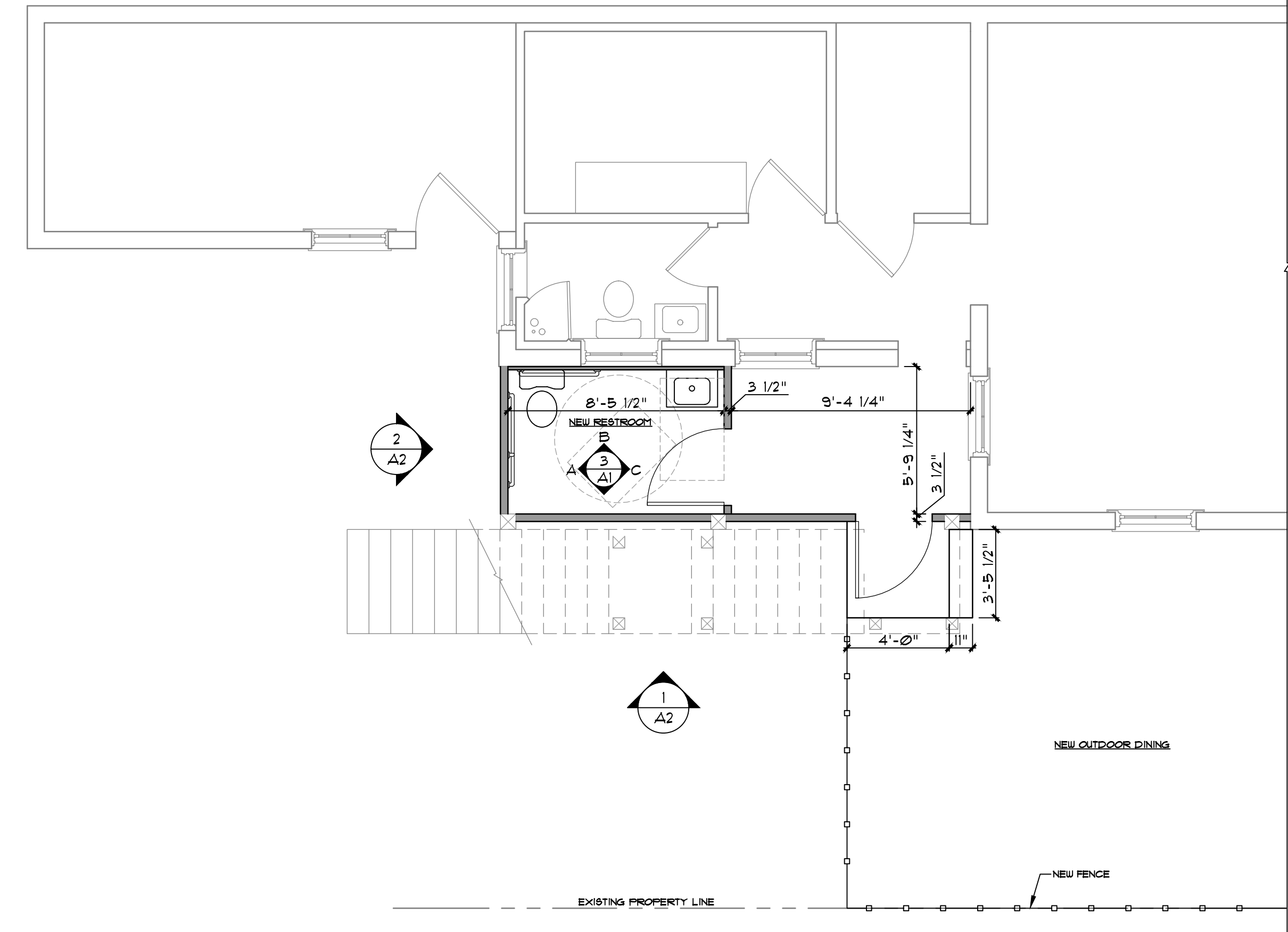
Marcia Randoll desires to increase the occupancy of 1106 N 2nd St, St Charles, MO 63301 by the addition of a second bathroom and the construction of an outdoor patio. La Rivière Events is an intimate, riverside event venue in the historic Frenchtown District of St. Charles, Missouri. The space blends French-inspired elegance with modern comfort—perfect for birthday parties, micro-weddings, corporate off-sites, and community meet-ups.

Additionally, Ms. Randoll is requesting to sell liquor in connection with events held at the venue. While guests are currently permitted to bring their own food and beverages, the venue is not authorized to sell either food or liquor. The Applicant therefore proposes to offer professionally catered food in conjunction with beverage service provided by the venue as part of event packages, enabling more comprehensive offerings for clients. For example, the venue may host themed events—such as a “Samba and Feijoada” night—where food is provided through professional catering, beverages are sold by the venue, and both may be included in all-inclusive ticket sales or sold to attendees during the event.

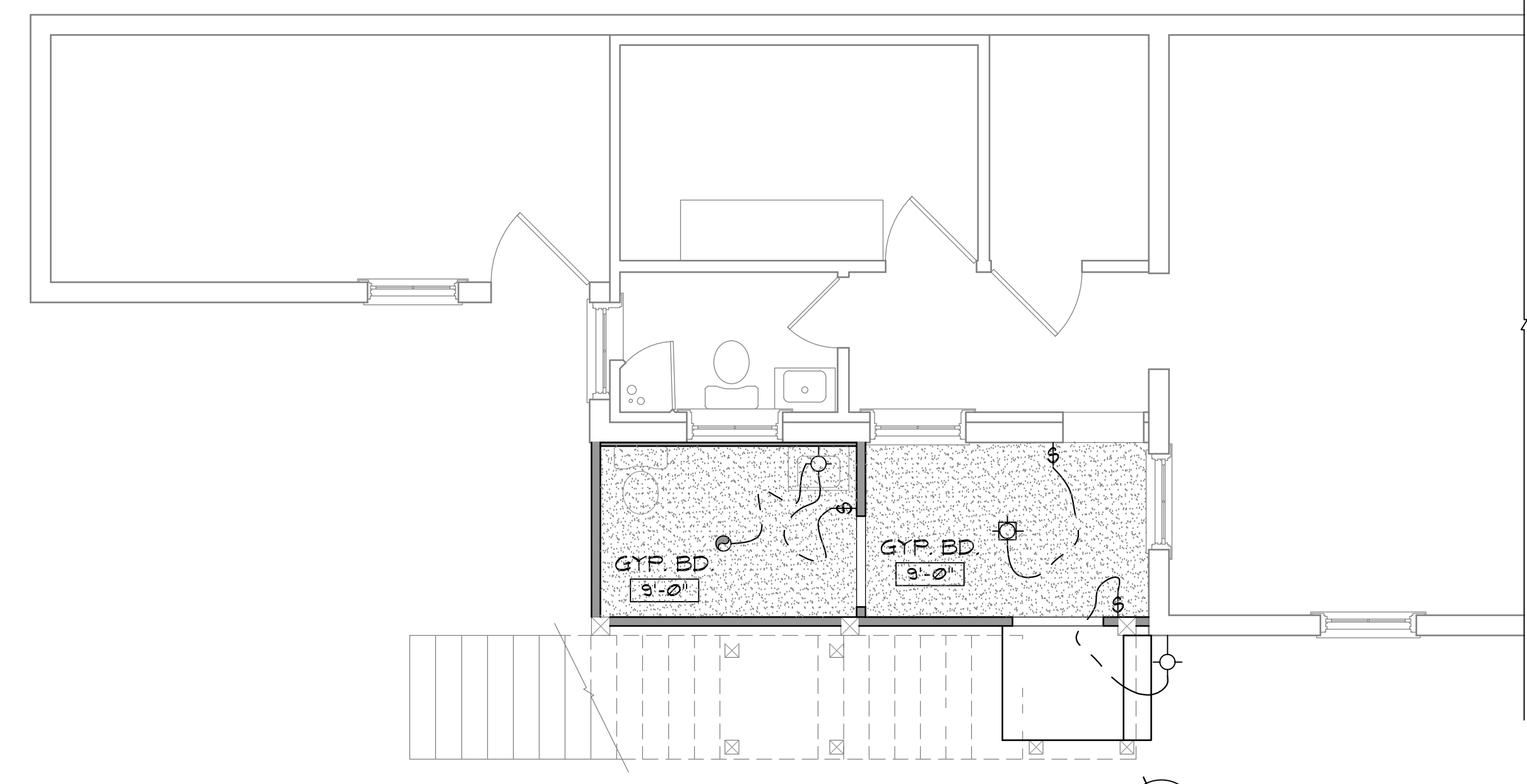
The Applicant plans to utilize third-party catering services for events held on the premises. Any on-site equipment will be limited to a simple warming oven used solely to heat or hold pre-prepared food; no food will be cooked or prepared from scratch on site. The venue will not operate as a restaurant and will not be open for regular food or drink service to the general public. Any food and liquor sales will occur only in connection with scheduled special events hosted at the venue.



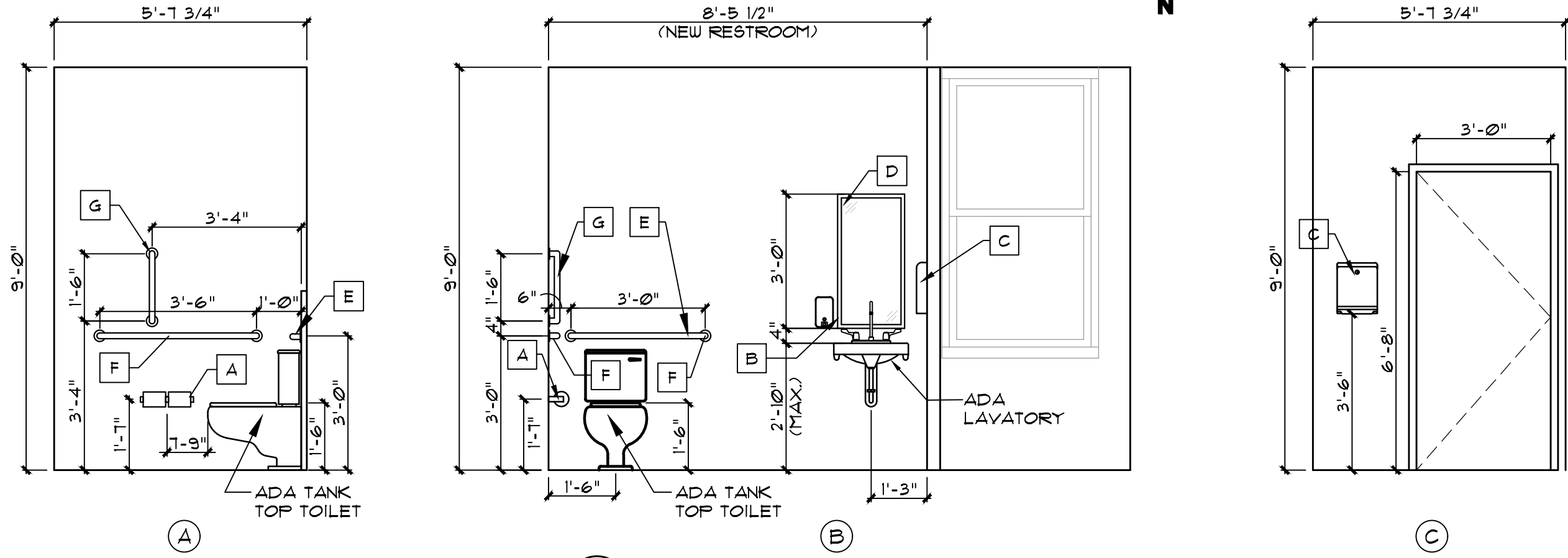
1 SITE PLAN
SCALE: 1"=10'



2 FLOOR PLAN
SCALE: 1/4"=1'-0"



3 REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



4 BATHROOM ELEVATIONS
SCALE: 3/8"=1'-0"

STEPHEN J. HOLLANDER
MO Architect No. A-6126

THIS DRAWING CONTAINS
PROPRIETARY INFORMATION
BELONGING TO S.J.
HOLLANDER ARCHITECT,
ANY REPRODUCTION
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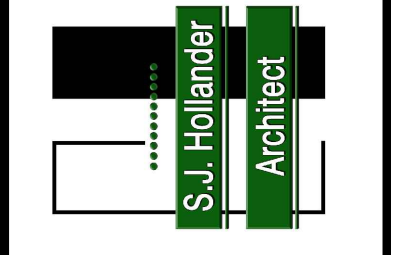
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2026 ARCHITECT

Restroom Addition for:
La Riviere Events
1106 N 2nd Street
St Charles, MO 63301

PROJECT NO.
225111

REVISIONS NO.	DATE	ITEM

S.J. Hollander Architect
Stephen J. Hollander, AIA
519 First Capitol Drive
St. Charles, Missouri 63301
Phone (636) 947-4140
Missouri Architectural Corporation #000801



DATE
January 13, 2026

SHEET TITLE
**Floor Plan
and Details**

SHEET NO.

A1

Progress Print 1-13-2026 Progress Set - NOT FOR CONSTRUCTION

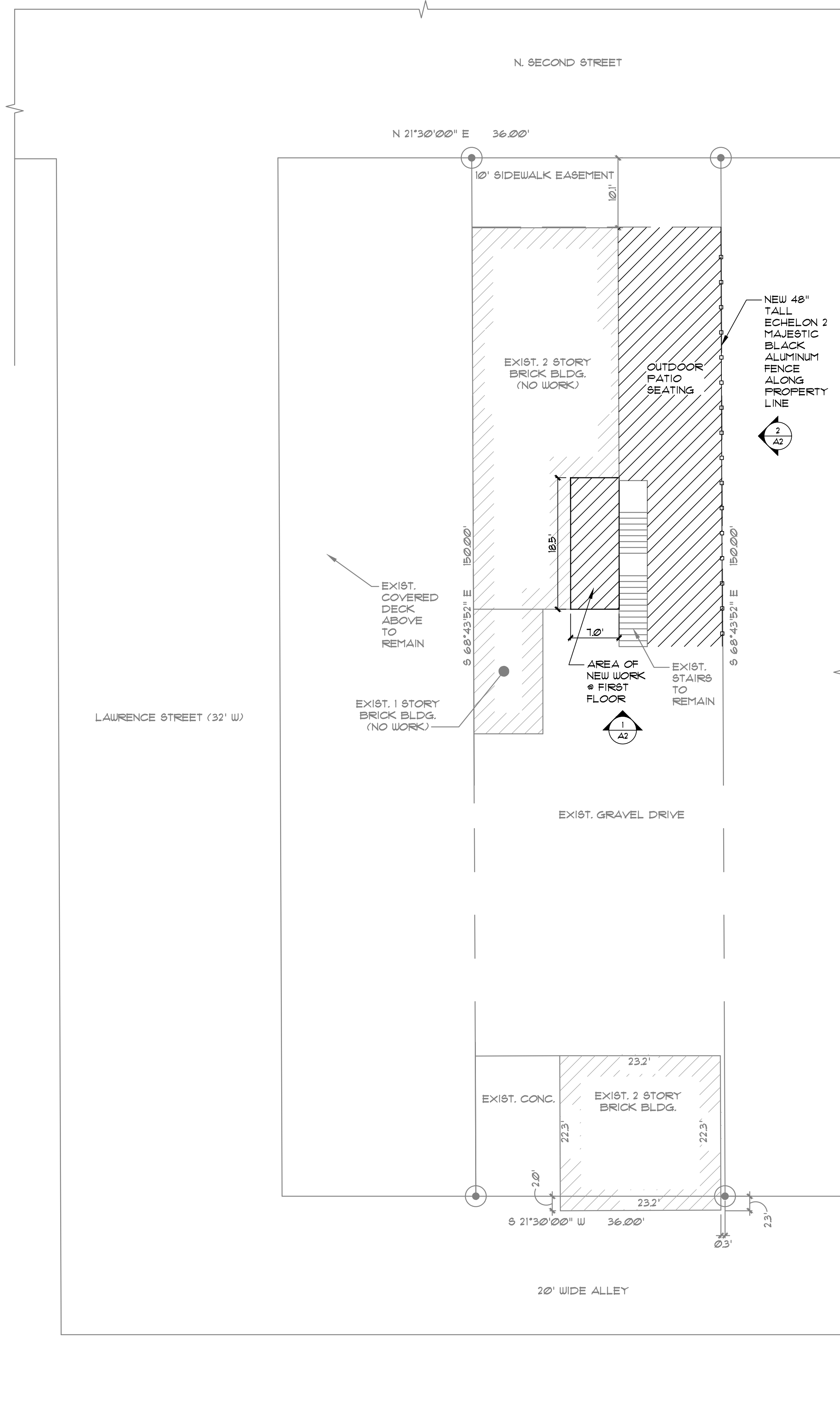
Legal Description

A Lot of ground in City Square No. 42 fronting 36 feet on Second Street and running back Eastwardly, the same width to the center of said Square 42, and being the same Lot and house near the corner of Lawrence and Second Streets conveyed by William Vogel and Elise Vogel, his wife, to Fritz Ebeling by deed dated January 3, 1870 and recorded in Book No. 4 at page 154 in the Office of the Recorder of Deeds for the County of St. Charles, Missouri, to which reference is made for a more particular description. Being the same property conveyed to Louis E. Ebeling (by the name Louis Ernst Ebeling) by Thomas W. Heye, etal, as per deed dated September 16, 1899, recorded in Book 74 page 213 in said Recorder's Office.

More accurately described as follows:

A tract of land being part of City Block 42 of the City of St. Charles, Missouri, Township 47 North, 5 East of the Fifth Principal Meridian, St. Charles County, Missouri and being more particularly described as follows:

Commencing at the Southwest corner of said City Block 42, being at the intersection of the Eastern Line of Second Street (38.50 feet wide) with the Northern line of Lawrence Street (32.08 feet wide); thence along said Eastern line of said Second Street, North 21 degrees 30 minutes 00 seconds East 28.00 feet to the Actual Point of Beginning of the description herein; thence continuing along the said Eastern line of Second Street, North 21 degrees 30 minutes East 00 seconds East 36.00 feet; thence leaving said Eastern line of Second Street, along the Southern line of property conveyed to Premiere Catering Inc. by deed recorded in Book 2183 Page 302 of the St. Charles County Records, South 68 degrees 43 minutes 52 seconds East 150.00 feet to the Western line of a 20.00 feet wide alley; thence along said Western line of alley; South 21 degrees 30 minutes 00 seconds West 36.00 feet; thence leaving said Western line of alley, along the Northern line of property conveyed to Steven G. Wildhaber by deed recorded in Book 4178 Page 72 as established by a party wall agreement recorded in Book 358 Page 17 of said records, North 68 degrees 43 minutes 52 seconds West 150.00 feet to the point of beginning as per calculations by Bax Engineering Company during the month of December 2011.



1 SITE PLAN
SCALE: 1" = 10'

STEPHEN J. HOLLANDER
MO Architect No. A-6126

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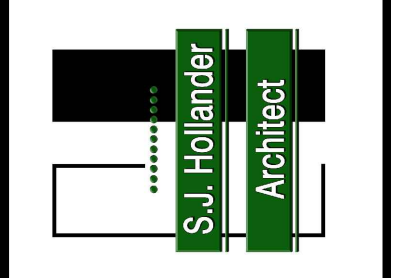
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2026 ARCHITECT

Restroom Addition for:
La Riviere Events
1106 N 2nd Street
St Charles, MO 63301

PROJECT NO.
225111

REVISIONS NO.	DATE	ITEM

S.J. Hollander Architect
Stephen J. Hollander, AIA
519 First Capitol Drive
St. Charles, Missouri 63301
Phone (636) 947-4140
Missouri Architectural Corporation #000801



DATE
March 12, 2026

SHEET TITLE
Site Plan

SHEET NO.
A1

Progress Print 3-12-2026 Progress Set - NOT FOR CONSTRUCTION

STEPHEN J. HOLLANDER
MO Architect No. A-6126

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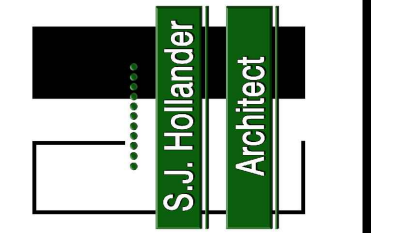
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2026 ARCHITECT

Restroom Addition for:
La Riviere Events
1106 N 2nd Street
St Charles, MO 63301

PROJECT NO.
225111

REVISIONS	NO.	DATE	ITEM

S.J. Hollander Architect
Stephen J. Hollander, AIA
519 First Capitol Drive
St. Charles, Missouri 63301
Phone (636) 947-4140
Missouri Architectural Corporation #000801



DATE
March 12, 2026

SHEET TITLE
Colored Elevations

SHEET NO.

A2

Progress Print 3-12-2026 Progress Set - NOT FOR CONSTRUCTION



1 EAST ELEVATION
SCALE: 1/4"=1'-0"

2 NORTH ELEVATION
SCALE: 1/4"=1'-0"



AGENDA ITEM #6G

STAFF REPORT
NEW WINDOWS AND SIDING
300 NORTH 5TH STREET
CASE NO. EC-2026-19

BY TAYLOR MOORE

APPLICANT: Jamey Schmitt
140 Raceway Park Drive
Moscow Mills, MO 63362

OWNER: Going Green Investments
140 Raceway Park Drive
Moscow Mills, MO 63362

ADDRESS/LOCATION: 300 North 5th Street

ZONING: CBD—Central Business District
EHP—Extended Historic Preservation District

USE: Two-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

Built in 1914, the subject property is the 2½ story, frame American Foursquare style house with Colonial Revival influences located at 300 N. 5th Street. The structure is also considered a contributing resource to the Midtown Neighborhood National Historic District. The property experienced a fire in January 2025 that caused damage to both the interior and exterior of the structure. While restoration following natural disasters typically does not require Landmarks review, the applicant is proposing several exterior alterations that differ from the structure’s previous appearance. These changes include reducing the height of the first-floor windows by approximately 10” to accommodate new structural headers, and the installation of new siding on the dwelling. Accompanying this report are photographs of the property, along with examples of proposed windows and siding material.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

(C) *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT
Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design
 - c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - d. Building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationships to one another.
 - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
 - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
 - a. Conformance to ordinances and the Appearance Code;
 - b. Logic of design;
 - c. Exterior space utilization;
 - d. Architectural character;
 - e. Attractiveness;
 - f. Material selection;
 - g. Harmony and compatibility.

STAFF RECOMMENDATION

The applicant has stated the existing balloon framing surrounding the exterior window openings was significantly damaged due to the fire and required replacement. Conventional header framing has been installed in its place, which necessitated a slight reduction in the height of the windows. The applicant has indicated that, despite the modification, the installed windows and frame will fit the entire opening and will appear similar in height to the previous windows. The proposed new windows will be vinyl, one over ones, which matches the configuration of the windows that previously existed on the structure. The trim around the window openings will be 3½ inches, adding to the same appearance in height. While the window openings currently look to be significantly minimized in size, the applicant as stated additional inches will be removed to make a larger opening. The proposed windows will be white, vinyl, one over one's which will match the previous windows.

One window on the northeast corner of the house will be completely removed. However, this window is only minimally visible from North 5th Street when traveling south and is towards the rear of the structure. A central chimney behind the front façade dormer has

also been removed. The chimney received a large amount of damage from the fire and was not salvaged due to its deteriorating state. Furthermore, the chimney was no longer utilized and had not been for quite some time. While the chimney was directly referenced in the Midtown Neighborhood Historic Districts written description of the property, Staff discussed this alteration with the State Historic Preservation Office (SHPO), who stated this alteration will not impact the contributing status of the structure. Roof structures such as chimneys frequently become damaged and are removed from historic structures. Lastly, the applicant is requesting to install new lap siding in the color “Ironstone.” The color is darker than the existing siding but is an appropriate shade for the district.

Based on this analysis, Staff believes the size change of the window openings will not be visibly noticeable as it is now on the structure once the window and framing is installed. Staff does recommend a condition be placed that if this alteration is not completed as stated, the windows will need to be removed and replaced with historically accurately sized windows. Regarding the rear window being removed and the chimney, these alterations will have no impact on the contributing status of the structure. Overall, the project should revitalize a structure that was damaged by a fire and has sat in a state of disrepair over the last year. Therefore, Staff recommends approval, subject to the following condition.

1. Window opening sizes shall appear the same as those historically seen on the dwelling.

Recommended Motion:

Motion to approve the window alterations, chimney removal, and new siding on the dwelling at 300 North 5th Street, subject to the condition recommended by Staff.



Figure 1: Subject structure seen before rehabilitation.



Figure 2: Windows on Monroe Street side previously.



Figure 3: Window openings being altered.



Figure 4: Window example.



Figure 5: Ironstone siding example.



Figure 6: Subject property location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 300 N Fifth St

BUSINESS NAME (if applicable): Going Green Investments

APPLICANT: Jamey Schmitt
(Name)

140 Raceway Park Dr. 63362
(Address)

314-713-0995 jamey@goinggreen-stl.com
(Phone & Email Address)

PROPERTY OWNER: Going Green Investments
(Name)

140 Raceway Park Dr. 63362
(Address)

636-238-3838 jamey@goinggreen-stl.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- | | |
|---|--|
| <input type="checkbox"/> Commons Preservation District | <input type="checkbox"/> Extended Historic Preservation District |
| <input type="checkbox"/> Frenchtown Preservation District | <input type="checkbox"/> Historic Downtown Preservation District |
| <input type="checkbox"/> South Main Preservation District | |

DATE OF ORIGINAL CONSTRUCTION: 1910

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Duplex - 2 story

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: Fire Restoration
- Construct a new structure: _____
- Demolish or move structure: _____
- Construct a new addition: _____
- New sign or awning: _____
- Site work (patio, fence, etc.): _____
- Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Main floor windows reduce Height by 10"
to Accomodate new Headers. New windows
to meet Egress requirements the width
will not change.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

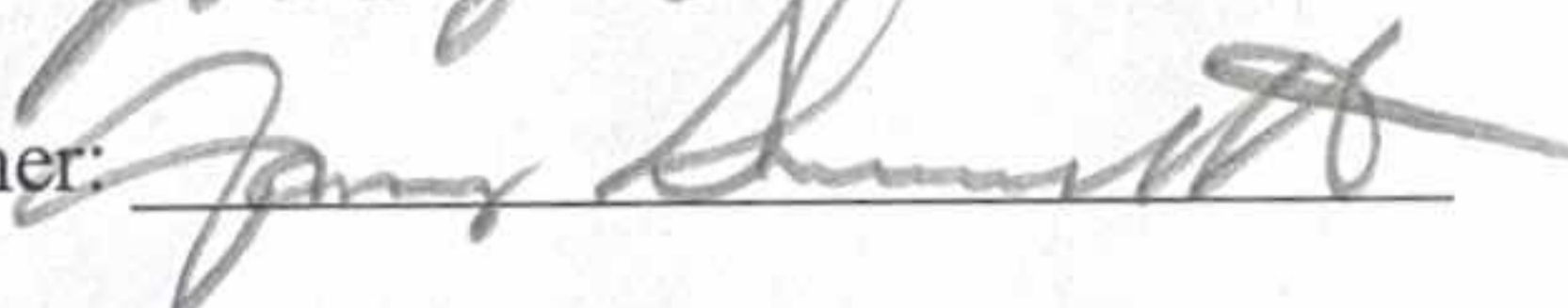
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 3/3/26

Signature of the property owner:  Date: 3/3/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan: \$200.00
Exterior Changes & Demolitions: \$50.00

Jamey Schmitt

Going Green Contracting, LLC

Feb 25, 2026 | 9 Photos



Window Change Report

Photos

This report shows the minor modifications to ensure a safe, code compliant structure was restored. The overall look of the property will be unnoticeable due to the minor changes. Overall, all precautions were taken to keep the original "look" of the property while completing necessary adjustments to account for safety and current building codes.

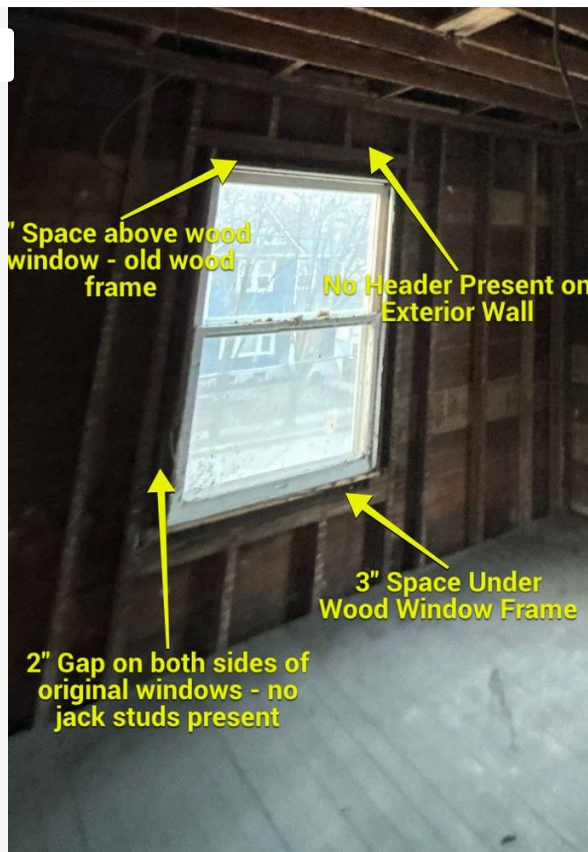
1

Minor Size adjustment in Height only to accommodate new header



Project: 300 N Fifth - Rental GGI
Date: Dec 18, 2025, 8:45 AM
Creator: Jamey Schmitt

2



Project: 300 N Fifth - Rental GGI
Date: Jan 7, 2026, 4:23 PM
Creator: Carter Duvenick


3



New Window Framing with Header

Project: 300 N Fifth - Rental GGI
Date: Feb 24, 2026, 11:21 AM
Creator: Jamey Schmitt

2021 IRC Codes



1

Code Compliance Plan Review

- Provide smoke detectors in each bedroom, within 10' outside bedrooms and one on each floor.
- Provide Carbon Monoxide detector within 10' outside bedrooms.
- Provide Arc-fault protection for all new 15 & 20 amp circuits as required per 2020 NEC.
- Wall insulation must be R13, Attic Insulation must be R38 and R13 for bandboard.
- Bedrooms must meet emergency egress requirements. No exceptions
- Mechanical room must meet combustible air requirements.
- Stairs required to be have fire rated drywall protected if underneath used as storage.
- Must meet all receptacle spacing requirements of the 2020 NEC.
- Must meet all GFCI requirements per the 2020 NEC
- Must meet all plumbing fixture spacing requirements of the 2021 IRC.
- Must meet all fire blocking requirements of the 2021 IRC.
- All newly installed/repared sections of building must comply with the 2021 IRC when feasible.
- Provide bathroom exhaust fans vented directly to exterior.

200 North Second Street * Saint Charles, MO 63301 Ph: 636.949.3222 * Fax: 636.949.3557

www.stcharlescitymo.gov

* Per code compliance plan review " All newly installed/repaired sections of building must comply with he 2021 IRC when feasible"

Project: 300 N Fifth - Rental GGI
 Date: Feb 25, 2026, 2:55 PM
 Creator: Jamey Schmitt

2

6.7 Cutting, notching, and/or boring holes on wood beams, joists, rafters, or studs shall not exceed the limitations noted in Sections R502.8, R602, and R802.1. Reinforcement of studs shall be done in accordance with the building code.

6.7 Composite structural framing members (such as double 2x beams) shall be joined with waterproof glue and screws to form one unified framing member.

6.8 Exterior Wall Sheathing - Exterior Exposure, APA Rated Structural Wall Sheathing, 7/16" Thick OSB Board or equivalent.

6.9 Roof Sheathing: 1/2" thick CDX Exposure I, 5-Ply, APA rated structural roof sheathing (or equivalent), fastened to trusses.

6.10 Sheathing Nailing - 8d galv. nails @ 12" OC, w/ 6" OC at edges. (or) Sheathing Stapling - 16 Ga. galv. staples w. min. crown 3/4" and min. leg length 1-3/4". Spacing shall be 8" OC w. 4" OC at edges.

6.11 Plywood installed with face grain perpendicular to supports.

6.12 Exterior wall sill plates shall be exterior grade, #2 yellow pine, ACQ exterior treated

6.13 Exterior Wall Studs (bearing walls): Spruce-Pine-Fir (SPF) No. 1 or better, 19% max. moisture content, Typical spaced at 16" OC, with allowable bending stress Fo= 875 psi, Fc= 1,150 psi, E=1,400,000 psi, for all framing members, u.n.o.

6.14 Interior Wall Studs (non-load bearing): western-white-woods (WWW) or spruce-pine-fir (SPF), stud grade, spaced at 16" OC, 19% max. moisture content, with allowable bending stress Fo=675 psi, Fc=725 psi, E=1,200,000 psi.

6.15 LVL and LSL by TrussJoist-MacMillan. Laminated Veneer Lumber (LVL= Microlams) and Laminated Strand Lumber (LSL=Timberstrand) as indicated.

6.16 Headers shall be (2) 2x12's (#2 Y.Pine) for openings of less than 5'1 (2) 2x12's for openings up to 6', UNO. Provide solid posts or triple wood stud built up posts at each end of beam or header unless otherwise noted. Headers/ Supports shall conform to the minimum standards of the building codes, latest edition, and as noted.


6.17 Provide Guardrails at all vertical grade changes greater than 24".

Plan Details - " Headers shall be (2) 2x10 #2 yellow pine"

Project: 300 N Fifth - Rental GGI
 Date: Feb 25, 2026, 2:55 PM
 Creator: Jamey Schmitt

3

2021 IRC Code Span Chart

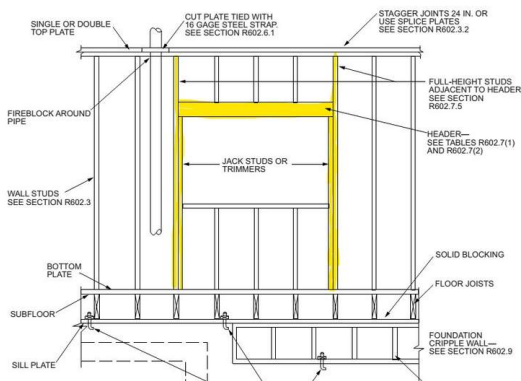
 <p>Roof, ceiling and one clear-span floor</p>	1-2 x 10	4-5	2	3-5	3	2-10	3	4-2	2	3-2	3	2-8	3	3-11	2	3-0	3	2-6
	1-2 x 12	5-2	2	4-0	3	3-4	3	4-10	3	3-9	3	3-2	4	4-7	3	3-6	3	3-0
	2-2 x 4	2-11	1	2-3	1	1-10	1	2-9	1	2-1	1	1-9	1	2-7	1	2-0	1	1-8
	2-2 x 6	4-4	1	3-4	2	2-10	2	4-1	1	3-2	2	2-8	2	3-10	1	3-0	2	2-6
	2-2 x 8	5-6	2	4-3	2	3-7	2	5-2	2	4-0	2	3-4	2	4-10	2	3-9	2	3-2
	2-2 x 10	6-7	2	5-0	2	4-2	2	6-1	2	4-9	2	4-0	2	5-9	2	4-5	2	3-9
	2-2 x 12	7-9	2	5-11	2	4-11	3	7-2	2	5-7	2	4-8	3	6-9	2	5-3	3	4-5
	3-2 x 8	6-11	1	5-3	2	4-5	2	6-5	1	5-0	2	4-2	2	6-1	1	4-8	2	4-0
	3-2 x 10	8-3	2	6-3	2	5-3	2	7-8	2	5-11	2	5-0	2	7-3	2	5-7	2	4-8
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	4-2 x 10	9-6	1	7-3	2	6-1	2	8-10	1	6-10	2	5-9	2	8-4	1	6-5	2	5-5
	4-2 x 12	11-2	2	8-6	2	7-2	2	10-5	2	8-0	2	6-9	2	9-10	2	7-7	2	6-5

Project: 300 N Fifth - Rental GGI
 Date: Feb 25, 2026, 2:55 PM
 Creator: Jamey Schmitt

4

2021 IRC Code - Typical Wall and Roof Framing Diagram

FIGURE R602.3(1) TYPICAL WALL, FLOOR AND ROOF FRAMING



Project: 300 N Fifth - Rental GGI
 Date: Feb 25, 2026, 2:55 PM
 Creator: Jamey Schmitt

Exterior Before and After

Front Elevation



Before Rendering

Project: 300 N Fifth - Rental GGI
Date: Feb 25, 2026, 3:18 PM
Creator: Jamey Schmitt



After Rendering

Project: 300 N Fifth - Rental GGI
Date: Feb 25, 2026, 3:18 PM
Creator: Jamey Schmitt

300 N Fifth St

Window Measurement Comparison

Old Windows	RO	U.I.	New Windows	RO	U.I.	% difference
1 ea	36 x	66 102	36 x	62 98	3.92%	
1 ea	36 x	66 102	36 x	62 98	3.92%	
8 ea	36 x	62 98	36 x	62 98	0.00%	
1 ea	32 x	66 98	32 x	62 94	4.08%	
8 ea	36 x	70 106	36 x	62 98	7.55%	

2021 IRC HEADER QUICK REFERENCE

Exterior Load-Bearing Walls — Two-Story Residential Structures

Code Reference: IRC 2021 Section R602.7 & Tables R602.7(1) and R602.7(2)

When Headers Are Required

• Windows • Doors • Garage Doors • Large Openings • Any opening in exterior load-bearing walls

Table Use Assumptions

- Exterior bearing walls supporting roof, ceiling, and one floor
- Building width \leq 36 ft roof span
- Ground snow load \leq 70 psf
- Stud spacing 16" O.C. • #2 SPF lumber or better

Header Size Quick Reference

Opening Width → Required Header

Up to 3' → (2) 2×6

3'1" – 4' → (2) 2×8

4'1" – 5' → (2) 2×10

5'1" – 6' → (2) 2×12

6'1" – 8' → (2) 2×12 (verify loads)

8'1" – 10' → Engineered header or (2) 1¾" × 11" LVL

Over 10' → Engineered design required

Jack Stud Requirements (Table R602.7.5)

Up to 4 ft span → 1 jack per side

4 ft – 6 ft → 2 jacks per side

6 ft – 8 ft → 2 jacks per side

Over 8 ft → 3 jacks or engineered

Structural Notes

- Minimum 1½" bearing per end
- King studs required each side
- Cripple studs required above headers
- Headers must fully bear on jack studs
- Insulated headers permitted if structural requirements are met

Important: Header sizing is based on opening width, loads, and spans — NOT building length.



Going Green Restoration

140 Raceway Park Dr
Moscow Mills, MO 63362

Office: 636-238-3838
Fax: 888-557-0053
Website: goinggreen-stl.com

Client: Jamey Schmitt
Property: 300 N Fifth St
Saint Charles, MO 63301

Operator: JAMEY

Estimator: Jamey Schmitt
Position: Project Manager
Company: Going Green Roofing and Restoration

Business: (314) 713-0995

Type of Estimate: Fire
Date Entered: 2/23/2026 Date Assigned:

Price List: MOSL8X_FEB26
Labor Efficiency: Restoration/Service/Remodel
Estimate: 300_N_FIFTH_HEADERS



Going Green Restoration

140 Raceway Park Dr
Moscow Mills, MO 63362

Office: 636-238-3838
Fax: 888-557-0053
Website: goinggreen-stl.com

300_N_FIFTH_HEADERS

Window Headers

DESCRIPTION	QTY	UNIT PRICE	TOTAL
2" x 4" x 8' #2 & better Fir / Larch (material only)	88.00 EA @	3.94 =	346.72
Header - double 2" x 10"	66.00 LF @	9.87 =	651.42
Carpenter - General Framer - per hour	44.00 HR @	87.21 =	3,837.24
* 2 hours per window to cut and install new headers, jack studs and king studs to bring up to 2021 IRC Residential Code			
General Demolition - per hour	22.00 HR @	69.47 =	1,528.34
* 1 hour per window to remove old window frames and prep for new framing			
Window Headers			\$6,363.72



AGENDA ITEM #6H

STAFF REPORT
**REMOVE REAR GARAGE
& REAR ADDITION**
711 SOUTH BENTON AVENUE
CASE NO. SP-2026-5 (DEMO)

BY TAYLOR MOORE

APPLICANT: Matt Barker
211 Perry Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 711 South Benton Avenue

ZONING: R-1E—Single-Family Residential
EHD—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is 711 South Benton Avenue which is a 1½ story, brick, Federal styled house that was built in 1890. Behind the primary structure is a one-story wood framed addition that is approximately 12' x 34' (408 square feet). Behind this addition is a detached garage measuring approximately 19' x 20' (380 square feet). It is a wood framed structure built on a slab and clad in multiple materials. The applicant is requesting approval to remove both the rear addition and the detached garage from the property. Accompanying the application is the required Historical/Architectural Report, for the garage structure, and existing photos of the property. The review will address the rear addition first, then move on to the detached garage structure.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):



Figure 1: Subject property outlined in blue, subject addition outlined in green, subject garage outlined in red.

Rear Addition:

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District "to establish a criterion of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare." The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District

and apply to be listed in the National Registry, this home as it stands today would most likely be considered as non-contributing to the district due to the many alterations it has had over time

- **Staff:** *Staff concurs with this analysis. The structure features architectural styles of both Federal, Victorian, and Craftsman. A porch would not have been an original feature of a Federal styled house, and the front dormer features many Victorian influences. Additionally, the home features two additions that do not match the original structure in material.*

Criterion 2: *The property's location as a site of a significant local, county, state or national event.*

- **Applicant:** "There is no documentation that this location is or has been associated with any significant local, County, State or national event."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: *The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.*

- **Applicant:** "The home does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: *The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.*

- **Applicant:** "This rear addition is a poor example of construction for any period, type, or method. It is a one-story wood framed structure with gable roof. The exterior wall cladding material is cheap and poorly crafted and not an indigenous material. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction"
- **Staff:** *Staff concurs with this analysis, as the design has no distinct characteristics of an architectural style.*

Criterion 5: *The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant:** "The architect or builder of the current building is unknown."
- **Staff:** *Staff concurs with this analysis. No record of the structure's designer is noted.*

Criterion 6: *The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant:** "The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant."

- **Staff:** *Staff concurs with this analysis; the structure does not embody any significant characteristics.*

Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** "The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative."
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** "The structure is located at the rear of the property and is not visible from South Benton Avenue due to its location on the site behind the primary structure. It can be seen from the alley. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district."
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on the property for at least 50 years, it is not significant or visible enough to become a familiar visual feature to the community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** "This addition to the main structure is very cheaply and poorly constructed. It has no defining characteristics or design that make it architecturally significant."
- **Staff:** *Staff concurs with this analysis.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** "The building was constructed as an apartment addition to the primary home. It has not and is not likely to yield any information important to history."
- **Staff:** *Staff concurs with this analysis.*



Figure 2: Subject rear addition seen currently.

Detached Garage:

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** “The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District “to establish a criterion of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare.” The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district due to the fact that evidence exists that it was not original to the property. As a garage building, it does not appear to contribute any particular character or interest to the heritage or cultural aspect of the community, County, State, or country. It’s existence as a garage is one of hundreds of garages also located within the Extended Historic Preservation District and the community as a whole.
- **Staff:** *Staff concurs with this analysis. The structure has no distinct character and was built for use rather than aesthetics. Likewise, examples of similar structures can be found all throughout the community.*

Criterion 2: *The property's location as a site of a significant local, county, state or national event.*

- **Applicant:** “There is no documentation that this location is or has been associated with any significant local, County, State or national event.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: *The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.*

- **Applicant:** “The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: *The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.*

- **Applicant:** “The current structure is utilitarian in construction. The one-story wood framed structure constructed over a concrete slab on grade. It has no major distinguishing characteristics of an architectural style that would be valuable for study of the period, type, or method of construction.”
- **Staff:** *Staff concurs with this analysis, as the design has no distinct characteristics of an architectural style.*

Criterion 5: *The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant:** “The architect or builder of the current building is unknown.”
- **Staff:** *Staff concurs with this analysis. No record of the structure's designer is noted.*

Criterion 6: *The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant:** “The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant.”
- **Staff:** *Staff concurs with this analysis; the structure does not embody any significant characteristics.*

Criterion 7: *The property's embodiment of design elements that make it structurally or architecturally innovative.*

- **Applicant:** “The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative.”
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** “The structure is located at the rear of the property and is not visible from South Benton Avenue due to its location on the site behind the primary structure. It can be seen from the alley. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district.”
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on the property for at least 50 years, it is not significant or visible enough to become a familiar visual feature to the community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** “The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it architecturally significant.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** “The building was constructed as a garage, storage building, or shed. It has not and is not likely to yield any information important to history.”
- **Staff:** *Staff concurs with this analysis.*



Figure 3: Subject detached garage in the rear of the property.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
 10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
 2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
 3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
 4. Assessed value of the property according to the two (2) most recent assessments;
 5. Real estate taxes of the previous two (2) years;
 6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
 7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – ADDITION HISTORICAL SIGNIFICANCE

After reviewing the subject one-story, wood framed rear apartment against the applicable standards for review, Staff has determined that the structure holds no historic value to the property, district, or the City. Despite this, the structure appears to have been built at least fifty (50) years ago and therefore requires approval for removal. The apartment was constructed on a poured concrete slab featuring no basement, and has no interior connection to the primary structure. This addition was likely added for a separate dwelling space from the original structure, and has been utilized as an apartment for many years. The removal of it will have no impact on the primary, original structure, or the overall neighborhood. Therefore, Staff does not recommend the rear apartment be found historically significant.

Recommended Motion:

Motion to find the one-story apartment addition in the rear of 711 South Benton Avenue to be historically significant. (Staff believes the apartment addition is not historically significant and should be allowed to be removed.)

STAFF RECOMMENDATION – REAR GARAGE HISTORICAL SIGNIFICANCE

After reviewing the subject one-story, wood framed rear detached garage against the applicable standards for review, Staff has determined that the structure holds no historic value to the property, district, or the City. Despite this, the structure appears to have been built at least fifty (50) years ago and therefore requires approval for removal. The garage was constructed on a concrete slab, and features many different materials, likely from maintenance over the years. The removal of the structure will have no visual impact on the neighborhood or community as a whole. Therefore, Staff does not recommend the detached garage be found historically significant.

Recommended Motion:

Motion to find the one-story detached garage in the rear of 711 South Benton Avenue to be historically significant. (Staff believes the detached garage is not historically significant and should be allowed to be removed.)



Figure 4: Subject primary structure located on the property.



Figure 5: Property seen from rear alleyway.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

711 S. Benton Ave.
ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT: Matt Barker

(Name)

211 Perry St., St. Charles, MO 63301

(Address)

636-387-2580 mbarker@thebarkerblue.com

(Phone & Email Address)

PROPERTY OWNER: same

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District Extended Historic Preservation District

Frenchtown Preservation District Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: Primary Structure 1890
Garage & addition unknown

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

1 1/2 story masonry home with 1 story masonry and wood framed additions to rear.
Detached garage structure at alley - 1 story wood framed, slab on grade
construction.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: rear wood framed home addition & detached garage

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Demolish rear wood framed home addition in its entirety. Masonry home and masonry addition to remain.

Demolish detached garage in its entirety.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: _____ Date: _____

Signature of the property owner:  _____ Date: 02/23/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00



602 N. Benton Ave.
St. Charles, MO 63301

Project Name: **Historical/Architectural Report – Existing Garage & Primary Structure Additions**

Project Location: 711 S. Benton Ave.
St. Charles, MO 63301

February 23, 2026

The subject of this report are buildings on the property at 711 S. Benton Ave. in St. Charles, Missouri. The Owner of the property is seeking approval from the City of St. Charles to demolish the accessory building and rear additions to the primary building; the original primary building on the site will remain as is. This report is part of an application to the Historic Landmarks Preservation and Architectural Review Board to determine the historic significance of the accessory structure and portion of the primary structure that are proposed to be demolished.

Building Information

The property at 711 S. Benton Ave. is located within the Extended Historic Preservation District. The Extended Historic Preservation District is a locally designated historic district only. Unlike other historic districts in St. Charles, such as the St. Charles Historic District (which encompasses historic Main Street) or the Frenchtown Historic District, the Extended Historic Preservation District is not listed on the National Register of Historic Places as a district. The property at 711 S. Benton Ave. is also not listed as an individual property on the National Register of Historic Places.

Property records indicate that the primary building was built in 1890. This block of South Benton Ave. was not surveyed in maps published by the Sanborn Map Company in May 1893 or January 1900. The first indication of structures on the property is from the maps published in December of 1909. That map indicates a 1 story masonry structure with wood framed porch stretching the length of the front of the building and also an additional wood framed porch along the northwest rear corner of the home. The property has two one-story wood framed outbuildings indicated; one small building directly behind the house and another longer rectangular building along the alley. The 1909 map cuts the property off slightly at the south edge of the property as this was the last property of the block surveyed in that map issuance. The map published in May 1917 has the entire property shown. That map shows the primary structure in the same configuration as the 1909 map. However, the accessory structures on the site are differing from 1909. The smaller rectangular outbuilding behind the house is no longer on the property. The second outbuilding along the alley appears to be in the same configuration as is indicated on the 1909 map.

The property as it exists today has been greatly altered from what is shown on the 1909 and 1917 Sanborn maps. The current structure has several connected rear additions. From visual inspection, this structure has been added on to several times and appears that even what is depicted on the 1909 Sanborn map was not the original configuration of the 1890 structure. From investigation, the original structure most likely was a 1 1/2 story Federal Style masonry home approx. 20' wide x 36' deep with a side gable roof. There are many similar homes of this style and with similar detailing built at the

same time period throughout St. Charles. The front portion of this home is a classic red brick with a denticulated brick entablature at the front and rear eaves with returns at the ends that have been painted white. The foundation of this portion of the home is a rough-cut stone elevated above grade. There is only a crawl space below the east (front) half of the home and cellar below the rear half. The front facade is symmetrical with a window flanking each side of the center front door. Windows on the first floor of this portion of the home are wood framed 2/2 configuration with a single piece stone lug sill and have a detailed carving in the arched top of the wood window frame. This carving is also over the transom window above the front door. While the window opening is arched, the configuration of the windows themselves are rectangular with only the wood head detail arched at the exterior; at the interior the windows have a squared off head detail. At the North & South side elevations in the upper half story, there is a paired 1/1 window that has detailed trim molding at center between the windows. They also feature the arched wood top but do not have the carving detail like the first-floor windows. The South (side) elevation currently has metal awnings over all of the window openings, not original to the structure. The North elevation has two brick chimneys symmetrical about the gable roofline with brick corbeling at the top. There is a single dormer with 1/1 window and a front facing gable roof towards the East elevation (street facing) in the upper half story. The sides of the dormer are clad in asphalt shingles which match the roof. There is a great amount of detail at the dormer window including cornice brackets and trim molding. This detailing does not seem consistent with the detailing of the remainder of this portion of the house. As the house is listed on both the 1909 Sanborn map and the 1917 Sanborn map as a 1 story home and not a 1 ½ story home, it is possible that this dormer may have been added after the date of those surveys. There is a porch across the entire front of the home with two full height masonry columns at the ends and two half height masonry columns in the center. The brick does not match the brick from the primary structure. It has a vertical scratch texture and is darker in color. The mortar is also not a similar detail or color to the main structure and has deteriorated severely in some portions of the columns. The porch roof is a hip roof configuration and does not integrate with the brick entablature at the eaves of the home. It appears to be an element that was added on to the front of the house and not an original feature. The front porch also features wood peaked archways at the sides and front that appear to be more of a Craftsman style detailing, not in keeping with the period of detailing of the house itself. The porch ceiling bisects the arched openings of the windows and front door on the front façade. Both the 1909 and 1917 maps show a wood framed porch across the front of the house but the detailing and materials of the porch as it exists today are not consistent with a porch of the 1890s time period when the home was constructed. Many Federal Style cottage buildings of this time period would not have had a porch at all.

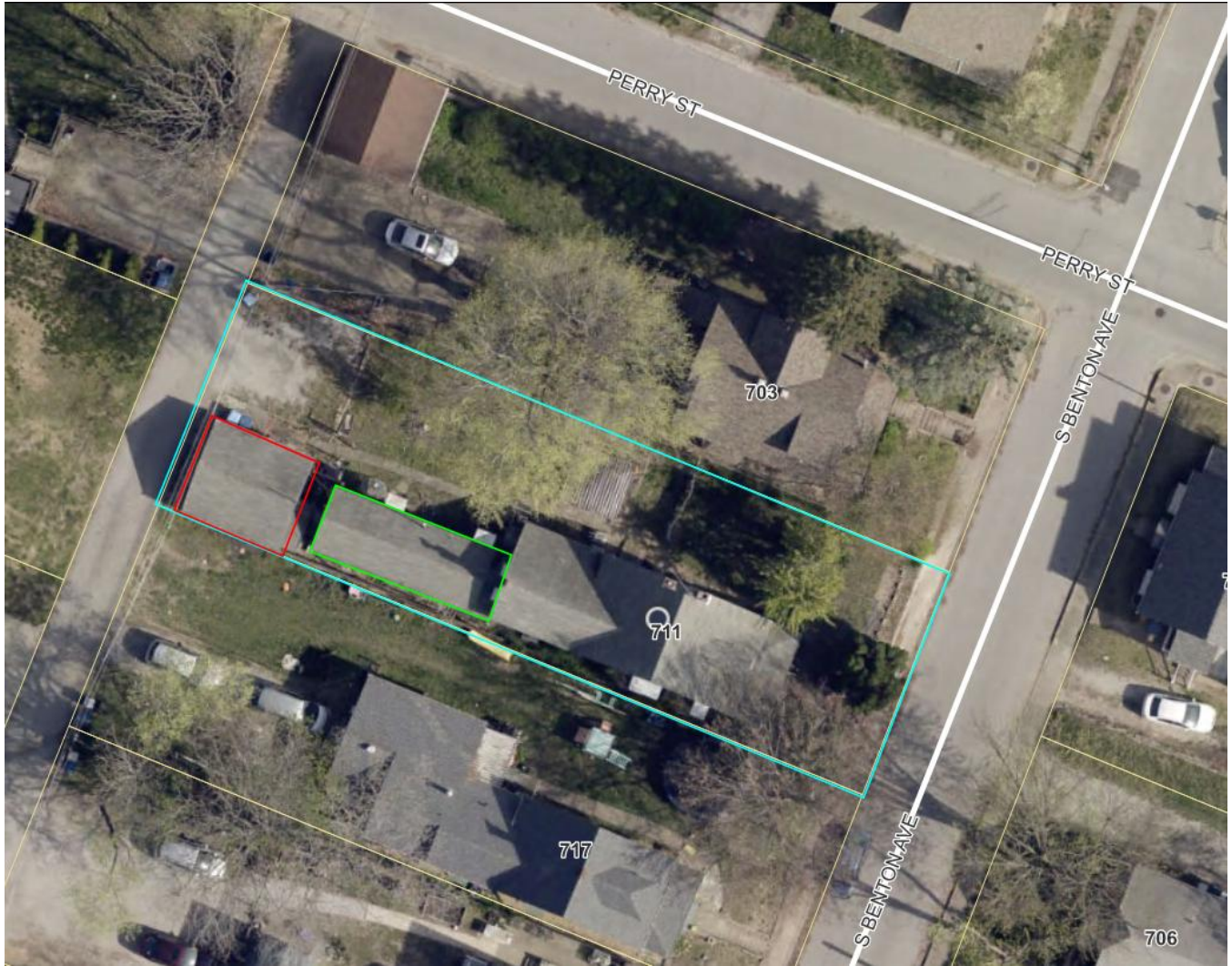
To the rear of the house, is what appears to be the first addition to the home and was depicted as part of the house on the 1909 Sanborn map. This is a one-story masonry structure approx. 20' x 16' in size with a gable roof that runs east/west (opposite of the direction of the roof of the main structure) and ties into the front roof. The foundation does not match the style of the front portion of the house. It is of different stone, it is not elevated in the same manner as the front portion of the home, and has a full basement below. This addition does have a brick entablature along the eave line of the South elevation similar to the front (East) eave and it has also been painted white. The brick coursing of this addition is not the same as the brick coursing at the front of the house. The original structure features a 6-course common bond with Flemish headers at the side walls and a running bond at the front wall. This addition has a 6-course common bond with course headers on all sides. The windows on this addition are square openings with a sloped brick sill. The windows themselves are a paired aluminum replacement window with a horizontal 2/2 configuration at the South and West (rear) elevation. The northwest corner of this addition appears to be what was identified as the wood framed porch shown on the 1909 map but has been enclosed with wood framed walls and is now part of the interior of the rear of the house. It is clad in an asphalt paper siding with a brick pattern although there are areas where the paper has deteriorated and a wood shiplap style siding is visible underneath. The upper attic space does have paired arched window openings to the west that are covered with aluminum awnings. The attic space above this addition is not tall enough to be habitable and does not appear as if it ever was finished. Additions were common to homes built in the 1890s as indoor kitchens and specifically indoor plumbing was commonly added to homes around the turn of the century. That is most likely the case here as all of the plumbing for the home is in this rear portion.

The next addition towards the rear of the house is a one-story wood framed structure approximately 12'x34' in length. The foundation is poured concrete and there is no basement below this addition. This structure is clad in an asphalt paper with a faux brick appearance. It has small wood windows with a horizontal 2 over 2 mullion pattern. It also has two entry doors

facing to the north that have aluminum awnings above. The doors are of different styles- one is a half-light with 3 horizontal panels below, the other is a divided half-light with two vertical panels below. Most recently, this structure was used as a separate apartment on the property and there is currently no connection to the interior of the home at the first floor to this addition and does not appear as if there ever was an interior connection.

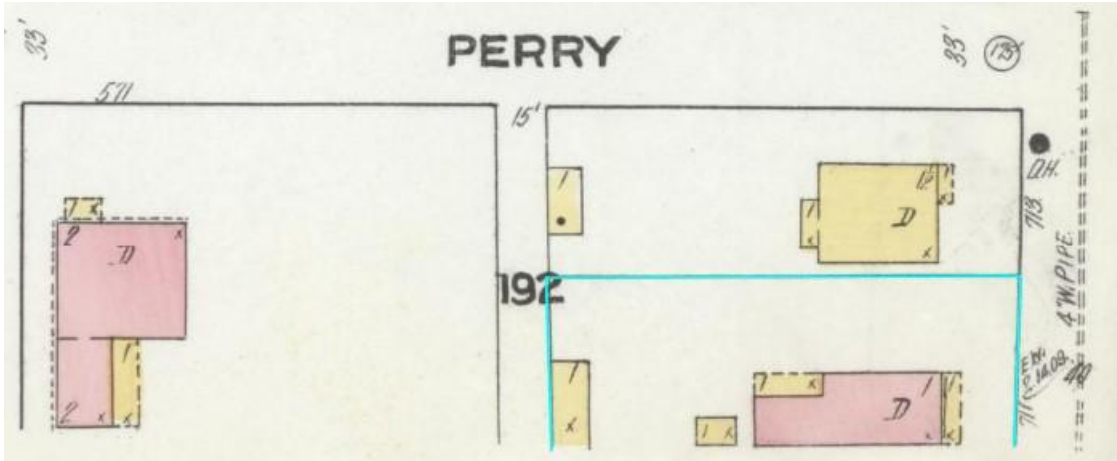
The property also has a detached garage building approx.. 19' x 20' in size. It is a wood framed structure with slab on grade foundation. It sits at the alley on the southwest corner of the property. This does not appear to have the same footprint or location as the outbuilding depicted in the 1909 and 1917 Sanborn maps. The garage is clad in multiple materials: the south elevation has horizontal vinyl lap siding, the west (alley) elevation has vertical wood siding, and the north & east elevations have the asphalt paper with brick look pattern similar to the adjacent addition to the house. There is a sliding barn door constructed of wood at the alley. The north elevation has a wood man door with 1/3 glass light and a small wood framed stoop over the door supported on angled knee braces. This has no decoration. There is also a wood framed casement window on this elevation near the front door.

Although there are no dates of construction associated with the wood framed rear addition and detached garage, visual appearance of the structures and materials used in their construction are evidence that they were both most likely constructed prior to 1975 and are greater than 50 years old.

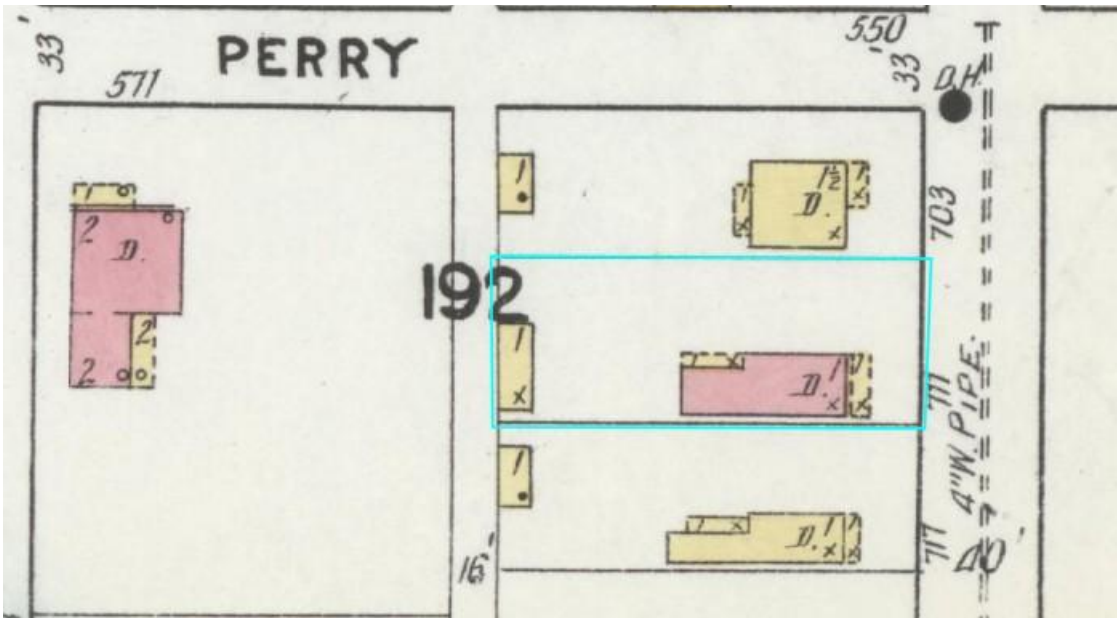


Current Aerial Map, City of St. Charles GIS Mapping service with aerial image 2024

Subject property outlined in blue, subject addition requesting to be demolished outlined in green and subject garage requesting to be demolished outlined in red



Sanborn Map, published Dec. 1909
Property outlined in blue



Sanborn Map, May 1917
Property outlined in blue



Existing Photo, Feb. 2026 – Front of home - View from South Benton Ave.



Existing Photo, Feb. 2026 – Front porch.

Style of porch is Craftsman influenced. Photo also depicts brick entablature under eave of main structure.



Existing Photo, Feb. 2026 - Brick porch column.

Brick does not match the remainder of the house. Brick has a vertical scratch texture that would not have been produced in 1890 at the date of the house construction.



Existing Photo, Feb. 2026 – View of house from side yard looking southeast.
Original 1890 structure shown to left. Likely masonry addition at rear of house to the right with wood porch depicted in 1909 & 1917 Sanborn maps infilled. To the far right is the start of the addition requested to be demolished.



Existing Photo, Feb. 2026 – View of house from side yard looking east. Portion of home to be demolished shown a left of photos. Center shows likely masonry addition at rear of 1890 structure (furthest portion of photo to the right)



Existing Photo, Feb. 2026 – Subject addition requesting demolition - View From yard looking south.
This rear addition is the subject of the historic criteria review and is proposed to be removed as part of a renovation project to the property.



Existing Photo, Feb. 2026 - Garage - View From Alley looking south
This garage is proposed to be removed along with the rear addition as part of a renovation to the property.



Existing Photo, Feb. 2026 – Garage - View from Alley looking north
This garage is proposed to be removed along with the rear addition as part of a renovation to the property.

Historic Criteria Review – Rear Addition

As part of an application for demolition, any structure located within a Historic District that is greater than 50 years of age requires a report analyzing the historical/architectural significance of the property. The standards for review are as outlined per City of St. Charles Ordinance 400.1280(F).

The following review is for the rear addition of the house only that is currently utilized as an apartment. It is a one-story wood framed structure approximately 12'x34' in length clad in asphalt paper with brick pattern.

Standards for Review:

- 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country.** The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District “to establish a criteria of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare.” The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District and apply to be listed in the National Registry, this home as it stands today would most likely be considered as non-contributing to the district due to the many alterations it has had over time.
- 2. Its location as a site of a significant local, County, State or national event.** There is no documentation that this location is or has been associated with any significant local, County, State or national event.
- 3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country.** The home does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.
- 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.** This rear addition is a poor example of construction for any period, type, or method. It is a one-story wood framed structure with gable roof. The exterior wall cladding material is cheap and poorly crafted and not an indigenous material. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction.
- 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country.** The architect or builder of the current building is unknown.
- 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant.
- 7. Its embodiment of design elements that make it structurally or architecturally innovative.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative.
- 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City.** The structure is located at the rear of the property and is not visible from South Benton Avenue due to its location on the site behind the primary structure. It can be seen from the alley. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district.
- 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance.** This

addition to the main structure is very cheaply and poorly constructed. It has no defining characteristics or design that make it architecturally significant.

10. The fact that it has yielded, or may be likely to yield, information important in history. The building was constructed as an apartment addition to the primary home. It has not and is not likely to yield any information important to history.

Summary

This report does not find the rear addition to the home at 711 S. Benton Ave. to be a significant architectural or historical resource. There is no construction date associated with the addition and although it is likely that the structure is greater than 50 years in age, age alone does not make a structure historically significant. It is poorly constructed with cheap building materials that have significantly deteriorated. While the home is located within the locally designated Extended Historic Preservation District, if the area were ever to be surveyed to be added as its own individual Historic District and apply to be listed in the National Registry, this rear addition to the primary structure would most likely contribute to the fact that the building would be considered as non-contributing to the district. It was not part of the original home constructed around 1890 and was not an addition that was added prior to 1917. This addition provides no distinct features, elements of craftsmanship, or architectural innovation, nor is it associated with any person or event of significance to the area. The demolition of this addition does not compromise any current historical status of a district nor would it likely have any impact on a future survey to establish a new district in the area.

Historic Criteria Review - Garage

As part of an application for demolition, any structure located within a Historic District that is greater than 50 years of age requires a report analyzing the historical/architectural significance of the property. The standards for review are as outlined per City of St. Charles Ordinance 400.1280(F).

The following review is for the detached garage building.

Standards for Review:

- 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country.** The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District “to establish a criteria of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare.” The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district due to the fact that evidence exists that it was not original to the property. As a garage building, it does not appear to contribute any particular character or interest to the heritage or cultural aspect of the community, County, State or country. It’s existence as a garage is one of hundreds of garages also located within the Extended Historic Preservation District and in the community as a whole.
- 2. Its location as a site of a significant local, County, State or national event.** There is no documentation that this location is or has been associated with any significant local, County, State or national event.
- 3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country.** The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.
- 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.** The current structure is utilitarian in construction. It is a one-story wood framed structure constructed over a concrete slab on grade. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction.
- 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country.** The architect or builder of the current building is unknown.
- 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant.
- 7. Its embodiment of design elements that make it structurally or architecturally innovative.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative.
- 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City.** The structure is located at the rear of the property and is not visible from South Benton Avenue due to its location on the site behind the primary structure. It can be seen from the alley. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district.

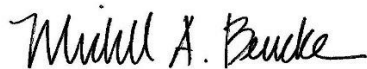
9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance. The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it architecturally significant.

10. The fact that it has yielded, or may be likely to yield, information important in history. The building was constructed as a garage, storage building, or shed. It has not and is not likely to yield any information important to history.

Summary

This report does not find the current garage building located at 711 S. Benton Ave. to be a significant architectural or historical resource. There is no construction date associated with the current garage structure on the site and although it is likely that the structure is greater than 50 years in age, age alone does not make a structure historically significant. While the home is located within the locally designated Extended Historic Preservation District, if the area were ever to be surveyed to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district. It is not the original outbuilding on the site that was constructed sometime between 1890 and 1909. This building provides no distinct features, elements of craftsmanship, or architectural innovation, nor is it associated with any person or event of significance to the area. The demolition of this building does not compromise any current historical status of a district nor would it likely have any impact on a future survey to establish a new district in the area.

Respectfully submitted:



Micki Beucke
Little Hills Architecture, LLC



AGENDA ITEM #6I

STAFF REPORT
REMOVE REAR GARAGE
912 SOUTH 4TH STREET
CASE NO. SP-2026-6 (DEMO)

BY TAYLOR MOORE

APPLICANT: Mike Petrosino
912 South Fourth Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 912 South Fourth Street

ZONING: CRD-2—Central Residential District 2
EHD—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is 912 South Fourth Street which is a two-and-one-half story, brick, Colonial Revival style house that was built in 1910. At the rear of the lot is a one-story, front gabled, two-car garage. The garage is approximately 22' x 24' (528 square feet) and is clad in wood board and batten and constructed over a concrete slab on grade. The applicant is requesting to remove the structure to provide space for the construction of a new garage. Accompanying the application is the required Historical/Architectural Report, for the garage structure, and existing photos of the property.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** “The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District “to establish a criterion of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare.” The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district due to the fact that evidence exists that it was not original to the property. As a garage building, it does not appear to contribute any particular character or interest to the heritage or cultural aspect of the community, County, State or country. It’s existence as a garage is one of hundreds of garages also located within the Extended Historic Preservation District and in the community as a whole.”
- **Staff:** *Staff concurs with this analysis. The structure is typical of accessory buildings within the district. With no particularly unique characteristics or architectural details, the structure would not be considered of interest or value.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** “There is no documentation that this location is or has been associated with any significant local, County, State or national event.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** “The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** “The current structure is utilitarian in construction. It is a one-story wood framed structure constructed over a concrete slab on grade. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction..”
- **Staff:** *Staff concurs with this analysis, as the design has no distinct characteristics of an architectural style.*

Criterion 5: The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant:** "The architect or builder of the current building is unknown."
- **Staff:** *Staff concurs with this analysis. No record of the structure's designer is noted.*

Criterion 6: The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant:** "The structure is utilitarian in design. There are no elements that embody any detailing or craftsmanship that would be historically or architecturally significant. It is clad in board & batten siding which is common for outbuildings."
- **Staff:** *Staff concurs with this analysis; the structure does not embody any significant characteristics.*

Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** "The structure is utilitarian in design. There are no elements that embody any detailing or craftsmanship that would be structurally or architecturally innovative. It is clad in board & batten siding which is common for outbuildings."
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** "The structure is located at the rear of the property and is not visible from South 4th Street due to its location on the site behind the primary structure and the 6' tall privacy fence around the property. It can be seen from the alley. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district."
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on the property for at least 50 years, it is not significant or visible enough to become a familiar visual feature to the community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** "The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it architecturally significant."
- **Staff:** *Staff concurs with this analysis.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant**: “The building was constructed as a garage, storage building, or shed. It has not and is not likely to yield any information important to history.”
- **Staff**: *Staff concurs with this analysis.*

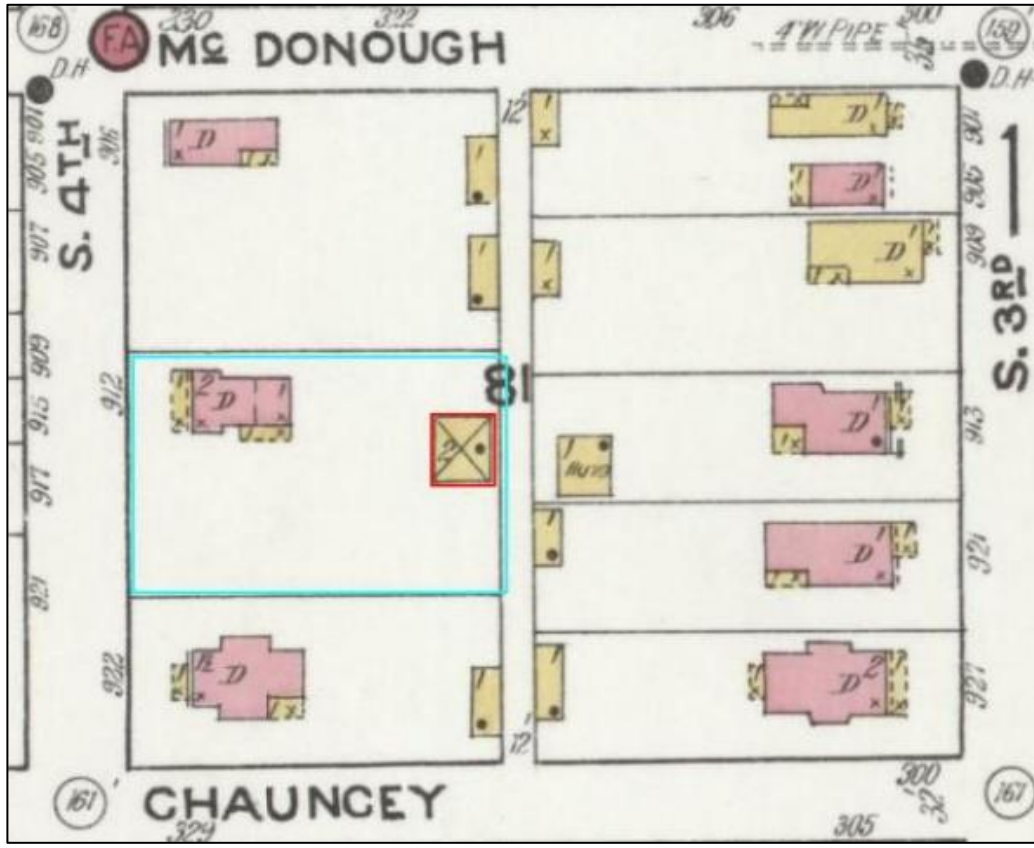


Figure 1: Rear accessory structure seen on the May 1917 Sanborn Map

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL

- Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall

be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.

- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 - 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 - 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 - 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 - 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 - 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 - 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or

10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
 2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
 3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
 4. Assessed value of the property according to the two (2) most recent assessments;
 5. Real estate taxes of the previous two (2) years;
 6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
 7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – HISTORICAL SIGNIFICANCE

After reviewing the subject one-story garage against the applicable standards for review, Staff has determined that the structure holds no historic value to the property, district, or the City. Despite this, the structure appears to have been built at least fifty (50) years ago and therefore requires approval for removal. The simple board and batten cladding and construction are similar to many other accessory structures throughout the district and the City as a whole. Its visual appearance and rear location is not significant enough to be considered an important structure to the neighborhood. The proposed demolition will have no adverse impact on the area and is being conducted to make way for new construction. Therefore, Staff does not recommend the garage be found historically significant.

Recommended Motion:

Motion to find the 2-car garage in the rear of 912 South 4th Street to be historically significant. (Staff believes the garage is not historically significant and should be allowed to be removed.)



Figure 2: Subject structure seen from rear alley.



Figure 3: Subject structure seen from rear yard on the property.

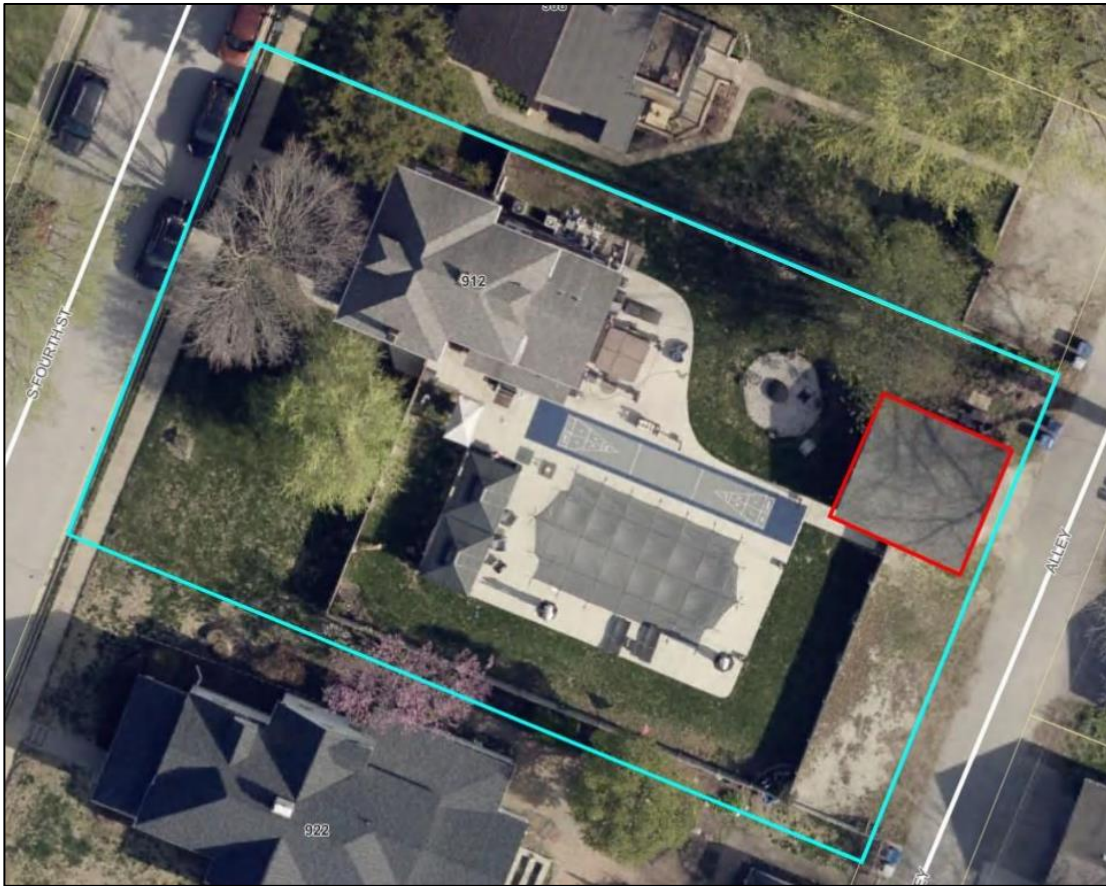


Figure 4: Subject structure seen on property outlined in red.



Figure 5: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____ 912 S. 4th St.

BUSINESS NAME (if applicable): _____

APPLICANT: Mike Petrosino

(Name)

912 S. 4th St.. St. Charles, MO 63301

(Address)

612-810-1991 mikepetrosino@yahoo.com

(Phone & Email Address)

PROPERTY OWNER: same

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____ unknown

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

1 story detached two car garage in rear yard of home

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: detached garage

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Demolish the existing 2 car detached garage in the rear yard of the home.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.


A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescivmo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 2.23.26

Signature of the property owner:  Date: 2.23.26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00



602 N. Benton Ave.
St. Charles, MO 63301

Project Name: **Historical/Architectural Report – Existing Garage**

Project Location: 912 S. 4th St.
St. Charles, MO 63301

February 23, 2026

The subject of this report is an accessory building located at the rear of the property at 912 South 4th Street in St. Charles, Missouri. The Owner of the property is seeking approval from the City of St. Charles to demolish the accessory building only; the primary building on the site will remain as is. This report is part of an application to the Historic Landmarks Preservation and Architectural Review Board to determine the historic significance of the structure that is proposed to be demolished.

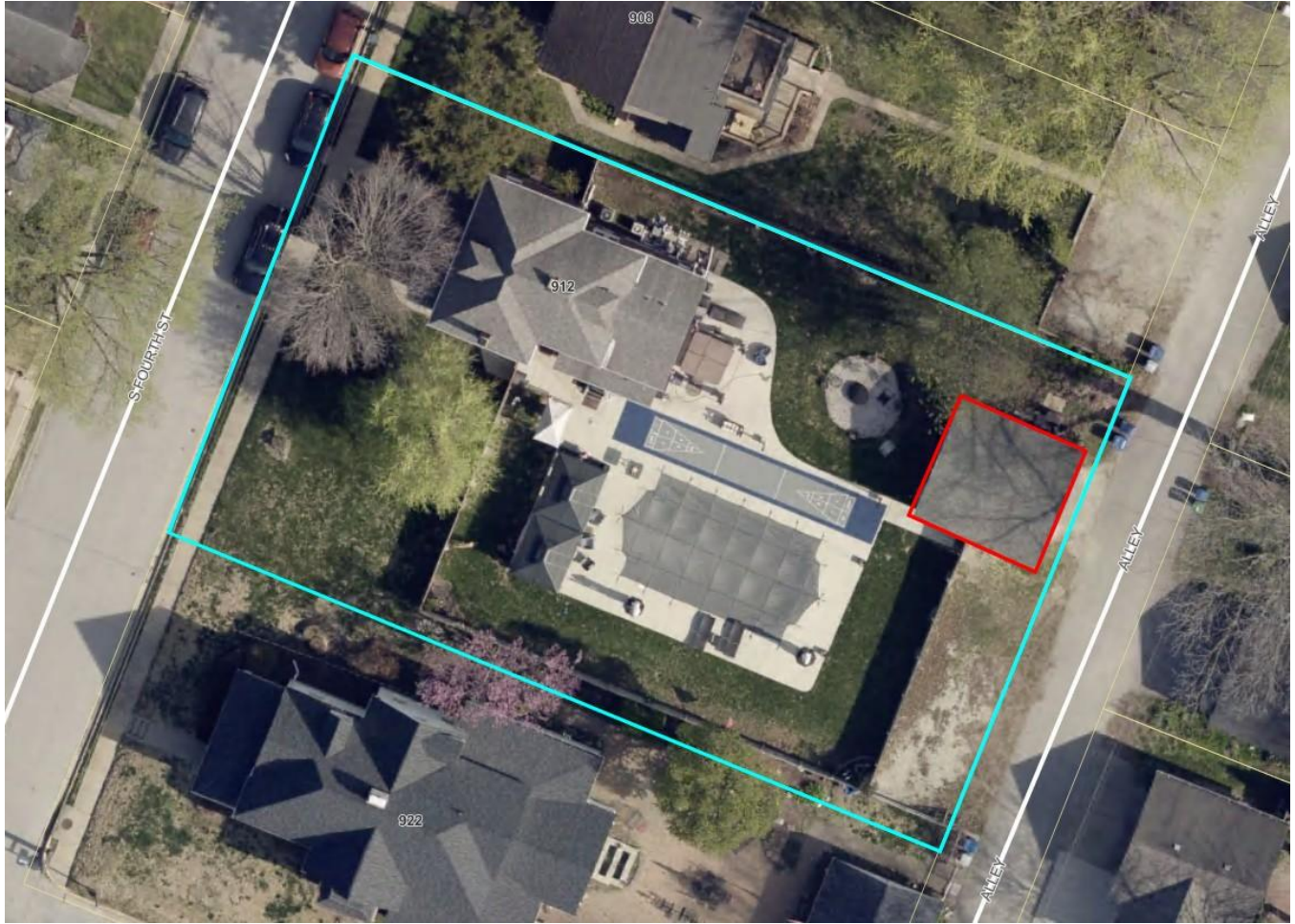
Building Information

The property at 912 S. 4th St. is located within the Extended Historic Preservation District. The Extended Historic Preservation District is a locally designated historic district only. Unlike other historic districts in St. Charles, such as the St. Charles Historic District (which encompasses historic Main Street) or the Frenchtown Historic District, the Extended Historic Preservation District is not listed on the National Register of Historic Places as a district. The property at 912 S. 4th St. is also not listed as an individual property on the National Register of Historic Places.

Property records indicate that the primary building was built in 1910. However, this block of South 4th Street was surveyed in maps published by the Sanborn Map Company in December of 1909 and the primary structure is shown on that map. There was no accessory building shown for the property at that time. The map published in May 1917 does indicate an accessory structure on the property and identifies it as wood framed construction of two stories. It is located approximately in the middle of the rear yard along the alley. The map key also indicates that the accessory building on this lot is a stable.

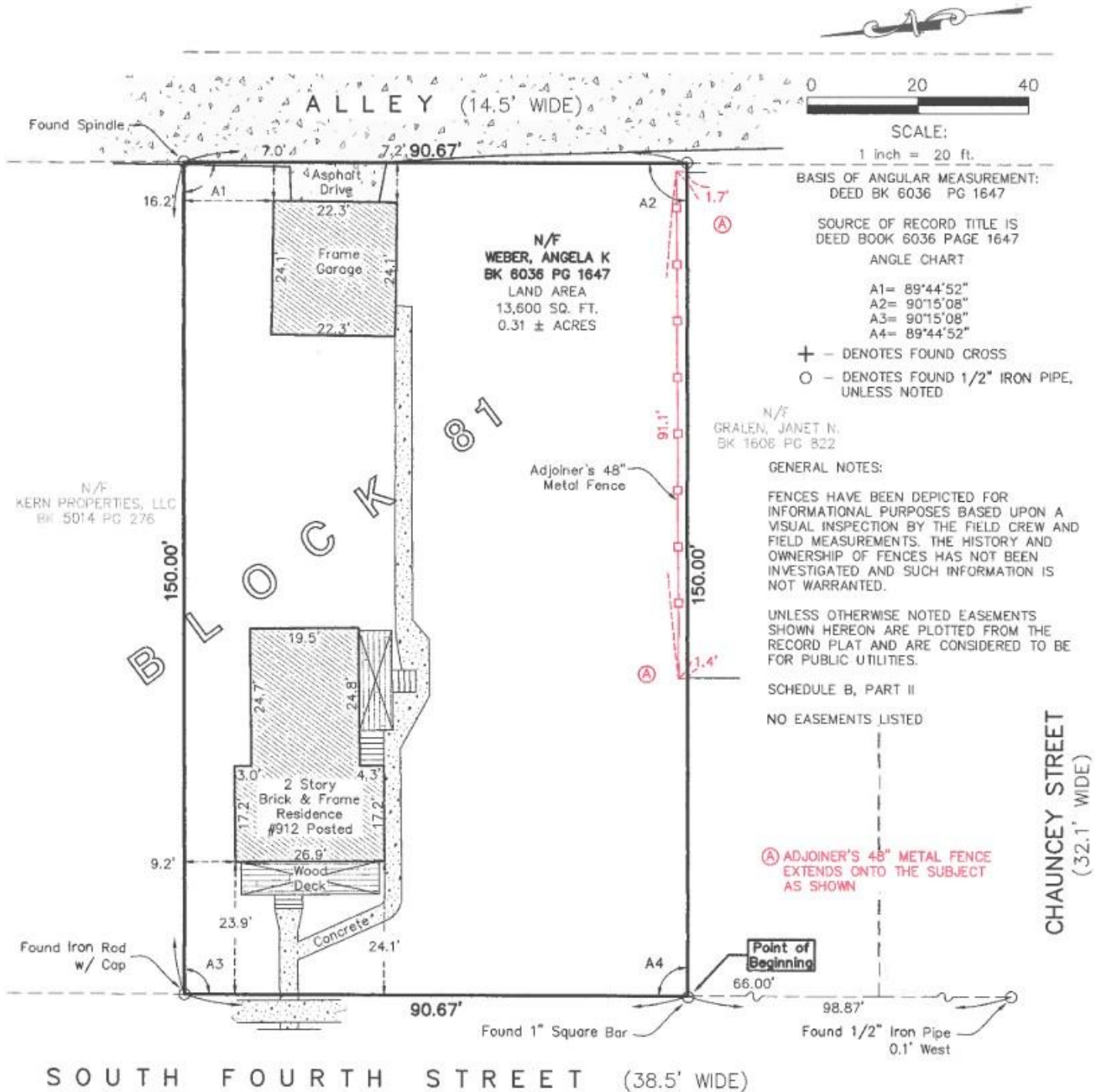
The existing accessory building is approximately 22' x 24' in size and is located close to the north east corner of the rear lot. It is a one-story wood framed structure constructed over a concrete slab on grade. Due to these features, it is indicative that the current accessory building on the site was not the original indicated on the 1917 Sanborn Map. The current structure is clad with wood board & batten style siding. The roof is a gable roof style with asphalt shingles. The structure has an overhead embossed metal garage door that faces the alley (east). Visual appearance of the structure is the only evidence that it was most likely constructed prior to 1975 and is greater than 50 years old.

The use of the primary building on the site is a single-family residence. The accessory building is currently used as a garage and storage building.

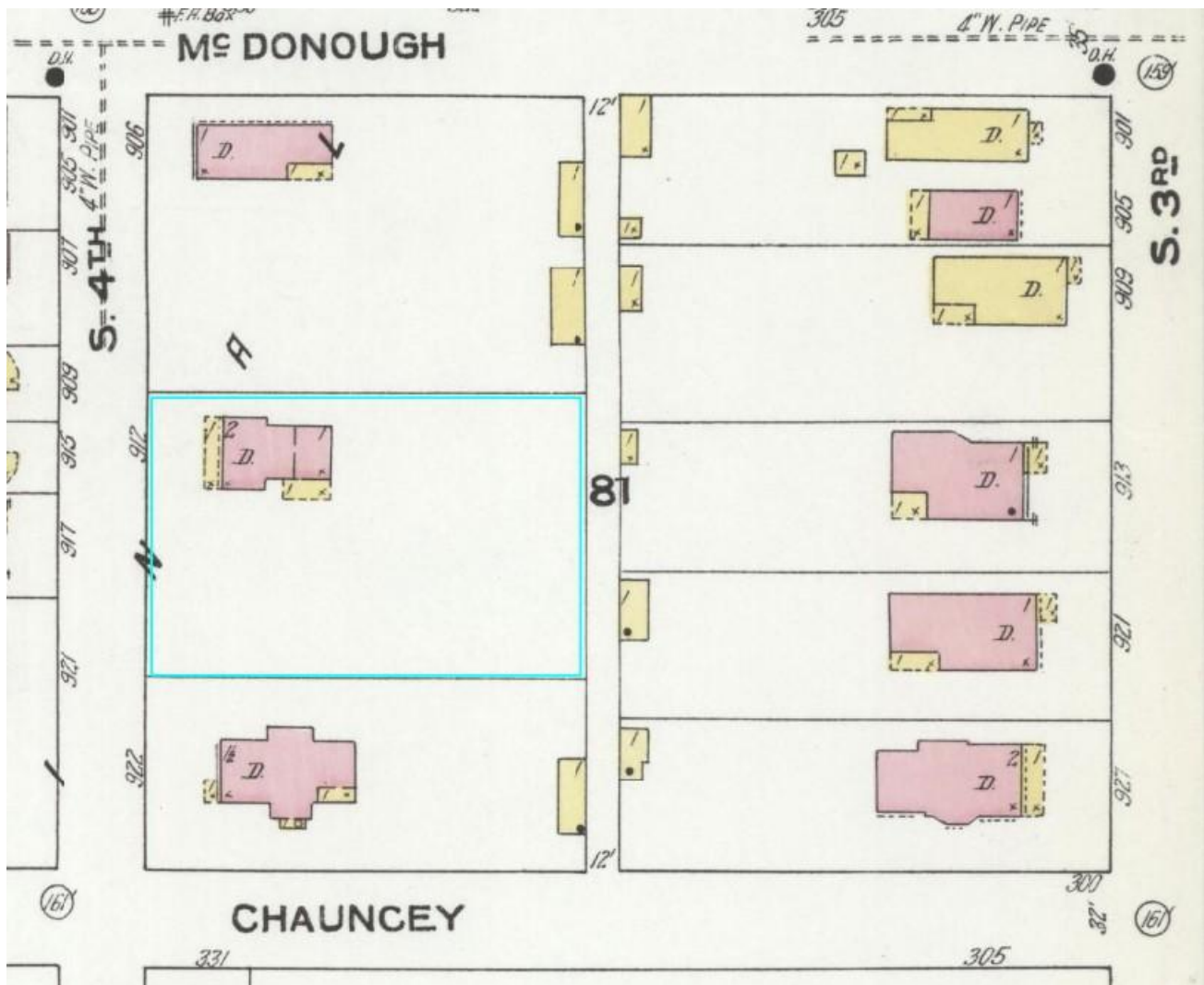


Current Aerial Map, City of St. Charles GIS Mapping service with aerial image 2024
Subject property outlined in blue, garage outlined in red

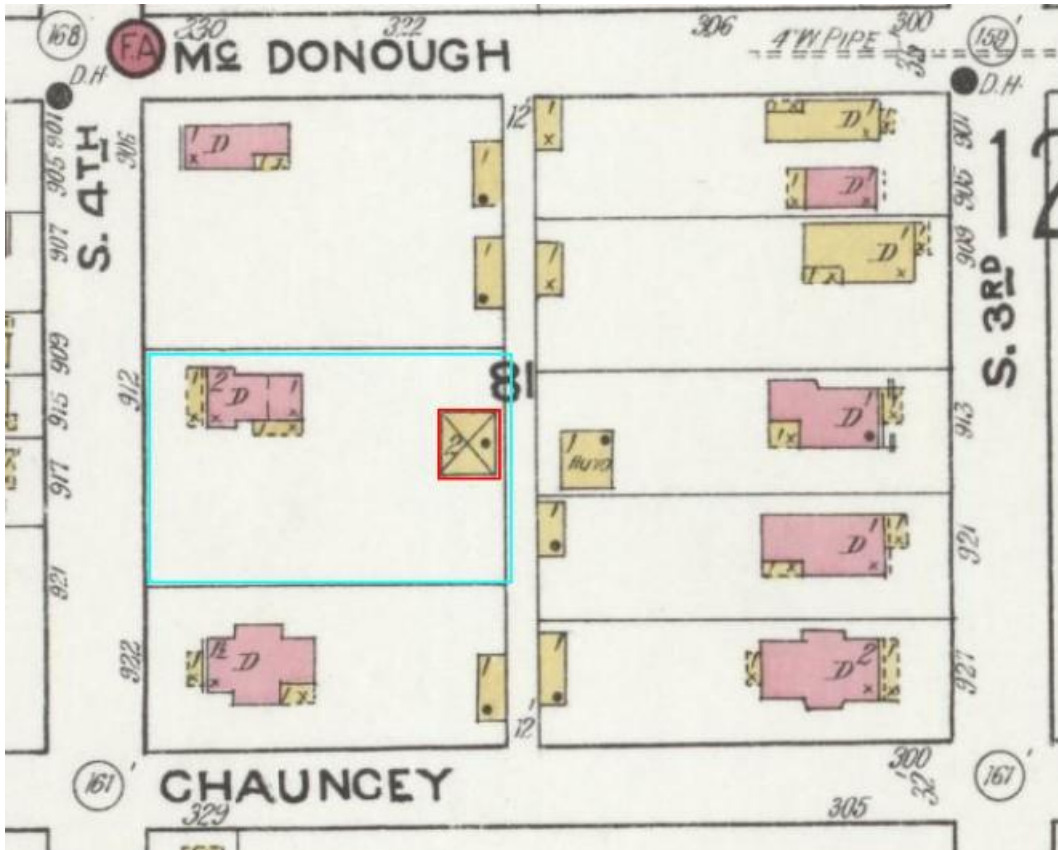
BOUNDARY RESURVEY AND LOCATION OF IMPROVEMENTS AND EASEMENTS
PART OF BLOCK 81 IN THE CITY OF ST. CHARLES
 ST. CHARLES COUNTY, MISSOURI



Current Property Survey, dated June 24, 2019
 Produced by Marler Surveying Company, Inc.



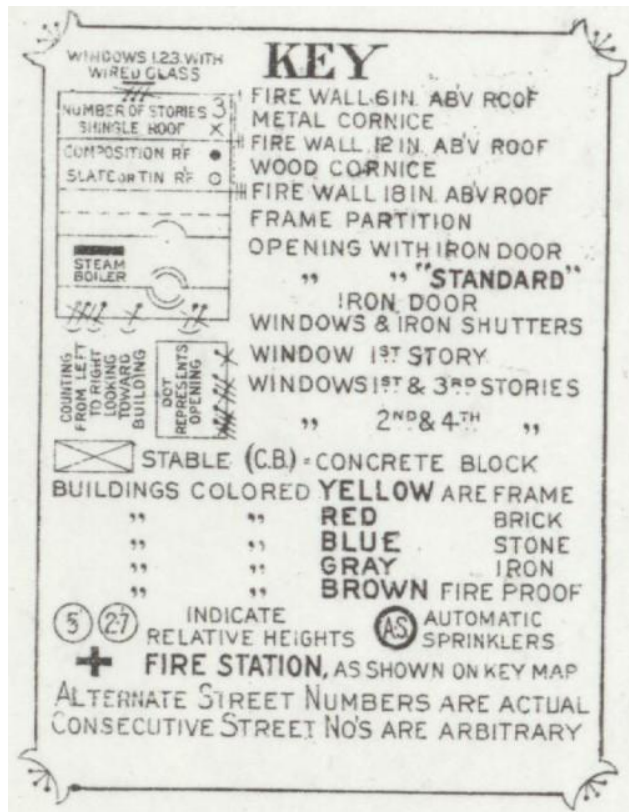
Sanborn Map, published Dec. 1909
Property outlined in blue, no outbuilding indicated



Sanborn Map, May 1917

Property outlined in blue, outbuilding outlined in red.

Map key indicates wood framed construction, 2 story, & use as a stable (see below).



1917 Sanborn Map key



Existing Photo, Feb. 2026 - Garage View from Alley



Existing Photo, Feb. 2026 – Garage View from rear yard

Historic Criteria Review

As part of an application for demolition, any structure located within a Historic District that is greater than 50 years of age requires a report analyzing the historical/architectural significance of the property. The standards for review are as outlined per City of St. Charles Ordinance 400.1280(F).

Standards for Review:

- 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country.** The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District “to establish a criteria of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare.” The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district due to the fact that evidence exists that it was not original to the property. As a garage building, it does not appear to contribute any particular character or interest to the heritage or cultural aspect of the community, County, State or country. It’s existence as a garage is one of hundreds of garages also located within the Extended Historic Preservation District and in the community as a whole.
- 2. Its location as a site of a significant local, County, State or national event.** There is no documentation that this location is or has been associated with any significant local, County, State or national event.
- 3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country.** The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.
- 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.** The current structure is utilitarian in construction. It is a one-story wood framed structure constructed over a concrete slab on grade. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction.
- 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country.** The architect or builder of the current building is unknown.
- 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant. It is clad in board & batten siding which is common for outbuildings.
- 7. Its embodiment of design elements that make it structurally or architecturally innovative.** The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative. It is clad in board & batten siding which is common for outbuildings.
- 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City.** The structure is located at the rear of the property and is not visible from South 4th Street due to its location on the site behind the primary structure and the 6’ tall privacy fence around the property. It can be seen from the alley. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district.
- 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings;**

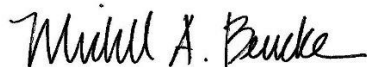
institutional offices; or other commercial structures with a high level of integrity or architectural significance. The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it architecturally significant.

10. The fact that it has yielded, or may be likely to yield, information important in history. The building was constructed as a garage, storage building, or shed. It has not and is not likely to yield any information important to history.

Summary

This report does not find the current garage building located at 912 S. 4th St. to be a significant architectural or historical resource. There is no construction date associated with the current garage structure on the site and although it is likely that the structure is greater than 50 years in age, age alone does not make a structure historically significant. While the home is located within the locally designated Extended Historic Preservation District, if the area were ever to be surveyed to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district. It is not the original two-story stable building that was constructed sometime between 1909 and 1917. This building provides no distinct features, elements of craftsmanship, or architectural innovation, nor is it associated with any person or event of significance to the area. The demolition of this building does not compromise any current historical status of a district nor would it likely have any impact on a future survey to establish a new district in the area.

Respectfully submitted:

A handwritten signature in black ink that reads "Micki A. Beucke". The signature is written in a cursive, flowing style.

Micki Beucke
Little Hills Architecture, LLC



AGENDA ITEM #6J

STAFF REPORT
CONSTRUCT NEW GARAGE
912 SOUTH 4TH STREET
CASE NO. SP-2026-7

BY TAYLOR MOORE

APPLICANT: Mike Petrosino
912 South Fourth Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 912 South Fourth Street

ZONING: CRD-2—Central Residential District 2
EHD—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is 912 South Fourth Street which is a two-and-one-half story, brick, Colonial Revival style house that was built in 1910. The applicant is requesting approval to construct a new 1½ story wood framed detached garage in the rear of the property. The proposal includes the removal of the existing framed garage and constructing the new garage in a similar location in the rear yard. Accompanying this application is a site plan, renderings, elevations, and photographs of the existing property.

Garage Elevations

The **west elevation** faces the rear of the house and the pool. This elevation features a side gabled roof form and two front-facing shed dormers. The exterior is clad in white horizontal lap siding, with trim and material sections noted to match or complement the existing house. The roof is finished with asphalt shingles to coordinate with the primary structure. Fenestration on this elevation includes two symmetrically placed windows and a large overhead glass garage door. Overall, the composition, materials, and detailing of this elevation are cohesive with the primary residence.



Figure 1: Proposed west elevation.

The **south elevation** is a simple side elevation characterized by a gable end and the sides of the shed dormers. The elevation is clad with white horizontal lap siding with a single window centered with the upper story beneath the gable. The siding, trim, and roofing materials are consistent with those used on the west elevation, ensuring continuity on all sides of the structure.

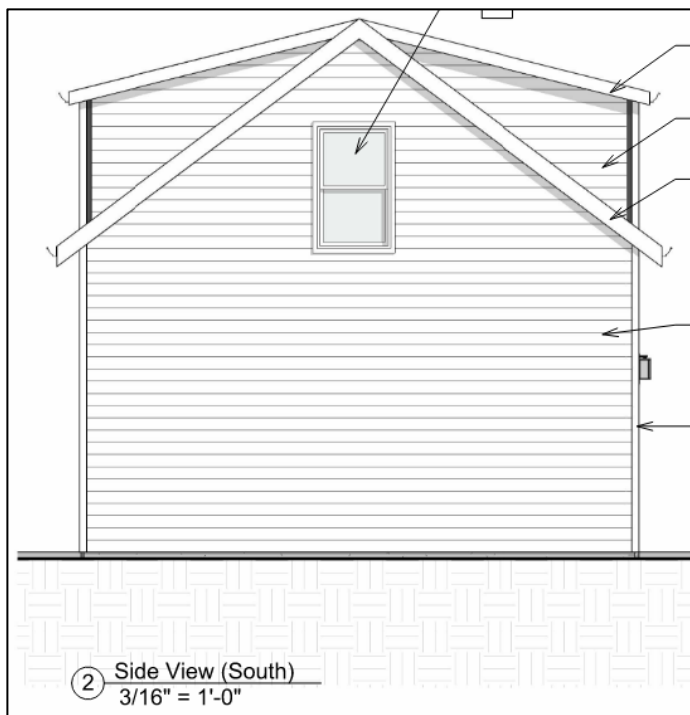


Figure 2: Proposed south elevation.

The **east elevation** (alley-facing) serves as the primary vehicular access point and is the most functionally driven façade of the structure. It features two overhead garage doors (one 2-car, one 1-car) with glazed panels, which provide both access and additional visual interest. The doors are evenly spaced, and exterior wall sconces are mounted between the openings for both safety and architectural detailing. Above the side-gabled roof are two shed dormers that align with those on the opposite elevation, helping to break up the roof mass and maintain consistency in design. The structure is clad in the same white horizontal lap siding and features the same detailing as the other elevations.



Figure 3: Proposed east elevation.

Lastly, the **north elevation**, another side elevation, presents a simple gable-end façade. The wall is clad in the white horizontal lap siding consistent with all elevations, and the gable wall features a single, small window centered on the elevation. At the ground level, a pedestrian access door is centrally located, accompanied by a small exterior light fixture. The door and window openings are trimmed to match the overall structure. Overall, this elevation remains simple much like the south elevation, ensuring subordinate in character while still architecturally compatible with the primary structure.

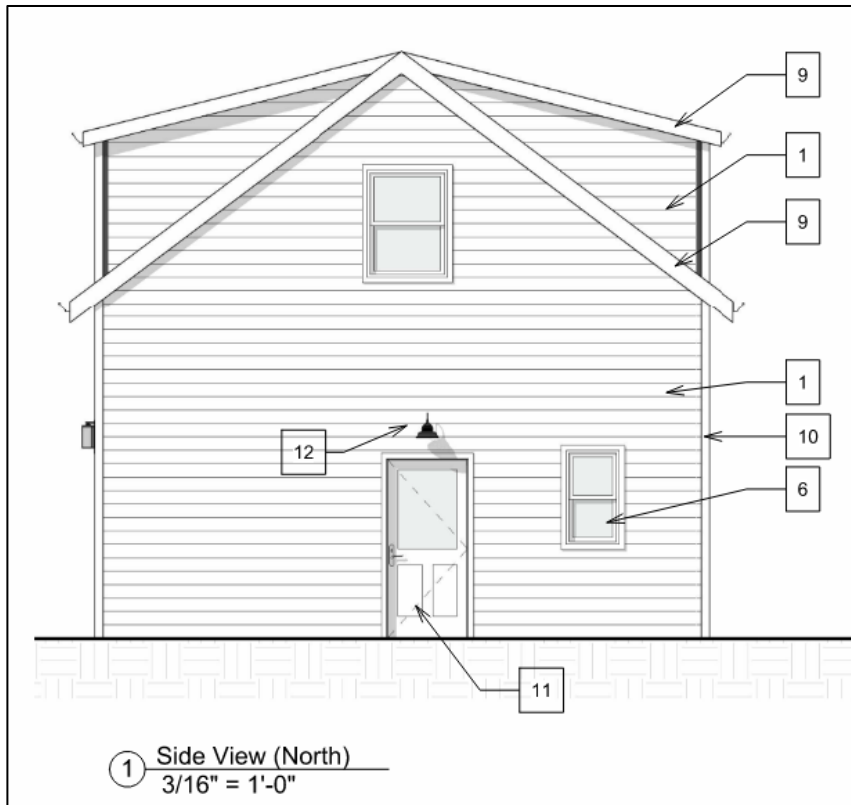


Figure 4: Proposed north elevation.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: "EHP" EXTENDED HISTORIC PRESERVATION DISTRICT

A. *Purposes.* The purposes of the "EHP" Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses of land.

C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.

- (3) Materials shall be of durable quality.
 - d. Building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationships to one another.
 - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code;
 - b. Logic of design;
 - c. Exterior space utilization;
 - d. Architectural character;
 - e. Attractiveness;
 - f. Material selection;
 - g. Harmony and compatibility.

STAFF RECOMMENDATION

The design of the proposed garage is consistent with the applicable guidelines and standards for accessory structures within the district. The scale and massing of the structure are appropriate for an accessory building, and the incorporation of dormers, varied fenestration, and other detailing helps break up the overall form to reduce the visualization. The exterior materials, including lap siding, asphalt shingle roofing, trim, and gutters are to match and complement the primary structure, creating a cohesive relationship between the buildings on the property.

The new garage is to be placed where an existing gravel parking area is. The gravel will be removed during the construction for this project, and the concrete or asphalt will be added for the 9' of area between the alley and the new garage's setback. Additionally, dwelling spaces are not permitted within accessory structures, meaning the loft area of this structure cannot be utilized for additional living space. Due to the new garage being slightly offset from the existing garage's location, a fence matching the existing will enclose the rear portion of the yard that would otherwise be open to the alleyway.

Each elevation of the garage has been designed with consideration of its visibility and role, with visible facades being more detailed and simpler finished on the side elevations. The garage complies with all setbacks for accessory structures in the district. Overall, the design is simple and utilitarian, while also providing visual details compliant with the district guidelines. Therefore, Staff recommends approval of the new garage construction, subject to the following conditions:

1. The gravel parking area shall be removed with the construction of the new garage.
2. The upper story of the garage shall not be utilized as a dwelling space.

Recommended Motion:

Motion to approve the construction of a new 1½ story garage in the rear of 912 South Fourth Street, subject to the conditions recommended by Staff.



Figure 5: 912 South 4th Street seen from the road.



Figure 6: Renderings of proposed garage.

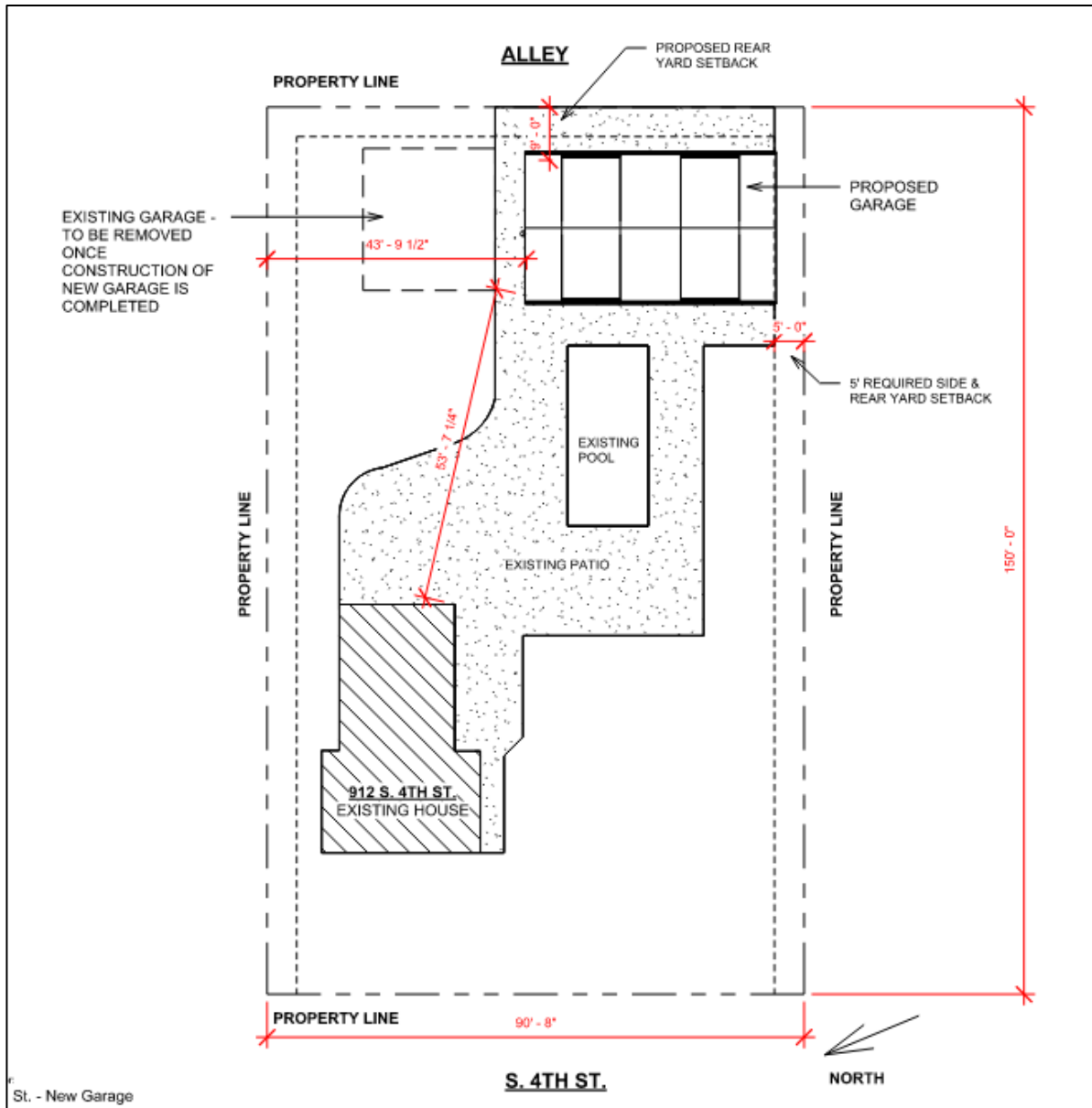


Figure 7: Site plan for proposed new garage.



Figure 8: Subject structures location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 912 S. 4th St. _____

BUSINESS NAME (if applicable): _____

APPLICANT: Mike Petrosino

(Name)

912 S. 4th St., St. Charles, MO 63301

(Address)

612-810-1991 mikepetrosino@yahoo.com

(Phone & Email Address)

PROPERTY OWNER: same

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1910 _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

2 1/2 story masonry house w/ 1 story detached wood framed garage in rear yard.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: 1 1/2 story wood framed detached garage

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Construct a new 1 1/2 story wood framed detached garage in the rear yard of the home. Garage to be clad in white vinyl lap siding with white trim. Access to the garage will be from the alley at the rear. Alley elevation to feature 2 garage doors; one single and one double car sized. There will be two dormers that face the alley with triple casement/fixed/casement windows (white vinyl or composite) with a 2/2 grill pattern. The rear yard elevation will have a double glass garage door and 1/1 double hung windows (white vinyl or composite). It will also have two dormers that match the alley. The first level of the garage will have 3 car spaces and a pool bath. The upper level will be a loft space. The owner acknowledges that no dwelling space is permitted above a detached garage.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 2,23,26

Signature of the property owner: 

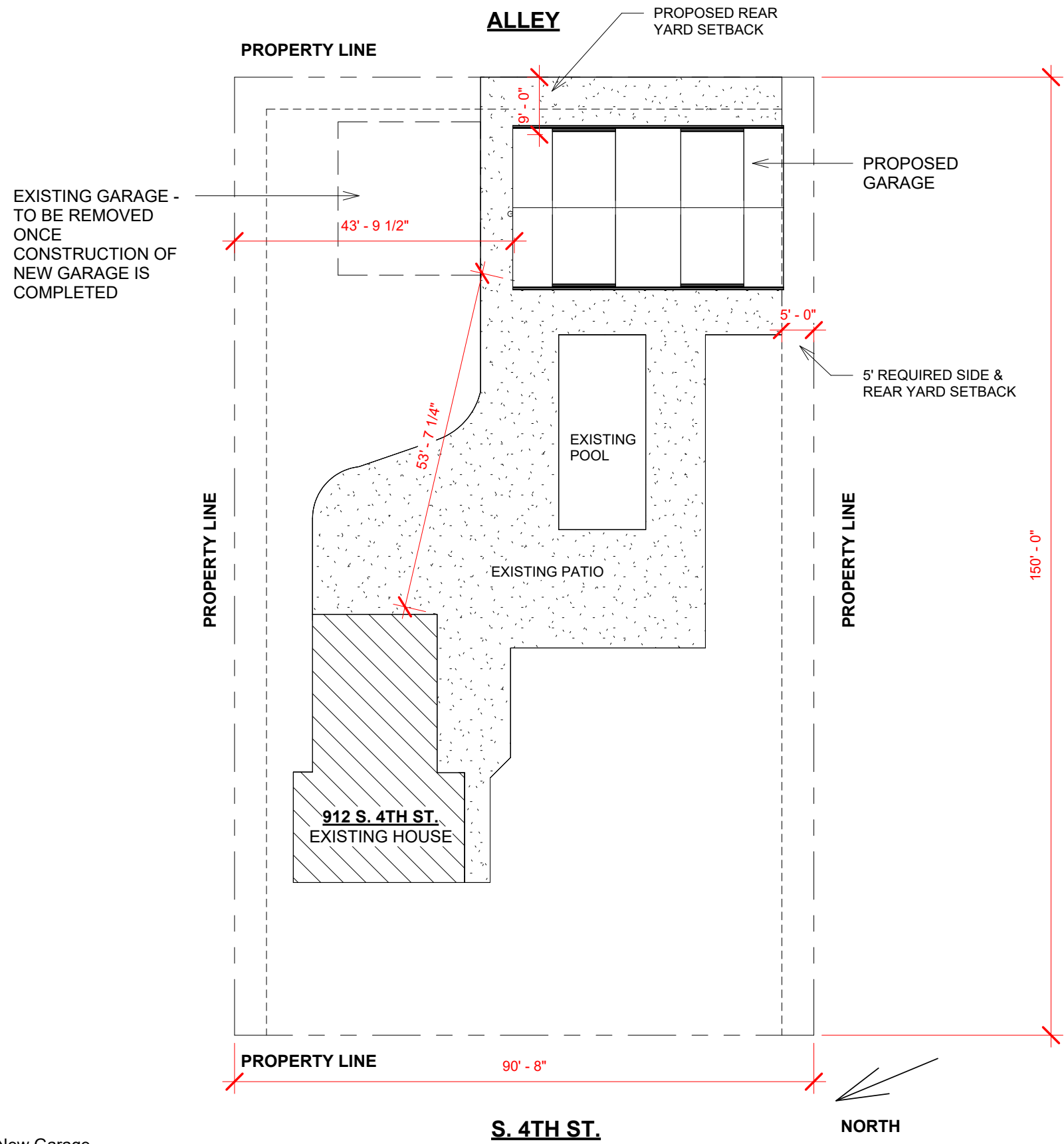
Date: 2,23,26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions: \$50.00

Site Plan (separate application required): \$200.00



PROJECT SUMMARY:
 EXISTING 2 1/2 STORY HOME CONSTRUCTED IN 1910 LOCATED IN THE EXTENDED HISTORIC PRESERVATION DISTRICT. HOME HAS AND EXISTING DETACHED GARAGE IN REAR YARD.

SCOPE OF WORK:
 CONSTRUCT NEW 3 CAR GARAGE IN REAR YARD WITH ACCESS FROM ALLEY. GARAGE TO BE CLAD IN VINYL LAP SIDING WITH ASPHALT SHINGLE ROOF TO MATCH EXISTING. POOL BATH ON GROUND LEVEL OF GARAGE; BONUS ROOM ON UPPER LEVEL. WILL NOT BE USED FOR DWELLING SPACE PER CITY ORDINANCE.
 EXISTING DETACHED GARAGE WILL BE DEMOLISHED ONCE NEW CONSTRUCTION IS COMPLETED.

ZONING REQUIREMENTS
 ZONED CRD-2
 DETACHED GARAGE REQUIREMENTS:
 MIN. SETBACKS FROM SIDE OR REAR LOT LINES = 5'
 PROPOSED = SIDE 5' & 43'-9 1/2"; REAR 9'-0"

MIN. SETBACK FROM PRIMARY STRUCTURE = 10'
 PROPOSED = 53'7"

MAX. HEIGHT SHALL NOT EXCEED PRINCIPAL BUILDING HEIGHT
 EXISTING PRINCIPAL BUILDING HEIGHT = 27'
 PROPOSED GARAGE HEIGHT = 17'

MAX. SIZE SHALL NOT BE EQUAL TO OR GREATER THAN BASE AREA OF PRINCIPAL BUILDING
 PRINCIPAL BUILDING = 945 SF
 PROPOSED GARAGE = 944 SF

MAX. LOT COVERAGE PRINCIPAL BUILDING & ALL ACCESSORY STRUCTURES = 40%
 PROPOSED = 1,889/13,600 SF = 14%

Renovations for:
 912 S. 4th St. - New Garage

Project number 25-117

little hills architecture

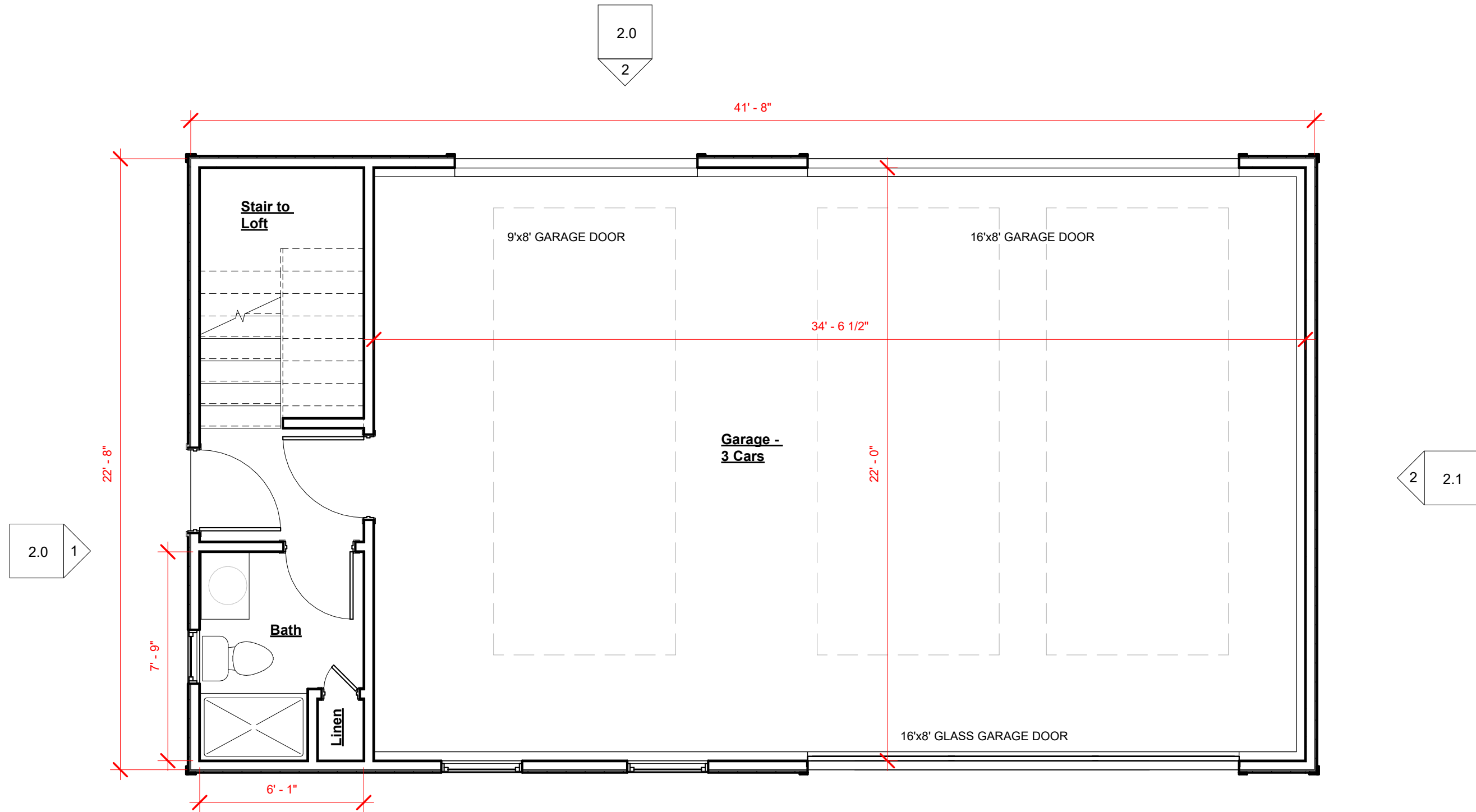
S. 4TH ST.

NORTH

1 Proposed Site Plan
 1" = 20'-0"

DESIGN REVIEW - NOT FOR CONSTRUCTION

Proposed Site Plan	Sheet	0.0
Date	2/20/2026	
Landmarks Submittal		



① Ground Level Plan
1/4" = 1'-0"

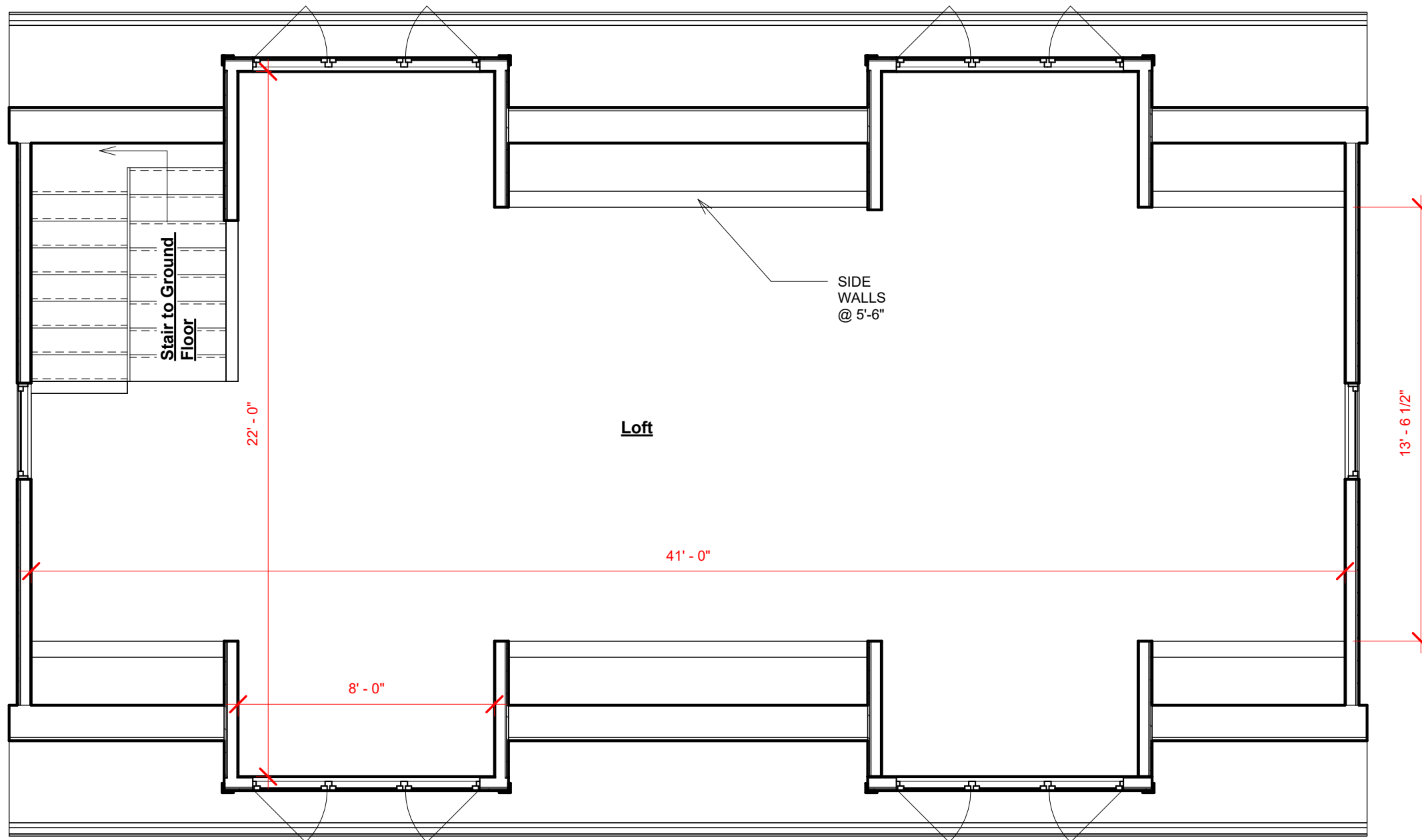
Renovations for:
912 S. 4th St. - New Garage

Project number 25-117

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

Plans	Sheet	1.0
Date	2/20/2026	
Landmarks Submittal		



① Upper Level Plan
 1/4" = 1'-0"

Renovations for:
 912 S. 4th St. - New Garage

Project number 25-117

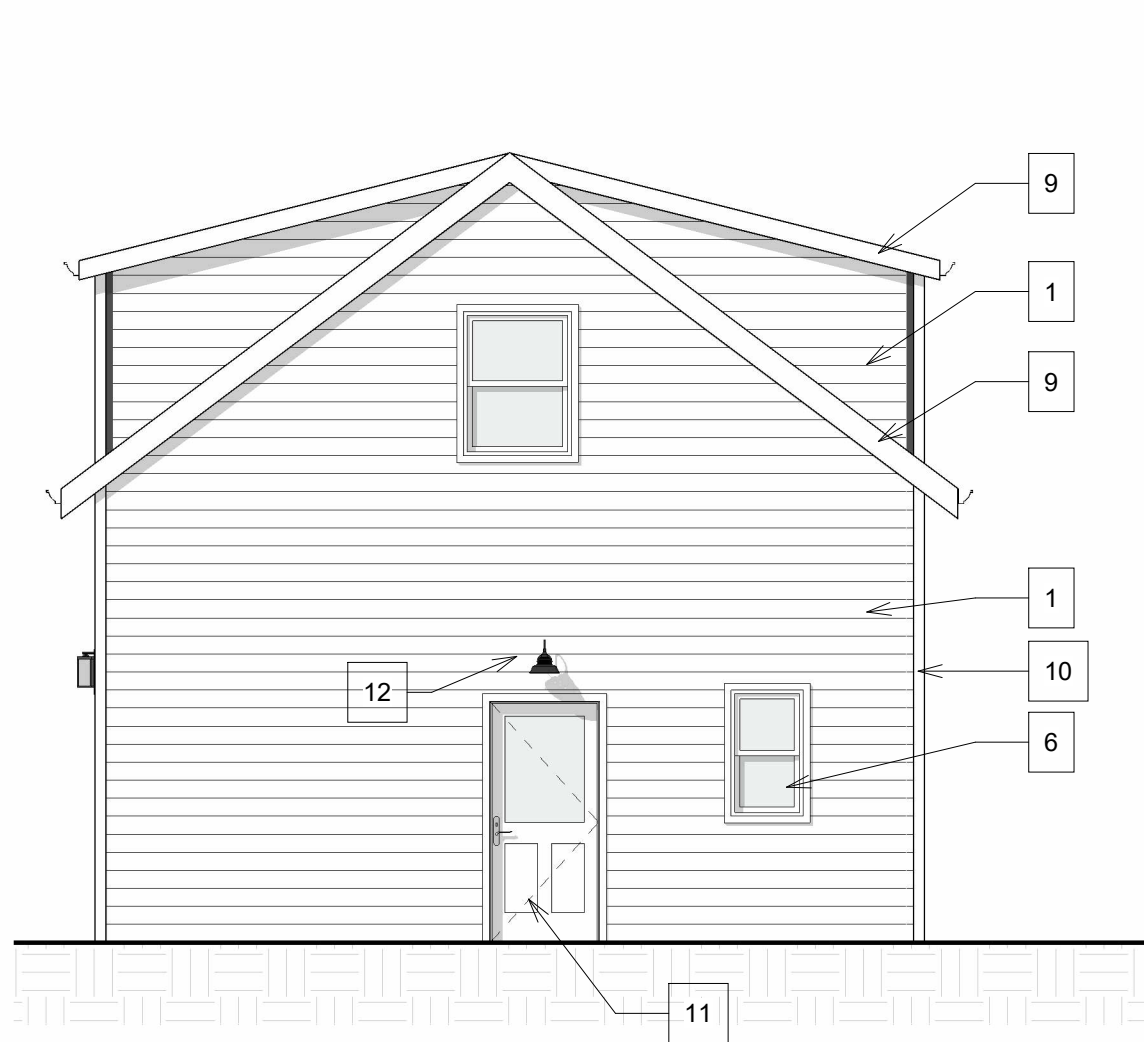
little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

Loft Plan	Sheet	1.1
Date	2/20/2026	
Landmarks Submittal		

ELEVATION KEYED NOTES

1. VINYL LAP SIDING, COLOR: WHITE
2. ASPHALT SHINGLE ROOF, MATCH EXISTING HOUSE COLOR/STYLE
3. GLASS OVERHEAD GARAGE DOOR
4. EMOBSED METAL GARAGE DOOR
5. EXTERIOR SWING DOOR, HALF LIGHT
6. VINYL OR COMPOSITE WINDOW. SEE PLAN FOR SIZE/TYPE
7. ALUMINUM GUTTER, COLOR: WHITE
8. DOWNSPOUT, COLOR: WHITE
9. FASCIA- ALUM. WRAPPED OR PVC- COLOR:WHITE
10. TRIM, COLOR: WHITE
11. 1/2 LIGHT SWING DOOR
12. EXTERIOR LIGHT FIXTURE AS SELECTED BY OWNER



① Side View (North)
3/16" = 1'-0"



② Alley View (East)
3/16" = 1'-0"

Renovations for:
912 S. 4th St. - New Garage

Project number 25-117

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

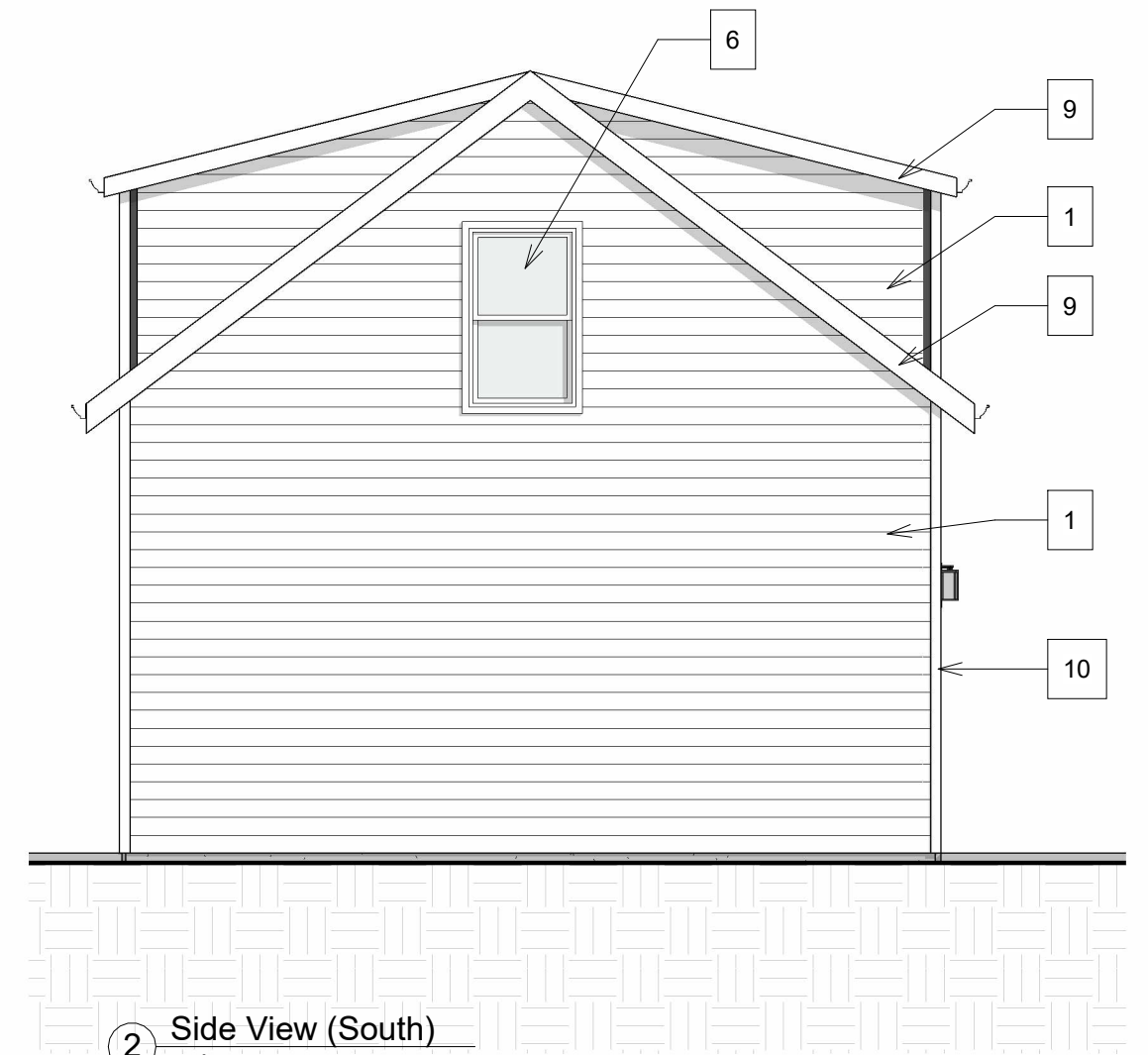
Elevations	Sheet
Date 2/20/2026	2.0
Landmarks Submittal	

ELEVATION KEYED NOTES

1. VINYL LAP SIDING, COLOR: WHITE
2. ASPHALT SHINGLE ROOF, MATCH EXISTING HOUSE COLOR/STYLE
3. GLASS OVERHEAD GARAGE DOOR
4. EMOBSSSED METAL GARAGE DOOR
5. EXTERIOR SWING DOOR, HALF LIGHT
6. VINYL OR COMPOSITE WINDOW. SEE PLAN FOR SIZE/TYPE
7. ALUMINUM GUTTER, COLOR: WHITE
8. DOWNSPOUT, COLOR: WHITE
9. FASCIA- ALUM. WRAPPED OR PVC- COLOR:WHITE
10. TRIM, COLOR: WHITE
11. 1/2 LIGHT SWING DOOR
12. EXTERIOR LIGHT FIXTURE AS SELECTED BY OWNER



① Pool View (West)
3/16" = 1'-0"



② Side View (South)
3/16" = 1'-0"

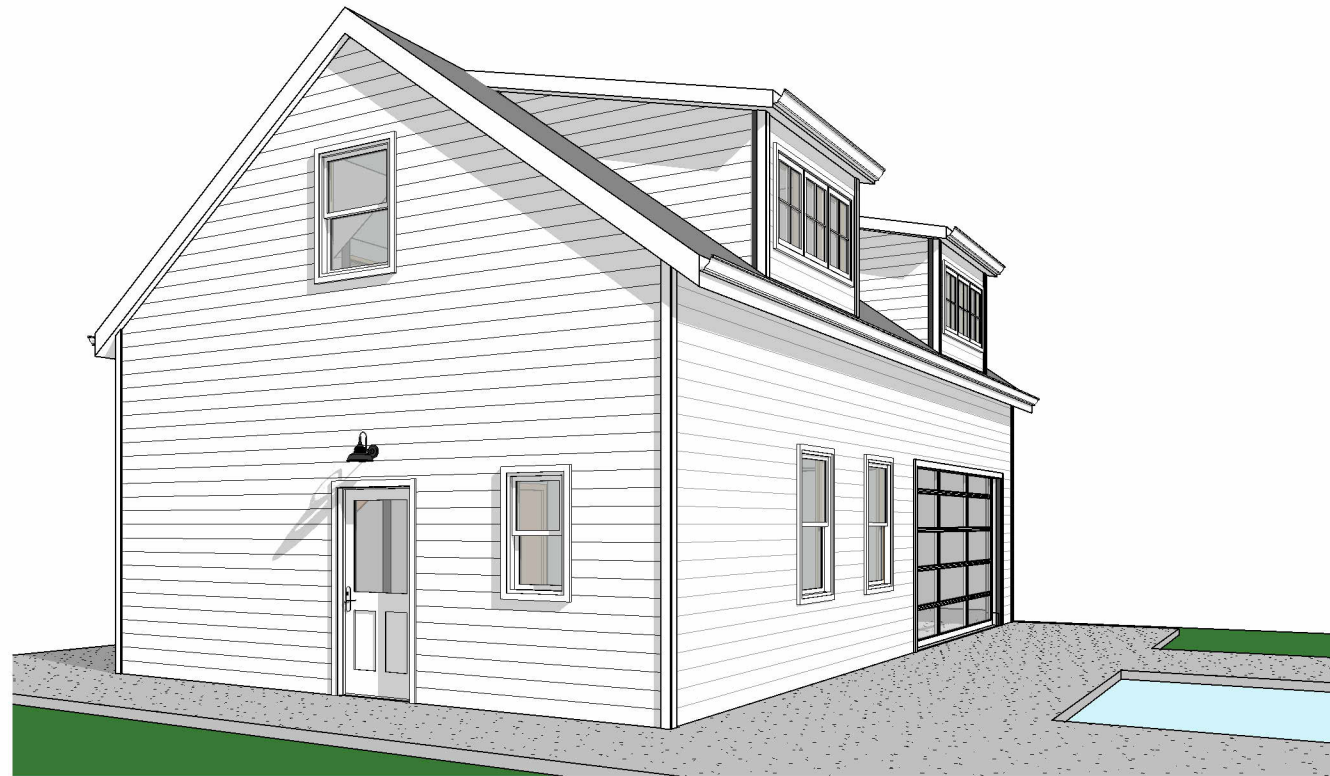
Renovations for:
912 S. 4th St. - New Garage

Project number 25-117

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

Elevations	Sheet
Date 2/20/2026	2.1
Landmarks Submittal	



① Opt. 3 - Side View



② Opt. 3 - View From Alley



③ Opt. 3 - View from Rear Yard

Renovations for:
912 S. 4th St. - New Garage

Project number 25-117

little hills architecture

DESIGN REVIEW - NOT FOR CONSTRUCTION

3D Views	Sheet
Date 2/20/2026	3.0
Landmarks Submittal	

LANDMARKS BOARD - MINUTES
February 23, 2026
City Council Chambers, Fourth Floor City Hall
200 North Second Street
St. Charles, MO 63301

MEMBERS PRESENT

Steve Martin, Chair
Jill Ryan
Michelle Beucke
Dave Settle
John Donnelly
Steve Hollander, Council Liaison

STAFF PRESENT

Taylor Moore, Preservation Planner
John Boyer, Asst. Director of CD
Zachary Tusinger, Director of CD

Absent: Tom Smith, Christi Tennyson

On Monday, February 23, 2026, at 6:00 p.m., the City of St. Charles Landmarks Board held its regular monthly meeting in the Council Chambers on the fourth floor of City Hall.

1. Call to order and call the roll.

Chairmen Steve Martin called the meeting to order at 6:00 p.m. Taylor Moore called the roll. Those in attendance are listed above.

2. The Pledge of Allegiance

3. Consent Agenda

(A) Case No. EC-2026-4 1510 West Clark Street. Donald Goette. The applicant is requesting permission to install two new decks on the side of the property [Extended Historic Preservation District, Ward 1].

(B) Case No. EC-2026-7 801 North 2nd Street. Fence & Deck Depot. The applicant is requesting permission to construct a new fence on the property [Frenchtown Preservation District, Ward 1].

Steve Hollander made a motion to approve the consent agenda. Michelle Beucke seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.

4. Removed Consent Agenda Items

5. Sign Permit Applications

(A) Sign Permit No. 2026-388 610 South Main Street. Taylor Brandenburg. The applicant is requesting permission to install a new projecting sign for the business “Dawn Tayler Bouutique” [South Main Preservation District, Ward 2]. *Taylor Brandenburg was present to speak on this item. Michelle Beucke made a motion to approve the sign permit as submitted. John Donnelly seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.*

(B) Sign Permit No. 2026-425 117 South Main Street. Tania Rakel. The applicant is requesting permission to install new signage for the business “Mod On Trend” [Historic Downtown District, Ward 1]. *No one was present to answer questions for the Board. Michelle Beucke made a motion to approve the sign permit as submitted. Jill Ryan seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.*

(C) Sign Permit No. 2026-434 215 North Main Street. Jon Pannullo. The applicant is requesting permission to install a new projecting sign for the business “Juice EJ” [Historic Downtown

District, Ward 1]. **Jon Pannulo was present to answer questions for the Board. Michelle Beucke made a motion to approve the new signage, subject that the color be changed to a more district appropriate tone. Steve Hollander seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.**

(D) Sign Permit No. 2026-696 523 South Main Street. Jennifer Cahill. The applicant is requesting permission to install a new projecting sign for the business “Sycamore Candle Company” [South Main Preservation District, Ward 2]. **Mark Aschen with the sign company was present to answer questions for the Board. Jill Ryan made a motion to approve the new projecting sign. Steve Hollander seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.**

6. Structure Review

(A) Case No. EC-2026-3 618 Monroe Street. Midtown Home Improvements. The applicant is requesting permission to replace six windows on the dwelling [Extended Historic Preservation District, Ward 2]. **Don Miller with Midtown Home Improvements was present to answer questions for the Board. Steve Hollander made a motion to approve the application. Dave Settle seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.**

(B) Case No. EC-2026-6 728 Tompkins Street. Freedom Forever Missouri, LLC. The applicant is requesting permission to install solar panels on the property [Extended Historic Preservation District, Ward 2]. **No representatives from Freedom Forever Missouri were present. Michelle Beucke made a motion to approve the application as submitted. Jill Ryan seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.**

(C) Case No. EC-2026-8 401 North Main Street. S J Hollander Architect. The applicant is requesting permission to make exterior alterations to a rear staircase [Historic Downtown District, Ward 1]. **Steve Hollander was present to answer any questions for the Board. Jill Ryan made a motion to approve the project as submitted. John Donnelly seconded the motion. Five were in favor, none were opposed, one abstained (5-0-1), the motion passed.**

(D) Case No. SP-2025-10 546 Madison Street. Tim McNamee. The applicant is requesting permission to construct a new detached garage in the rear of the property and make an exterior change to the primary structure on the property [Extended Historic Preservation District, Ward 2]. **Michelle Beucke was present to answer questions for the Board. Steve Hollander made a motion to approve the project. John Donnelly seconded the motion. Six were in favor, none were opposed, one abstained (5-0-1), the motion passed.**

(E) Case No. SP-2026-4 1303 North 3rd Street. Kevin & Christy Sichra. The applicants are requesting permission to construct a new detached garage in the rear of the property and make exterior alterations to the primary structure [Frenchtown Preservation District, Ward 1]. **Michelle Beucke was present to answer questions for the Board. Jill Ryan made a motion to approve the project. Steve Hollander seconded the motion. Six were in favor, none were opposed, one abstained (5-0-1), the motion passed.**

(F) Case No. EC-2026-9 627-629 North Main Street. JEMA Architects. The applicant is requesting permission to make several exterior alterations to Building 92 on the American Car Foundry complex [Frenchtown Preservation District, Ward 1]. **Matt Sutherland with JEMA Architects was present to answer questions for the Board. Jill Ryan made a motion to approve the project. John Donnelly seconded the motion. Six were in favor, none were opposed (6-0), the motion passed.**

7. Announcements/Reports from Officers

Michelle Beucke referenced concerns to the current demolition code and process.

8. Staff Reports

No Reports.

9. Approval of January 26, 2026, regular meeting minutes

Steve Hollander made a motion to approve the minutes, Jill Ryan seconded the motion. Five were in favor, none were opposed, one abstained (5-0-1).

10. Adjournment

Steve Hollander made a motion to adjourn. Michelle Beucke seconded the motion. All were in favor (6-0). The meeting adjourned at 6:36pm.

SECRETARY

DATE