



LANDMARKS BOARD

AGENDA FOR REGULAR MEETING

April 20, 2026

LANDMARKS BOARD:

Steve Martin, Chair
Jill Ryan, Vice Chair
Michelle Beucke
Dave Settle
John Donnelly
Christi Tennyson
Laura Shadow
Steve Hollander, Council Liaison

Mesdames and Gentlemen:

On Monday, April 20, 2026, at 6:00 p.m., the City of St. Charles Landmarks Board will hold its regular monthly meeting in the Council Chambers on the fourth floor of City Hall, 200 North Second Street, St. Charles, Missouri. The agenda for this meeting is as follows:

1. Call to order and call the roll

2. Pledge of Allegiance

3. Consent Agenda

- (A) Case No. EC-2026-22 411 South 3rd Street. Ben Gillette. The applicant is requesting permission to replace six windows on the dwelling [Extended Historic Preservation District, Ward 2].
- (B) Case No. EC-2026-24 902-904 South Main Street. Leslie Pugh. The applicant is requesting to change the siding on the structure [South Main Preservation District, Ward 2].
- (C) Case No. EC-2026-26 703 South Riverside Drive. Jodi Devonshire. The applicant is requesting permission to replace a stairway and deck on the side of the structure [South Main Preservation District, Ward 2].
- (D) Case No. SP-2026-2 1203 South Main Street. Leslie Duncan. The applicant is requesting permission to construct a new single-family dwelling on the property [Landmarks Preservation District, Ward 2].

4. Removed Consent Items

5. Sign Permit Applications

- (A) Sign Permit No. 2026-1518 337 South Main Street. Emily Schroen. The applicant is requesting permission to install a new projecting sign for the business “Main Street Books” [South Main Preservation District, Ward 2].
- (B) Sign Permit No. 2026-1721 418 Jefferson Street. Jeremy North. The applicant is requesting permission to install a new wall-mounted sign for the business “360 Estate & Tax Group” [Extended Historic Preservation District, Ward 1].

- (C) Sign Permit No. 2026-1723 424 Jefferson Street. Jeremy North. The applicant is requesting permission to install a new wall-mounted sign for the business “360 Investment & Retirement” [Extended Historic Preservation District, Ward 1].

6. Structure Review

- (A) Case No. EC-2026-21 132 North Main Street. Steve Hollander. The applicant is requesting permission to remove roof features and construct an egress walkway and staircase [Historic Downtown District, Ward 1].
- (B) Case No. EC-2026-23 553 Jefferson Street. Jesse Ray. The applicant is requesting permission to install new windows and make changes to both the front and rear porches on the dwelling [Extended Historic Preservation District, Ward 2].
- (C) Case No. SP-2026-11 317 North 6th Street. Andrew Arnold. The applicant is requesting permission to construct a new covered patio addition on the rear of the dwelling [Extended Historic Preservation District, Ward 1].
- (D) Case No. SP-2026-15 337 South Main Street. Andrew Hall. The applicant is requesting permission to install a storage shed in the rear of the property [South Main Preservation District, Ward 2].
- (E) Case No. SP-2026-5 711 South Benton Avenue. Matt Barker. The applicant is requesting approval to demolish a rear garage and rear addition on the property [Extended Historic Preservation District, Ward 2].
- (F) Case No. SP-2026-6 912 South 4th Street. Mike Petrosino. The applicant is requesting approval to demolish an existing detached garage in the rear of the property [Extended Historic Preservation District, Ward 2].
- (G) Case No. SP-2026-8 201 South 7th Street. Carl Drafall. The applicant is requesting approval to demolish the existing structures on the property [Extended Historic Preservation District, Ward 2].
- (H) Case No. SP-2026-9 209 South 7th Street. Carl Drafall. The applicant is requesting approval to demolish the existing single-family dwelling on the property [Extended Historic Preservation District, Ward 2].
- (I) Case No. SP-2026-10 210 South 7th Street. Carl Drafall. The applicant is requesting approval to demolish the existing single-family dwelling on the property [Extended Historic Preservation District, Ward 2].
- (J) Case No. SP-2026-12 664 First Capitol Drive. Carl Drafall. The applicant is requesting approval to demolish the commercial strip mall on the property [Extended Historic Preservation District, Ward 2].
- (K) Case No. SP-2026-13 700 First Capitol Drive. Carl Drafall. The applicant is requesting approval to demolish the commercial structure on the property [Extended Historic Preservation District, Ward 2].
- (L) Case No. SP-2026-14 708 First Capitol Drive. Carl Drafall. The applicant is requesting approval to demolish the existing single-family dwelling on the property [Extended Historic Preservation District, Ward 2].

7. **Announcements**
8. **Staff Reports**
9. **Approval of March 23, 2026, regular meeting minutes**
10. **Adjournment**

*The next regular meeting of the Landmarks Board is scheduled for
Monday, May 18, 2026, at 6:00pm*

*The submittal deadline for the May 18, 2026, meeting is April 20, 2026.
(May 4, 2026, for signs)*

INCLEMENT WEATHER: In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY – for the hearing impaired).

The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk's Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.

Agenda posted on 4/15/2026 @ 4pm by TRM



AGENDA ITEM #3A

**STAFF REPORT
WINDOWS
411 SOUTH 3RD STREET
CASE NO. EC-2026-22**

BY TAYLOR MOORE

APPLICANT: Ben Gillette
Window World – St. Louis
3600 Rider Trail S.
Earth City, MO 63045

OWNER: Richard Brock
411 South 3rd Street
St. Charles, MO 63301

ADDRESS/LOCATION: 411 South 3rd Street

ZONING: CRD-2—Central Residential District
EHP—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: April 20, 2026

BACKGROUND

Built circa 1920, the subject property is the 1½ -story, brick, Tudor Rival style house located at 411 South 3rd Street in the Extended Historic Preservation District. The applicant is proposing to replace six (6) of the existing wood windows on the house with vinyl units. Of the subject windows for replacement, three (3) are six over one, and three (3) are one over ones. The new windows are to match these configurations respectfully. Additional photographs of the house appear at the end of this report, and a scope of work showing the windows is attached.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
- (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
- (3) Materials shall be of durable quality.

e. Colors shall be harmonious and shall use only compatible accents.

7. Maintenance-Planning and Design Factors

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF RECOMMENDATION

The proposed new vinyl windows will be the same size, configuration and operation as the original wood. The three (3) street facing windows currently feature exterior muntins, and the three replacement windows will retain this feature. The three (3) side windows are on a non-historic addition and are currently one over one, and the new ones will be like for like. Vinyl windows have commonly been approved by the Landmarks Board in the Extended Historic Preservation District if they maintain their original appearance and size. The alterations will have no adverse effect on the dwelling, streetscape, or overall district. Therefore, Staff recommends approval as submitted.

Recommended Motion:

Motion to approve the replacement of six windows at 411 South 3rd Street, as submitted.



Figure 1: Subject structure seen from South 3rd Street.



Figure 2: Window 1 and 2 for replacement (exterior muntins).



Figure 3: Window 3 for replacement (exterior muntins).

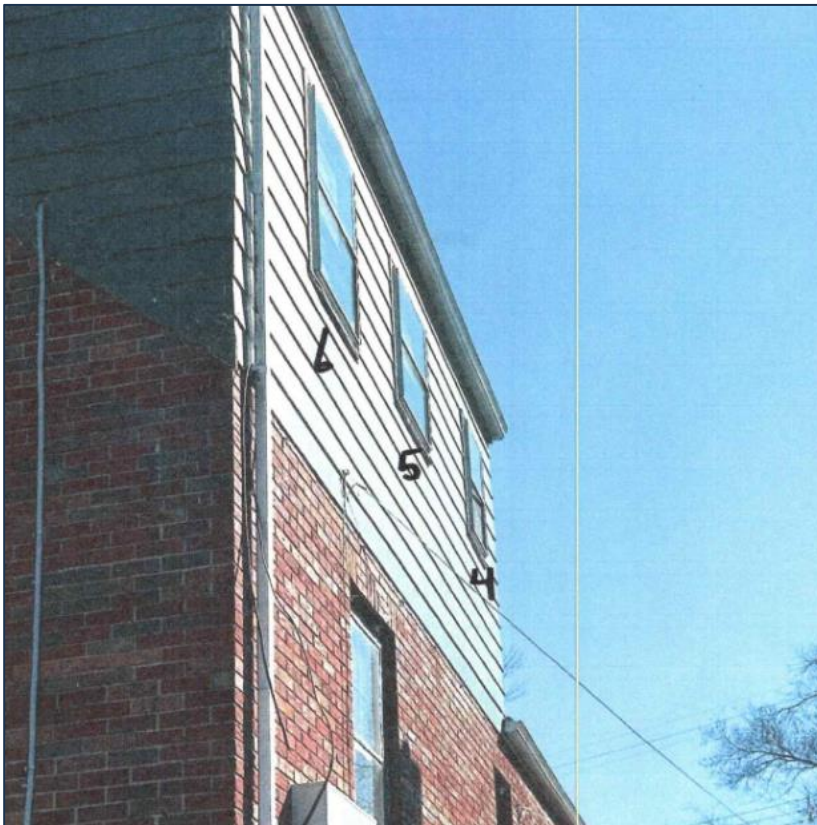


Figure 4: Windows 4 through 6 for replacement (no grids).

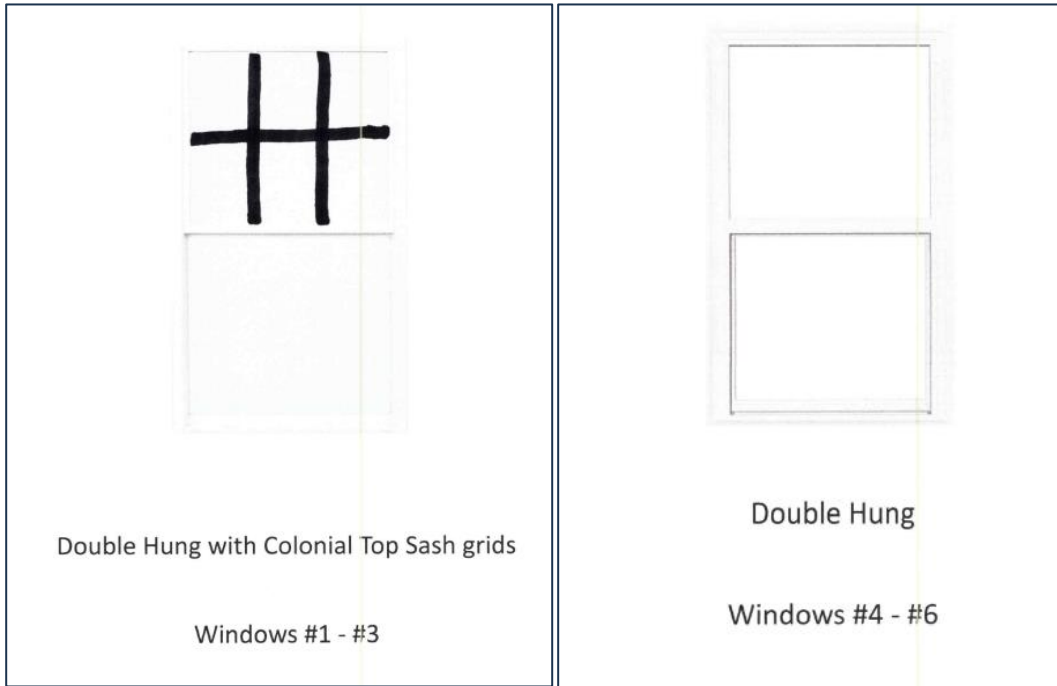


Figure 5: Proposed window examples.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 411 S Third St. St. Charles MO 63301

BUSINESS NAME (if applicable): Window World of St. Louis

APPLICANT: Window World of St. Louis, Ben Gillette
(Name)

3600 Rider Trail S Earth City MO 63045
(Address)

314-993-1800 Ben.Gillette@windowworldstl.com
(Phone & Email Address)

PROPERTY OWNER: Richard Brock
(Name)

411 S Third St. St. Charles MO 63301
(Address)

636-233-2192 rbrock64@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1920

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Brick single family home, with 2nd Floor
extension added on.

PROJECT DESCRIPTION (mark and explain each that may apply)

- Rehabilitate or restore: Replacing 6 windows
 - Construct a new structure: _____
 - Demolish or move structure: _____
 - Construct a new addition: _____
 - New sign or awning: _____
 - Site work (patio, fence, etc.): _____
 - Other (briefly explain): _____
-
-

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Replacing wooden windows with vinyl energy efficient
windows

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Bey Gilbert Date: 3-3-26

Signature of the property owner: Michael Powell Date: 3-3-26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00

St. Louis
 3600 Rider Trail South
 Earth City MO 63045
 (314) 993 1800
 Fax (314) 993-1815



Kansas City
 16501 E Truman Road
 Independence MO 64050
 (816) 799-0820
 Fax (816) 799-0827

Columbia
 2313D Industrial Dr
 Columbia MO 65202
 (573) 814-2600
 Fax (573) 814-2605

Springfield
 6200 S 2nd Street Unit B
 Springfield IL 62711
 (217) 544-0400
 Fax (217) 544-0500

Peoria
 8224 N University St
 Peoria IL 61615
 (309) 698-3910
 Fax (309) 698-3310

Lenexa
 9160 Marshall Dr
 Lenexa KS 66215
 (913) 647-0435
 Fax (913) 307-0755

Customer: Richard Brock Phone (h) (636) 233-2192

Install Address 411 S Third St. St. Charles MO 63301 Phone (w) _____

Bill Address _____ E-mail _____

Property Type: Owner Occupied Vacant Rental/Tenant Occupied

WINDOW WORLD WINDOWS		WINDOW FEATURES	
<u>6</u> 4000 Series DH All-Weld	\$439 <u>2,634</u>	<u>6</u> SolarZone™ 3F ThermD	\$169 <u>1,014</u>
2 Lite Slider Size _____	\$ _____	SolarZone™ Quattro ThermD	\$169 _____
2 Lite Slider Size _____	\$ _____	SolarZone™ Elite	\$149 _____
3 Lite Slider _____	\$990 _____	SolarZone™ FriME TG2	\$379 _____
Picture Size _____	\$ _____	1/2 Screens	\$29 Included
Picture Size _____	\$ _____	Foam Insulation on Jambs and Head	\$29 Included
Awning	\$539 _____	Double Strength Glass	\$29 Included
Casement	\$639 _____	Double Locks (> 27")	\$19 Included
Basement Hopper	\$369 _____	Full Screens	\$49 _____
Bay Window	\$ _____	<u>(3)</u> Colonial Grids (Contoured/Flat)	\$79 <u>(7)</u>
Bow Window	\$ _____	Prairie/Perimeter Grids	\$89 _____
Garden Window	\$ _____	Diamond Grids	\$109 _____
Specialty Window _____	\$ _____	Specialty Grid _____	\$ _____
Beige Classic Clay	\$59 _____	<u>2</u> Tempered DH Sash (BSO) (TSO)	\$75 <u>150</u>
Wood Grain Interior	\$ _____	Obscure Glass (BSO) (TSO)	\$35 _____
Exterior Paint (includes full screen)	\$ _____	Oriel Style	\$39 _____
Exterior Paint + Wood Grain Combination	\$50 _____	Foam Enhanced Frame	\$50 _____
Window Color <u>white</u> <u>white</u>			
Inside Outside			

DOORS		MISCELLANEOUS	
Sliding Patio Door 5' 3" / 5' / French	\$ _____	<u>6</u> Custom Exterior Trim (includes installation)	\$239 <u>1,434</u>
Sliding Patio Door 6' 3" / 5" / French	\$ _____	Exterior Trim Style/Color _____	
Sliding Patio Door 8' 3" / 5" / French	\$ _____	Shutters (pair)	\$125 _____
Sliding Patio Door 9' 3" / 5" / French	\$ _____	Shutter Color _____	
Sliding Patio Door 12' 3" / 5" / French	\$ _____	Build in Opening	\$ _____
Finished Interior Handle	\$75 _____	Interior Cap	\$25 _____
Custom Patio Door	\$ _____	Interior Casing	\$75 _____
Grids Patio Door	\$ _____	Repair Sill or Jamb	\$75 _____
SolarZone™ Plus SF	\$ _____	Mullion Removal (Quarter Round Trim/Quick)	\$70 _____
Patio Door SolarZone™ Elite	\$ _____	Reframe Opening	\$ _____
SolarZone™ ThermD BBG	\$ _____	Permit Fee	\$ _____
Beige Classic Clay	\$ _____	<u>3</u> Extra Labor <u>Sill replacement</u>	\$ <u>150</u>
Wood Grain Interior	\$ _____		
Exterior Paint	\$ _____		
Exterior Paint + Wood Grain Combination	\$175 _____		
Door Color _____			
Inside Outside			

NO EXTRA WORK IF NOT IN WRITING!
 Windows to be ordered
 after permit approval

Approximate Lead Time: 6 to 10 weeks Initial RCBcc
 See Section 1 on back of contract for more information.

Customer agrees to the terms of payment as follows:

Delivery & Environmental Fee \$ 250.00
 TOTAL AMOUNT \$ 5,632
 Custom Order Deposit \$ 2,816 Ck # _____
 Balance Paid to Installer upon Completion \$ 2,816
 Amount Financed \$ _____

You the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction.
 Notice of cancellation must be in writing postmarked no later than midnight of the following third business day.
THIS IS A CUSTOM ORDER NOT FOR RESALE

(314) 893-3910

Rob Ubben Salesman Date 02/23/26

Richard Brock Owner Date 2/23/2026

White Copy Original Yellow Copy - File Pink Copy Customer

Richard Brock

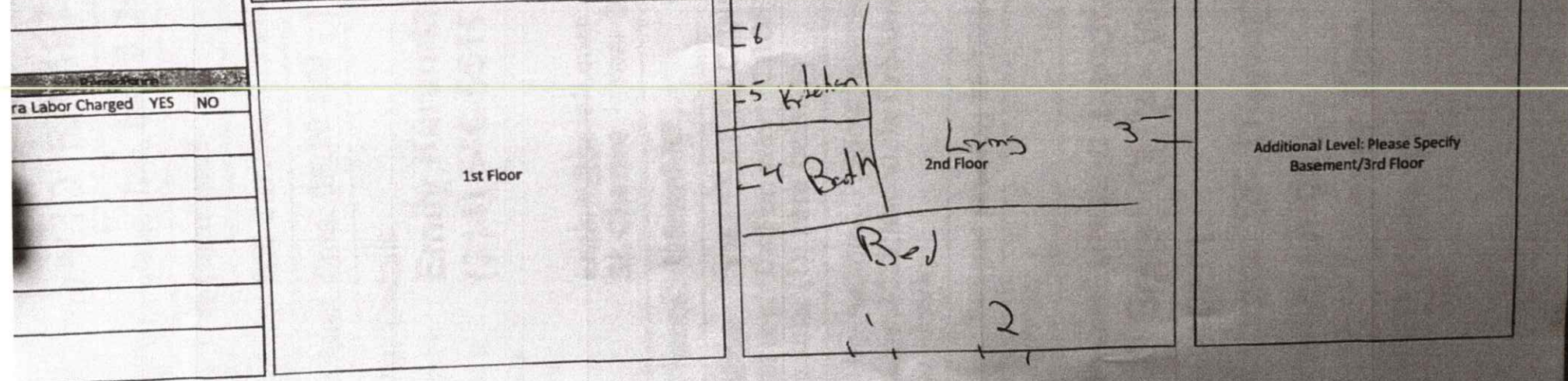
Address: 411 S Third St. St. Charles MO 6301

Sales Rep and Phone: Rob U/314) 398-3810

MW Contract #: 252493

#	Qty	Model	Mull/Hinge	Color	Int Laminate	Ext Paint	Grid	Pattern	Temp	OBS	LE	Screen	Oriel	Sales		Remeasure	
1		3001		✓			X	Contoured			SF			25 5/8	X 45 1/4	25 5/8	X 45 1/4
2		3001		✓			X				SF			25 5/8	X 45 1/4	25 5/8	X 45 1/4
3		3001		✓			X				SF			29 5/8	X 57	29 5/8	X 57 1/4
4		3001		✓					F211		SF			23 5/8	X 37 1/2	23 5/8	X 37 1/4
5		3001		✓							SF			31 5/8	X 45 1/2	31 5/8	X 37 1/4
6		3001		✓							SF			31 5/8	X 37 1/2	31 5/8	X 45 1/4
7														X		X	
8														X		X	
9														X		X	
10														X		X	
11														X		X	
12														X		X	
13														X		X	
14														X		X	
15														X		X	
16														X		X	
17														X		X	
18														X		X	
19														X		X	
20														X		X	

Wood
Beak
Praxall
lor: White
pe: GS
#s:
or Ext Y/N - Lead Safe Y/N
Sales
Labor Charged (YES) NO
38 x 34 x 3/4
22
30 x 3/4 x 3/4



Labor Charged YES NO

Window/Door #	Style	Location	Window/Door Dimensions	U Factor	SHG	Tempered	Egress	WOLD Required
1	Double Hung	2nd Floor Bed	25 5/8 x 45 1/4	0.24	0.27	None	2.149	
2	Double Hung	2nd Floor Bed	25 5/8 x 45 1/4	0.24	0.27	none	2.149	
3	Double Hung	2nd Floor Living Room	29 5/8 x 57 1/4	0.24	0.27	none	3.586	
4	Double Hung	2nd Floor Bath	23 5/8 x 37 1/4	0.29	0.21	none	1.428	
5	Double Hung	2nd Floor Kitchen	31 5/8 x 37 1/4	0.24	0.27	none	2.049	
6	Double Hung	2nd Floor Kitchen	31 5/8 x 45 1/4	0.24	0.27	none	2.782	
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
18								
19								
20								

Notes
Replacing all 2nd floor windows changing from Wooden to Vinyl windows. Keeping the same styles of window.

Select a Model

(Model 3001)		3001	Min. W: 12	Max W: 48	Max UI: 126
4000 Series Double Hung			Min. H: 20	Max H: 84	
Top Sash Width	21.5000	Exact Size			
Top Sash Height	21.1875	Width: 25 5/8	#	25.625	
Bottom Sash Width	22.5000	Height: 45 1/4		45.25	
Bottom Sash Height	22.1875	Reinforce	Composite		
Top Glass Width	19.8125	Opening:	Exact Size		
Top Glass Height	19.5625	Type:	Standard		
Bottom Glass Width	20.3125	Screen:	Half		
Bottom Glass Height	20.0625	Glass:	Double Strength (3 mm)		
Screen Width	21.0625	<input type="checkbox"/> Add Grid for Weight Calculation			
Screen Height	21.8750	<input type="checkbox"/> AC Sash Calculator			
Top Sash Weight (Plus 5 lb)	16 lb				
Top Balance Size (C.F)	8LG				
Bottom Sash Weight	12 lb				
Bottom Balance Size (C.F)	6YW				
Egress Opening Width	20.3750				
Egress Opening Height	15.1875				
Egress Opening Area (sq.ft.)	2.1490				

Windows 1+2

Select a Model

(Model 3001)		3001 ▼
4000 Series Double Hung		
Top Sash Width	25.5000	
Top Sash Height	27.1875	
Bottom Sash Width	26.5000	
Bottom Sash Height	28.1875	
Top Glass Width	23.8125	
Top Glass Height	25.5625	
Bottom Glass Width	24.3125	
Bottom Glass Height	26.0625	
Screen Width	25.0625	
Screen Height	27.8750	
Top Sash Weight (Plus 5 lb)	22 lb	
Top Balance Size (C.F)	56BU	
Bottom Sash Weight	18 lb	
Bottom Balance Size (C.F)	9NAT	
Egress Opening Width	24.3750	
Egress Opening Height	21.1875	
Egress Opening Area (sq.ft.)	3.5860	

Min. W: 12	Max W: 48	
Min. H: 20	Max H: 84	Max UI: 126

Exact Size	
Width: 29 5/8	# 29.625
Height: 57 1/4	57.25

Reinforce	Composite ▼
Opening	Exact Size ▼
Type	Standard ▼
Screen	Half ▼
Glass	Double Strength (3 mm) ▼

Add Grid for Weight Calculation

AC Sash Calculator

Window #3

Select a Model

(Model 3001)	
4000 Series Double Hung	
Top Sash Width	19.5000
Top Sash Height	17.1875
Bottom Sash Width	20.5000
Bottom Sash Height	18.1875
Top Glass Width	17.8125
Top Glass Height	15.5625
Bottom Glass Width	18.3125
Bottom Glass Height	16.0625
Screen Width	19.0625
Screen Height	17.8750
Top Sash Weight (Plus 5 lb)	13 lb
Top Balance Size (C.F)	7GN
Bottom Sash Weight	9 lb
Bottom Balance Size (C.F)	5BU
Egress Opening Width	18.3750
Egress Opening Height	11.1875
Egress Opening Area (sq.ft.)	1.4280

Min. W: 12	Max W: 48
Min. H: 20	Max H: 84
Max UI: 126	

Exact Size	
Width:	23 5/8 # 23.625
Height:	37 1/4 37.25

Reinforce:	Composite
Opening:	Exact Size
Type:	Standard
Screen:	Half
Glass:	Double Strength (3 mm)

 Add Grid for Weight Calculation

 AC Sash Calculator

Window #4

Select a Model

(Model 3001)		3001
4000 Series Double Hung		
Top Sash Width	27.5000	
Top Sash Height	17.1875	
Bottom Sash Width	28.5000	
Bottom Sash Height	18.1875	
Top Glass Width	25.8125	
Top Glass Height	15.5625	
Bottom Glass Width	26.3125	
Bottom Glass Height	16.0625	
Screen Width	27.0625	
Screen Height	17.8750	
Top Sash Weight (Plus 5 lb)	17 lb	
Top Balance Size (C.F)	9NAT	
Bottom Sash Weight	12 lb	
Bottom Balance Size (C.F)	6YW	
Egress Opening Width	26.3750	
Egress Opening Height	11.1875	
Egress Opening Area (sq.ft.)	2.0490	

Min. W: 12	Max W: 48
Min. H: 20	Max H: 84
Max UI: 126	

Exact Size	
Width:	31 5/8 # 31.625
Height:	37 1/4 37.25

Reinforce:	Composite
Opening:	Exact Size
Type:	Standard
Screen:	Half
Glass:	Double Strength (3 mm)

Add Grid for Weight Calculation

AC Sash Calculator

Window #5

Select a Model

(Model 3001)		3001 ▼
4000 Series Double Hung		
Top Sash Width	27.5000	
Top Sash Height	21.1875	
Bottom Sash Width	28.5000	
Bottom Sash Height	22.1875	
Top Glass Width	25.8125	
Top Glass Height	19.5625	
Bottom Glass Width	26.3125	
Bottom Glass Height	20.0625	
Screen Width	27.0625	
Screen Height	21.8750	
Top Sash Weight (Plus 5 lb)	19 lb	
Top Balance Size (C.F)	10PK	
Bottom Sash Weight	15 lb	
Bottom Balance Size (C.F)	8LG	
Egress Opening Width	26.3750	
Egress Opening Height	15.1875	
Egress Opening Area (sq.ft.)	2.7820	

Min. W: 12	Max W: 48
Min. H: 20	Max H: 84
Max UI: 126	

Exact Size	
Width:	# 31.625
Height:	45.25

Reinforce: Composite ▼

Opening: Exact Size ▼

Type: Standard ▼

Screen: Half ▼

Glass: Double Strength (3 mm) ▼

Add Grid for Weight Calculation

AC Sash Calculator

Window #6

NUMBER ONE AND TIME TO SHINE

[Discontinued Models](#)

[Tools](#) [Technical Info](#) [IG Guideline](#) [Grid/Muntin](#) [FAQ](#) [Project Review](#) [Links](#)

[Calculated Specs](#) | [Min./Max.](#) | [Shape Calculator](#) | [Wind Speed](#) | [ENERGY STAR 7.0 Reqmt.](#) | [ENERGY STAR M.E](#) | [Part Code Converter](#)

Region	Series	Model	Option	Glass Package
East Coast	4000 Series	3001	Comp. Reinf.	Solarzone SF ThermD + Grid

[Double Hung]

[Performance](#) [OverView](#) [Parts](#) [Accessories](#) [Installation](#) [Search U-Value](#) [Search DP/PG](#)

1 / U-Value = R-Value

[ENERGY STAR Map](#)

Window Efficiency

Model	GlassPack	GlassThickness	Description	UFactor	SHGC	VT	CR
3001	Solarzone SF ThermD + Grid	Double Strength	3/4" IG, DS LE-S4, Argon, ThermD, Grids < 1"	0.24	0.25	0.46	48
3001	Solarzone SF ThermD + Grid	Triple Strength	3/4" IG, TS LE-S4, Argon, ThermD, Grids < 1"				

Composite Reinforcement

Mull Configurations & Limitations

Structural Test Results

Model	Width	Height	DP/PG	Air	Water	Load	FBC	TDI	Description	Report No.
3001	41	60	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	36	65	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	48	78	25	0.17	5.43	+/- 37.59			Composite Reinforcement	I0241.01
3001	48	84	20	0.17	5.43	+/- 30.08			Composite Reinforcement - Two Locks	I0241.01
3001	48	84	15	0.17	5.43	+/- 22.5			Composite Reinforcement - One Lock	I0241.01

****Ratings are for stand-alone units and not for combination of mull units****

Acoustical Test Results

Glass Package	STC	OITC
3/4" IG (1/8" Annealed, 1/2" Air space, 1/8" Annealed)	28	23
3/4" IG (1/8" Annealed, 3/8" Air space, 1/4" Laminated)	34	28

Windows 1, 2, 3

NUMBER ONE AND TIME TO SHINE

[Discontinued Models](#)

[Tools](#) [Technical Info](#) [IG Guideline](#) [Grid/Muntin](#) [FAQ](#) [Project Review](#) [Links](#)

[Calculated Specs](#) | [Min./Max.](#) | [Shape Calculator](#) | [Wind Speed](#) | [ENERGY STAR 7.0 Reqmt.](#) | [ENERGY STAR M.E](#) | [Part Code Converter](#)

Region	Series	Model	Option
East Coast	4000 Series	3001	Comp. Reinf.

[Double Hung]

[Performance](#) [OverView](#) [Parts](#) [Accessories](#) [Installation](#) [Search U-Value](#) [Search DP/PG](#)

1 / U-Value = R-Value

[ENERGY STAR Map](#)

Window Efficiency

Model	GlassPack	GlassThickness	Description	UFactor	SHGC	VT	CR
3001	Solarzone Elite	Double Strength	3/4" IG, DS LE70, Argon	0.29	0.21	0.48	58
3001	Solarzone Elite	Triple Strength	3/4" IG, TS LE70, Argon	0.31	0.21	0.47	55

Composite Reinforcement

Mull Configurations & Limitations

Structural Test Results

Model	Width	Height	DP/PG	Air	Water	Load	FBC	TDI	Description	Report No.
3001	41	60	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	36	65	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	48	78	25	0.17	5.43	+/- 37.59			Composite Reinforcement	I0241.01
3001	48	84	20	0.17	5.43	+/- 30.08			Composite Reinforcement - Two Locks	I0241.01
3001	48	84	15	0.17	5.43	+/- 22.5			Composite Reinforcement - One Lock	I0241.01

Ratings are for stand-alone units and not for combination of mullled units

Acoustical Test Results

Glass Package	STC	OITC
3/4" IG (1/8" Annealed, 1/2" Air space, 1/8" Annealed)	28	23
3/4" IG (1/8" Annealed, 3/8" Air space, 1/4" Laminated)	34	28

Window #4

In accordance with the state of California:  Warning: Cancer and Reproductive harm - www.p65warnings.ca.gov

NUMBER ONE AND TIME TO SHINE

[Discontinued Models](#)

[Tools](#) [Technical Info](#) [IG Guideline](#) [Grid/Muntin](#) [FAQ](#) [Project Review](#) [Links](#)

[Calculated Specs](#) | [Min./Max.](#) | [Shape Calculator](#) | [Wind Speed](#) | [ENERGY STAR 7.0 Reqmt.](#) | [ENERGY STAR M.E](#) | [Part Code Converter](#)

Region	Series	Model	Option
East Coast	4000 Series	3001	Comp. Reinf.

[Double Hung]

[Performance](#) [OverView](#) [Parts](#) [Accessories](#) [Installation](#) [Search U-Value](#) [Search DP/PG](#)

1 / U-Value = R-Value

[ENERGY STAR Map](#)

Window Efficiency

Model	GlassPack	GlassThickness	Description	UFactor	SHGC	VT	CR
3001	Solarzone SF ThermD	Double Strength	3/4" IG, DS LE-S4, Argon, ThermD	0.24	0.27	0.51	48
3001	Solarzone SF ThermD	Triple Strength	3/4" IG, TS LE-S4, Argon, ThermD				

Composite Reinforcement

Mull Configurations & Limitations

Structural Test Results

Model	Width	Height	DP/PG	Air	Water	Load	FBC	TDI	Description	Report No.
3001	41	60	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	36	65	35	0.04	5.43	+/- 52.63			Composite Reinforcement	I0241.01
3001	48	78	25	0.17	5.43	+/- 37.59			Composite Reinforcement	I0241.01
3001	48	84	20	0.17	5.43	+/- 30.08			Composite Reinforcement - Two Locks	I0241.01
3001	48	84	15	0.17	5.43	+/- 22.5			Composite Reinforcement - One Lock	I0241.01

Ratings are for stand-alone units and not for combination of mullled units

Acoustical Test Results

Glass Package	STC	OITC
3/4" IG (1/8" Annealed, 1/2" Air space, 1/8" Annealed)	28	23
3/4" IG (1/8" Annealed, 3/8" Air space, 1/4" Laminated)	34	28

Windows 5, + 6

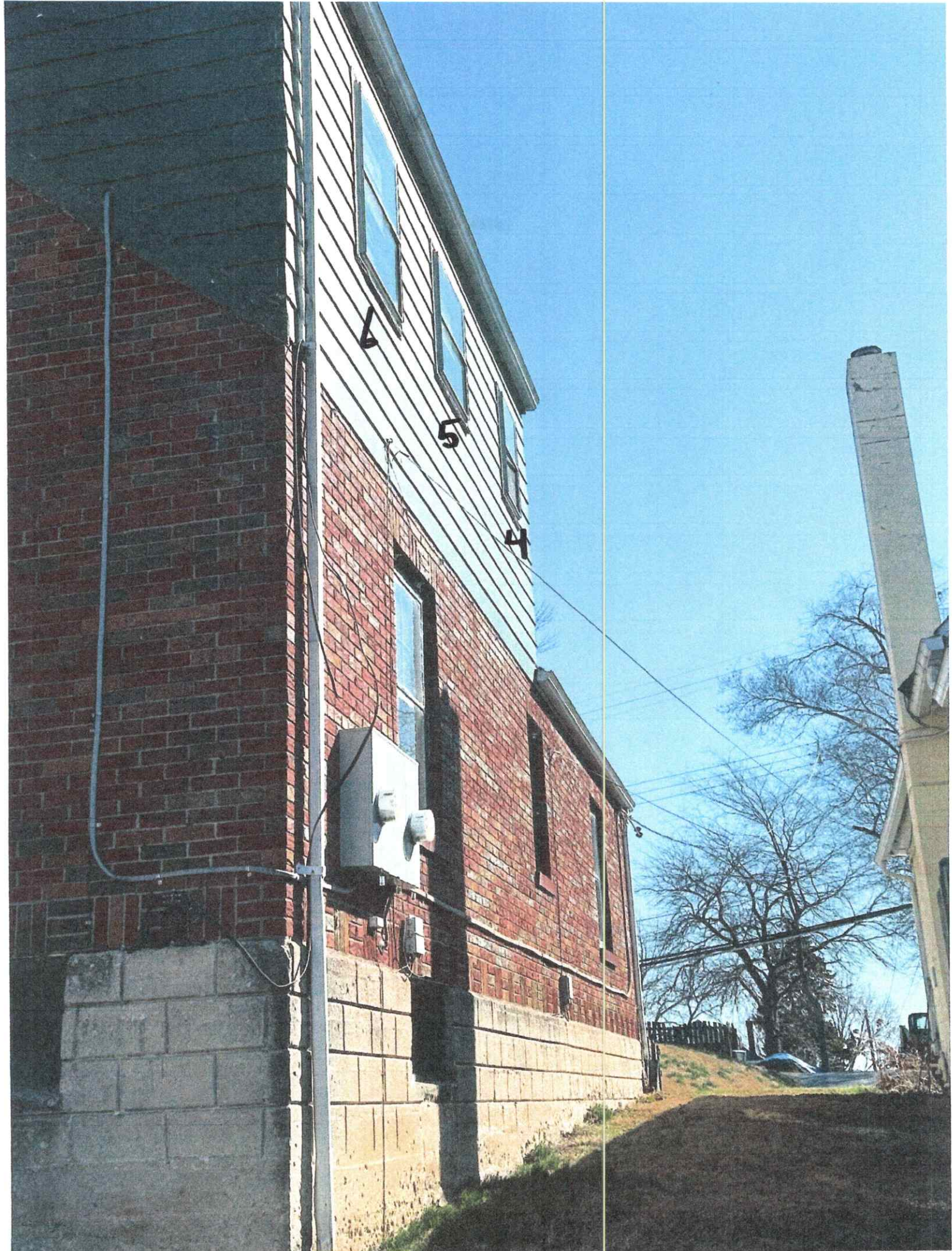


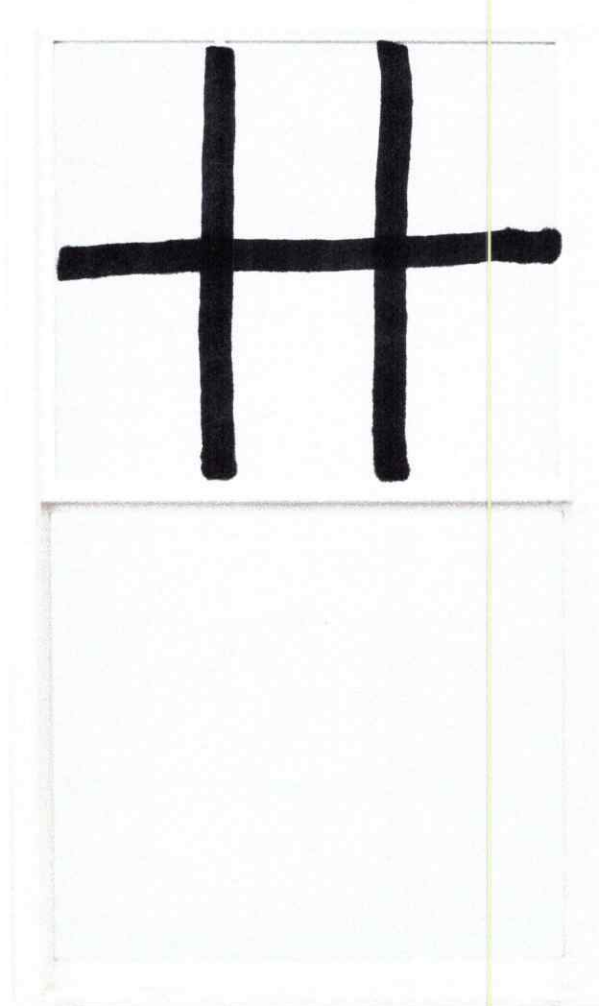
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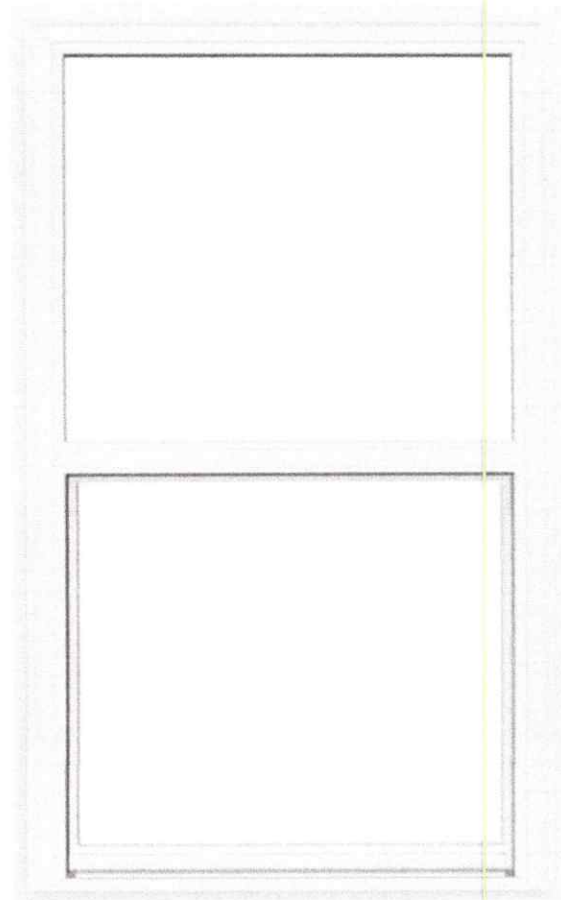
32





Double Hung with Colonial Top Sash grids

Windows #1 - #3



Double Hung

Windows #4 - #6



STAFF REPORT

NEW SIDING

**902-904 SOUTH MAIN STREET
CASE NO. EC-2026-24**

BY TAYLOR MOORE

APPLICANT: Leslie Pugh
1212 Miralago Way
Cottleville, MO 63376

OWNER: Same as above

ADDRESS/LOCATION: 902-904 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

PROPOSED USE: Mixed Use

MEETING DATE: April 20, 2026

BACKGROUND

Built circa 1905, the subject property is located at 902-904 South Main Street within the South Main Preservation District. The structure is also considered a contributing resource to the St. Charles Historic Downtown National Register district. The applicant is requesting approval to replace existing siding/shingles on the front and rear of the structure. The proposed new siding will be a cedar shake that will be installed only on the front mansard roof and the rear additions gable. Accompanying the application are photos of the property and material examples.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: “SMPD” SOUTH MAIN PRESERVATION DISTRICT

C. Special Building and Occupancy Permit.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

Architectural Design Guidelines for the South Main Street Historic District

Chapter IV: Guidelines for Historic Properties

Roofs

- 4.9 Preserve original roof material when feasible.
 - b. When replacement is necessary, use materials similar to the original. Low profile asphalt shingles, for example, are appropriate replacements for wood shingles.

- c. Maintain a color similar to that seen historically. Gray, black and brown are typical of many historic roof materials. Consider the neighborhood context for color.

Materials

- 4.23 Consider removing later covering materials that have not achieved historic significance; examples include vinyl, aluminum, or asphalt siding, or permastone.
- 4.25 A replacement material shall appear similar in character to that used historically.

STAFF RECOMMENDATION

The applicant proposes to install Hard-Split shake siding in a black finish as a new siding and roofing material. The initial request was limited to replacing the deteriorated siding on the rear addition's gable. The revised proposal expands the scope to include replacement of siding on the rear gable, the side elevations of the rear addition, and the front mansard roof to achieve a more consistent and cohesive appearance across the structure.

The existing material consists of black horizontal siding and shingles. While the proposed shake siding is a change in material and profile, it remains compatible with the character of the structure. The front mansard roof is original to the building, whereas the remaining areas of proposed replacement are located on a non-historic addition. Staff finds that the proposed changes will not adversely impact the architectural integrity of the structure, the streetscape, or the overall historic district. Therefore, Staff recommends approval of the project, as submitted.

Recommended Motion:

Motion to approve the installation of Hard-Split shake siding on the structure located at 902-904 South Main Street, as submitted.



Figure 1: Subject property seen from South Main Street



Figure 2: Rear addition with siding on gable.



Figure 3: Rear of structure with proposed shake siding.



Figure 4: Front mansard roof with proposed shake siding.

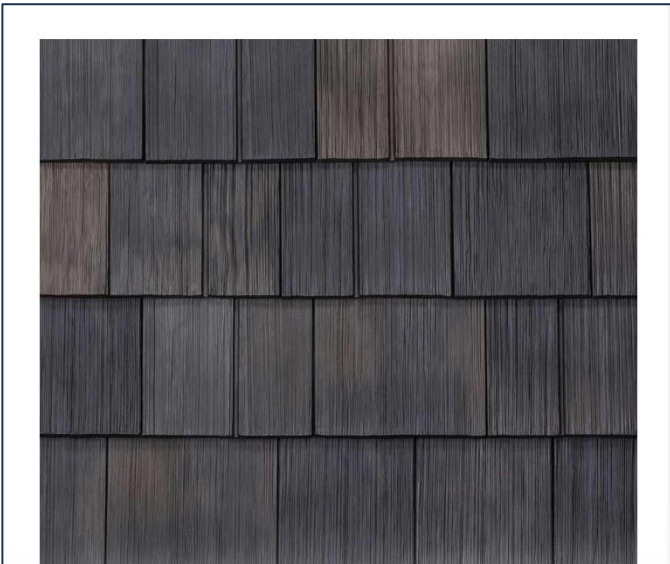


Figure 5: Shake siding example.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 902 & 904 S. Main St.

BUSINESS NAME (if applicable): _____

APPLICANT: Leslie Pugh
(Name)

1212 Miralago Way Cottleville Mo 63376
(Address)

636-518-1451 pughzoo@gmail.com
(Phone & Email Address)

PROPERTY OWNER: same as above
(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1870

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Property is a stone and brick building with an addition to the back that includes access to two upper unit apartments. The rear upper portion has vertical shingles that need repair.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): Replace verticle shingles w/ cedar shake siding on the front + back of the building

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

I would like to replace the verticle shingles with cedar look siding. I would be open to using black siding to keep the current look or I can consider siding that complements the current siding that is on the back of the building.

APPLICATION SUBMITTAL:

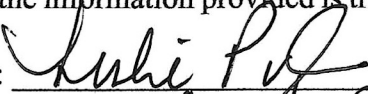
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

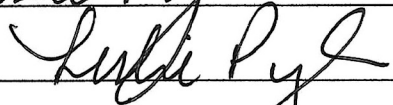
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

- 1. A complete application.
- 2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
- 3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
- 4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 3/9/26

Signature of the property owner:  Date: 3/9/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00


Westlake
Royal Building Products™

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HAND-SPLIT SHAKE SIDING

DaVinci Hand-Split Shake Siding delivers lasting beauty and proven durability in any climate, standing up to sun, hail, wind, and extreme temperature changes. Enjoy the same trusted performance as our roofing, with finished tiles that keep your home looking elegant for years to come.

** Colors are as accurate as technology allows. Please make final selection from actual shingles.*

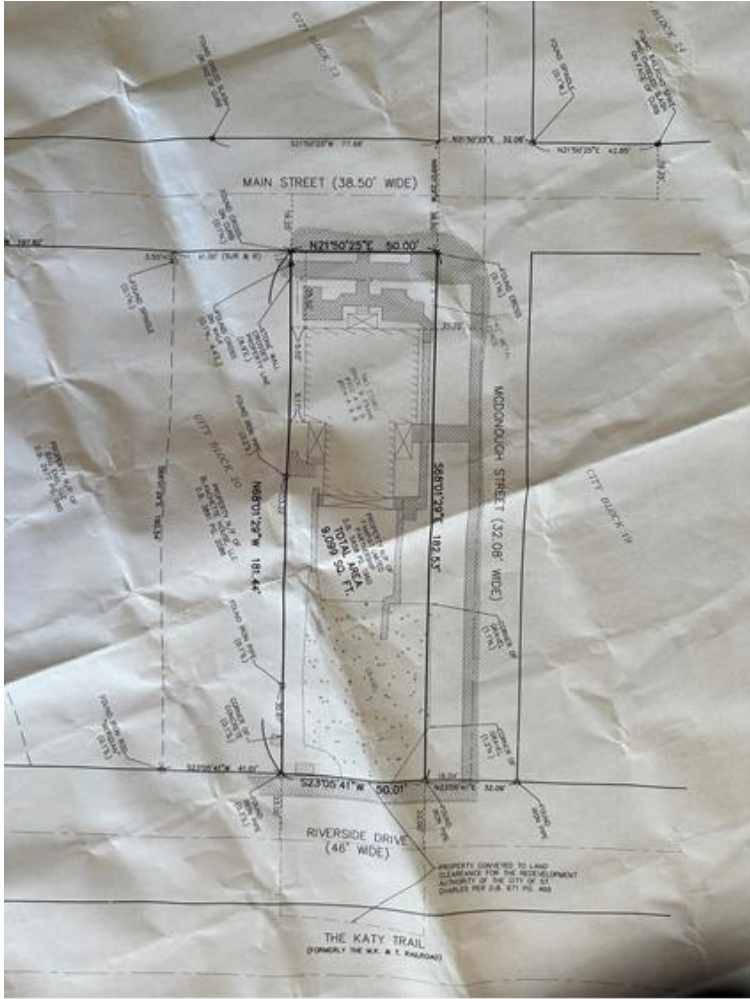


royalbuildingproducts.com

PROFILE Hand Split Shake









STAFF REPORT
EGRESS STAIRS REPLACEMENT
701-703 SOUTH RIVERSIDE DRIVE
CASE NO. EC-2026-26

BY TAYLOR MOORE

APPLICANT: Jodi Devonshire
703 South Riverside Drive
St. Charles, MO 63301

OWNER: Same as above

ADDRESS/LOCATION: 701-703 South Riverside Drive

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is 701 South Riverside Drive which is located in the South Main Preservation District. Constructed in 1920, the 2-story, side-gabled brick building houses the business “Bike Stop Café” and an apartment above. The applicant is requesting approval to remove and replace an exterior staircase and deck on the west elevation of the building. Accompanying this application is illustrations of the new staircase in subject location and photographs of the existing structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: “SMPD” SOUTH MAIN PRESERVATION DISTRICT

C. Special Building and Occupancy Permit.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter IV: Guidelines for Historic Properties

Site Planning & Site Features

4.5 Select replacement or new materials and features that are compatible with the existing character of the site

Architectural Details: Preservation, Treatment & Replacement

4.11 Preserve the historic design character of the building.

4.12 Minimize alteration of historically significant features.

- a. First, maintain historically significant features that are intact. Then, repair those features that are deteriorated. Finally, replace only those features that are beyond repair.

4.13 Protect and maintain historically significant stylistic elements.

4.14 Historically significant materials and features shall not be altered or removed.

- a. Examples of historically significant architectural features are porches, turned columns, brackets and jigsaw ornaments. The overall building or roof form is also significant.
- b. Preserve original doors, windows and porches in their original condition when physical conditions permit.

STAFF RECOMMENDATION

The subject staircase is located on the west elevation of the structure, oriented towards Main Street. The staircase is slightly visible from the Perry Street walkway when traveling east from Main Street. The new deck and stairs will be constructed utilizing pressure treated lumber for framing and decking. The new handrails are black steel, which is a change from the existing wooden ones. The new deck will be 2' longer than the existing 10' length and will remain 5' wide. The current staircase and landing are in a deteriorated state, and the applicant is requesting the replacement for both safety and for proper means of egress. The only significant proposed change is the replacement of the handrail material. Staff finds this alteration to be appropriate, as the proposed material will provide greater durability and reduce deterioration over time. The alteration will have no impact on the structure, the streetscape, or the district overall. Therefore, Staff recommends approval of the proposed alteration, as submitted.

Recommended Motion:

Motion to approve the replacement of an egress staircase and landing at 701-703 South Riverside Drive, as submitted.



Figure 1: Subject building seen from Perry Street walkway.



Figure 2: Subject staircase and deck seen currently.



Figure 3: View of existing handrails.

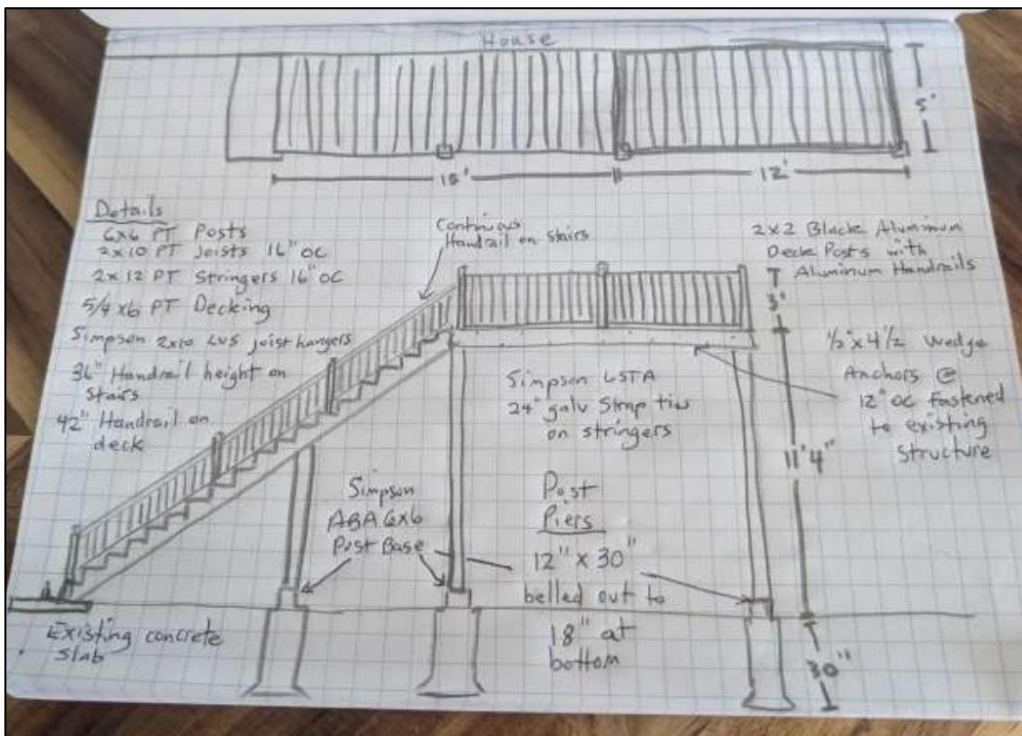


Figure 4: Illustration of proposed new stairs and deck.



Figure 5: Proposed railing example.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 703 S Riverside Drive

BUSINESS NAME (if applicable): Bike Stop Cafe

APPLICANT:

Jodi Devonshire
(Name)

703 S Riverside Drive
(Address)

bikestopcafe@gmail.com 314-620-1491
(Phone & Email Address)

PROPERTY OWNER: Jodi Devonshire

(Name)

703 S Riverside Drive
(Address)

314-620-1491 bikestopcafe@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1920

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Two Story all brick building with 4 double doors on Perry, stairs on Mains treet facing
and deck with stairs on Riverside facing

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Remove and replace exterior stairs on Main Street facing side of building.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Jodi Devonshire Date: 4/2/26

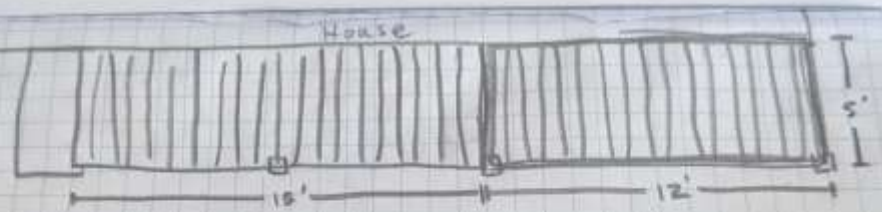
Signature of the property owner: Jodi Devonshire Date: 4/2/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan: \$200.00

Exterior Changes & Demolitions: \$50.00



Details

- 6x6 PT Posts
- 2x10 PT Joists 16" OC
- 2x12 PT Stringers 16" OC
- 5/4 x 6 PT Decking
- Simpson 2x10 LUS joist hangers
- 36" Handrail height on stairs
- 42" Handrail on deck

Continuous Handrail on stairs

2x2 Black Aluminum Deck Posts with T Aluminum Handrails

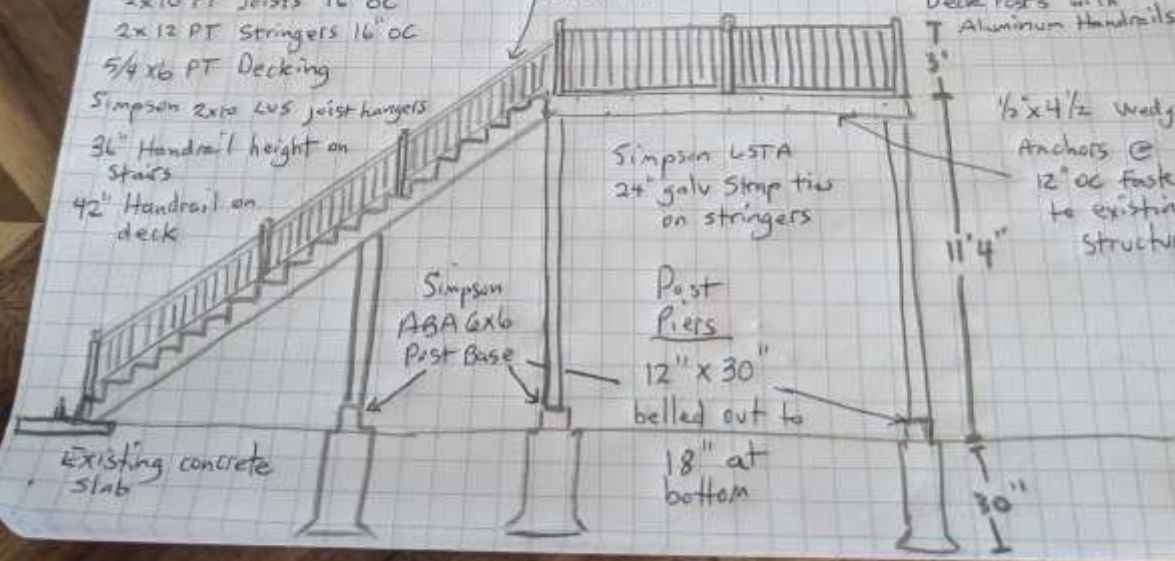
1/2 x 4 1/2 Wedge Anchors @ 12" OC fastened to existing structure

Simpson LSTA 2" galv Strip ties on stringers

Simpson ABA 6x6 Post Base

Post Piers
12" x 30" belled out to 18" at bottom

Existing concrete slab





AGENDA ITEM #3D

Memorandum

To: Landmarks Board

From: Taylor Moore, Preservation Planner

Date: April 20, 2026

Subject: Case No. SP-2026-2 1203 South Main Street

On January 26, 2026, the Landmarks Board reviewed and approved an application for the construction of a new single-family dwelling at the above address. The applicant has submitted revised plans that move the garage to the rear of the home to be accessed from the alley. The previous location of the garage has been replaced with a walk-out style lower-level set of doors.

As the overall design is remaining the same, Staff finds the proposal to be compliant and appropriate for the property. Therefore, Staff recommends approval of the proposed project, as submitted.

Recommended Motion:

Motion to approve the revised plans for construction of a new single-family dwelling at 1203 South Main Street, as submitted.



Figure 1: Front façade with revision showcasing walk-out.



Figure 2: Rear façade with revision showcasing garage entry.



Figure 3: Renderings of proposed changes.



STAFF REPORT
NEW SINGLE FAMILY DWELLING
1203 SOUTH MAIN STREET
CASE NO. SP-2026-2

BY TAYLOR MOORE

APPLICANT: Leslie Duncan
1224 South Main Street
St. Charles, MO 63301

OWNER: Katy Main Associates, LLC
1224 South Main Street
St. Charles, MO 63301

ADDRESS/LOCATION: 1203 South Main Street

ZONING: HCD—Historic Commercial District
LMPD—Landmarks Preservation District

USE: Single Family Residential

MEETING DATE: January 26, 2026

BACKGROUND

Located in the Landmarks Preservation District, the subject property is 1203 South Main Street. Currently the property features a 1½ -story, framed, Craftsman Bungalow styled house with a partial walk-out basement. At the November 17, 2025 Landmarks Board meeting the existing dwelling was deemed non-historically significant and therefore approved for removal. The applicant is now requesting approval to construct a new two-story single-family dwelling on the property. Accompanying this application is a site plan, renderings and elevations of the proposed new construction.

New Dwelling Design & Materials:

The new single-family dwelling is proposed to have influences of a Victorian Second Empire style home. Some noteworthy architectural features include a mansard roof with projecting dormer windows, brackets beneath the eaves, and bay windows. The primary façade includes an offset entry porch with columns and a raised stoop accessed from the driveway. The stoop is to be clad in a red brick veneer that will closely match the Waterworks Condos across the street. Exterior wall materials predominately include a light green/gray fiber cement 4” lap siding and ivory trim around doorways and windows. Roofing for the mansard roof will be an architectural asphalt shingle in a varied gray color tone. All windows will be a black composite or aluminum clad wood material with a mixture of both double-hung and casement designs. Other notable details include a rear screened porch and a lower-level two-car garage and walkout basement.



Figure 1: Rendering of front elevation of the proposed dwelling.

Exterior Lighting:

The light fixtures on the proposed dwelling are depicted as wall-mounted gooseneck sconces. The plans show two sconces above the garage entrance, one above the walk-out basement entrance, and one over the rear door. All exterior lighting is designed to be downward-directed and shielded, limiting glare and any spillover onto adjacent properties or the public right-of-way.

Site Plan:

The proposed new dwelling is to be located on a steeply sloped lot, and its footprint is positioned to respond to the existing grade while maintaining required separation from all property lines. The proposed front yard setback exceeds the minimum 10' requirement, with the dwelling set back over 24' from South Main Street, allowing space for a driveway. Side yard setbacks are shown to vary with 11' 6" being the closest on the north side and 5' the closest on the south, both of which meet the applicable zoning standards. Likewise, the rear yard setback exceeds the required 30' setback, providing space for a patio, lawn area, and screened porch. Vehicle access is provided via a driveway leading to the lower-level garage and a surface parking pad, as well as a three-space parking area located off the existing rear alley. Overall, the building placement, access, and site features are configured to comply with zoning requirements while accommodating the site's topography and functional residential needs.

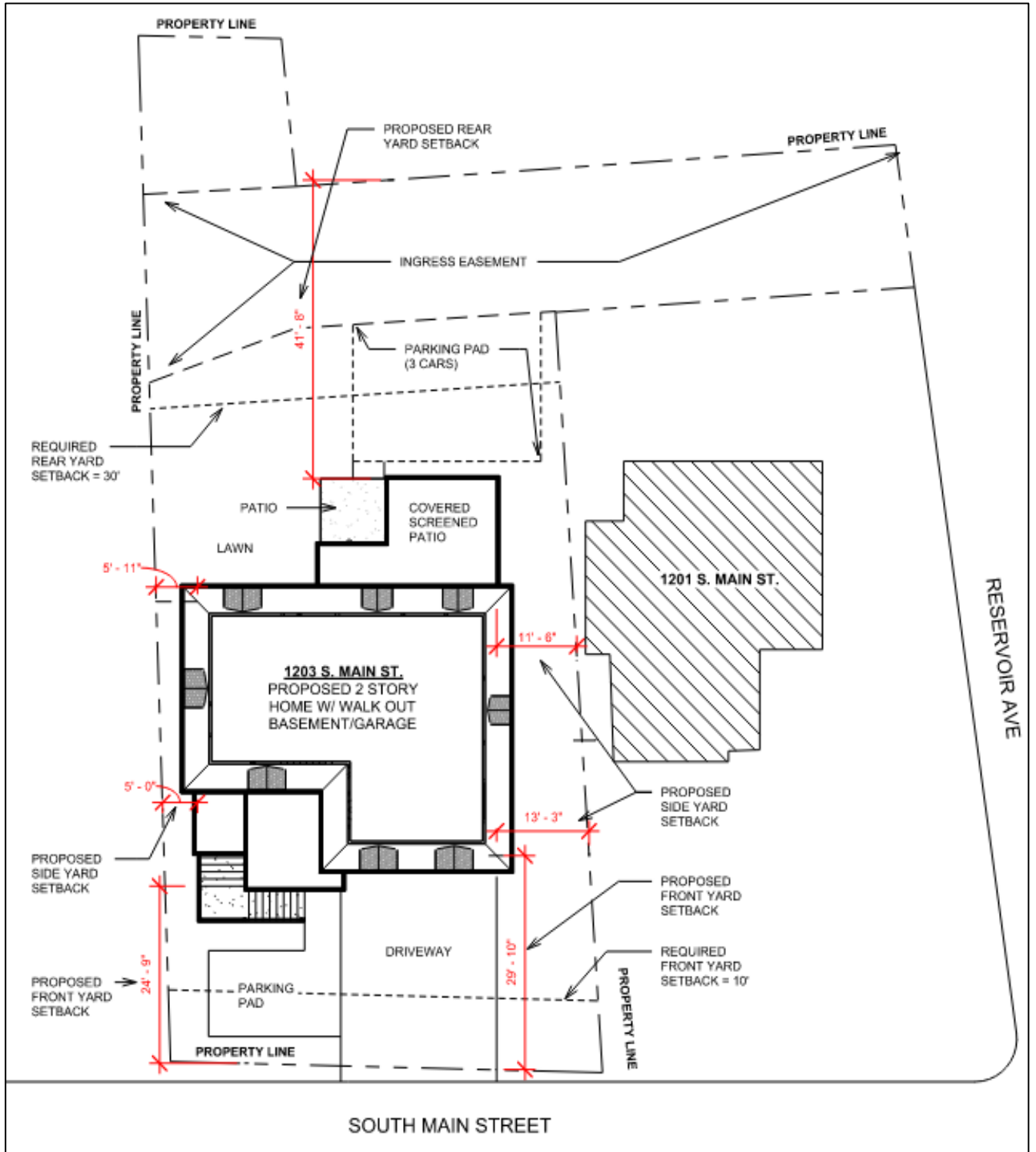


Figure 2: Site plan for proposed new single-family dwelling.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: "SMPD" SOUTH MAIN PRESERVATION DISTRICT

C. Special Building and Occupancy Permit.

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Architectural Design Guidelines for the South Main Street Historic District

Chapter IV: Guidelines for New Construction and Alterations to Non-Contributing Structures.

Site Planning & Site Features

- 6.1 With a new primary building, create a similar relationship of the structure to its site and the street.
 - a. Orient a new building parallel to the lot lines, maintaining the traditional pattern of the District.
- 6.2 On a previously undeveloped site, align a new structure at the sidewalk edge.
- 6.3 Orient a primary entrance towards the street.
- 6.6 Shield security and site lighting so as not to be noticeable from the street.
- 6.7 Minimize the unpleasant visual appearance of service areas.
 - a. New structures which require service areas, due to code compliance for example, should place them at the rear of the structure out of sight from public ways.
 - b. Service areas which must be to the side of the structure should be appropriately shielded so as not to distract from the character of the District.

Building Form, Mass and Scale:

- 6.13 A new buildings shall appear similar in scale to historic structures found traditionally in the area.
 - a. A building shall have a simple rectangular mass as its primary form.
 - b. Break up the mass of a larger structure into a grouping of "modules," each of which is within scale with buildings seen traditionally.
- 6.14 A new building shall appear similar in height to those seen traditionally in the District.
- 6.15 Employ floor-to-floor heights which appear similar to those seen historically.

Roofs:

- 6.18 Use a roof form similar to that used historically.
 - a. The roof angle must be similar to that used historically.
 - b. Maintain the perceived line and orientation of the roof to the street.
 - c. Incorporate historic features such as brackets, cornices, parapets, bargeboards and gable-end shingles.
- 6.22 The roof must appear to be in the same manner as that of historic structures.
 - a. Use materials similar to those used historically. Low profile asphalt shingles. For example, are appropriate in place of wood shingles.
 - b. Maintain a similar color. Gray, black and brown are typical of many historic roof materials. Consider the neighborhood context for color.

Architectural Details:

- 6.25 Architectural features that provide visual interest to pedestrians are encouraged.

- 6.26 Maintain the alignment of horizontal elements along the block, including building cornices.
- a. This alignment occurs because many of the buildings are similar in height.
 - b. Window sills, moldings and cornices are among those elements that may be seen to align.
 - c. These elements shall align, wherever possible, to similar elements on adjacent historic properties.
 - e. In the context of Federal-influenced buildings, roof lines, align balconies and windows with neighboring Federal era structures.
- 6.27 A literal imitation of historic features is permitted.
- a. Use only materials and details similar in character to those employed historically on similar buildings.

Materials:

- 6.29 Materials shall appear similar in character to those used historically.
- a. Using materials that are the same those employed historically is preferred.
 - b. Substitute materials may be used for individual building elements, but shall not be used for the primary building material. For instance, brick must be similar in size to that used historically.
 - c. New materials must have demonstrated durability in this setting.
 - d. Materials must be used in a manner similar to that used traditionally.

Street Facades:

- 6.31 Incorporate the following character-defining elements of the street façade in all new, Federal-influenced structures.
- a. Use 6/6 double-hung windows with operable shutters.
 - b. Galleries may be considered.
 - c. For primary entrances, use a single wide door with transom and sidelights.

Doors and Entries:

- 6.35 Clearly identify the primary entrance into the building.
- 6.36 A new door shall reflect the properties of historic doors found in the District.

Windows:

- 6.38 A window shall be similar in character to those of historic buildings in the District.
- 6.39 A window with vertical emphasis is encouraged.
- 6.40 Use materials that appear similar to those seen historically.
- 6.42 A window shall be simple in shape.

Balconies and Galleries:

- 6.43 Balconies and galleries, as part of new structures, shall be similar to those seen traditionally in form and detail.
- 6.44 Balconies or galleries shall be compatible with the primary structure.
- 6.45 Balconies or galleries shall remain subordinate to the primary structure.

STAFF RECOMMENDATION:

The subject property is located along South Main Street within the Landmarks Preservation District (LMPD), which contains a mix of new infill construction, mid-20th century development, and vacant parcels. The proposed new single-family dwelling, designed in a traditional architectural style, will seamlessly fit into the existing mixed historic context of the district. The structure is proposed to be terraced into the hillside, with the lower-level partially below grade and upper-stories stepping up the slope, minimizing the visual mass from the street

and responding to the existing grade changes. This design compliments the structure being replaced by incorporating similar functions into the new construction.

Overall, the design balances traditional architectural elements with modern residential functionality. The end result being a visually pleasing and historical-context sensitive new infill construction. Therefore, Staff recommends approval of the new single-family dwelling, as submitted.

Recommended Motions:

Motion to approve the construction of a new single-family dwelling at 1203 South Main Street, as submitted.



Figure 3: Structure currently on property approved for removal.



Figure 4: Front-view renderings.



Figure 5: Rear-view renderings.

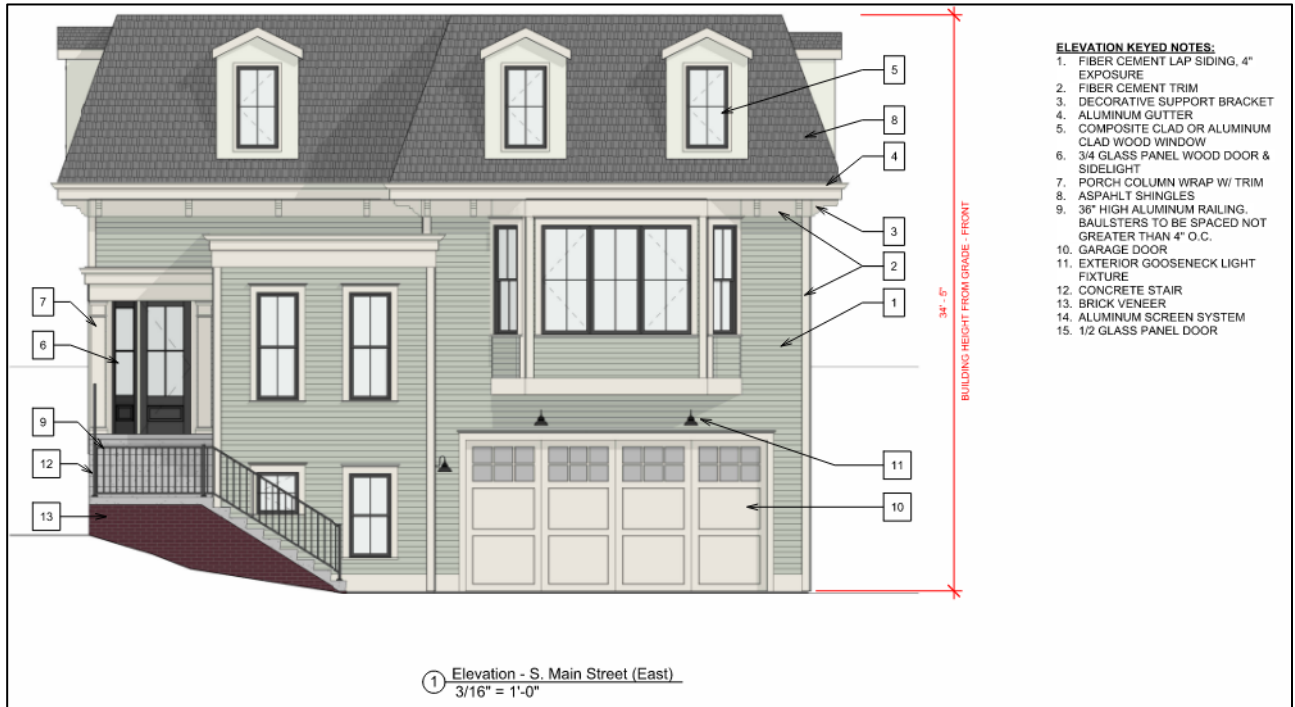


Figure 6: Front elevation of proposed new dwelling.



Figure 7: South-side elevation of proposed new dwelling.



Figure 8: Rear-elevation of proposed new dwelling.

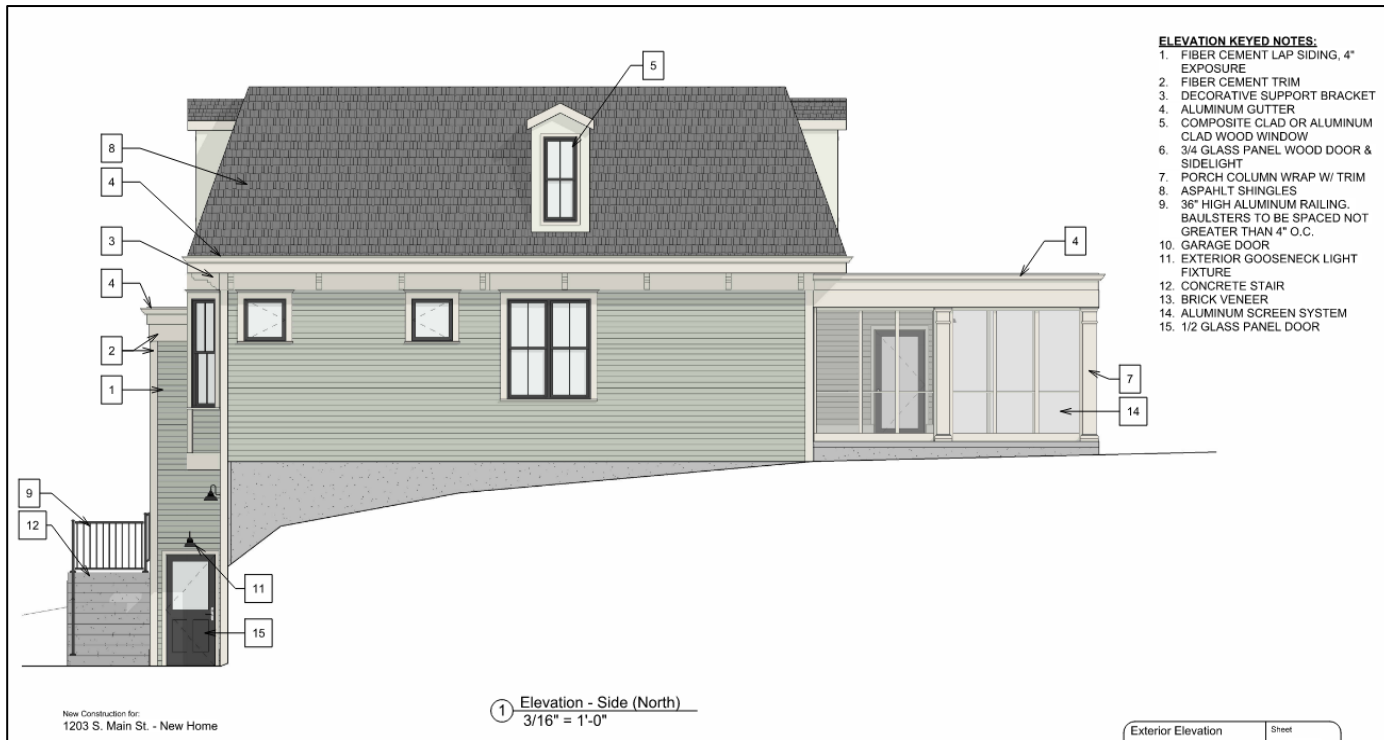
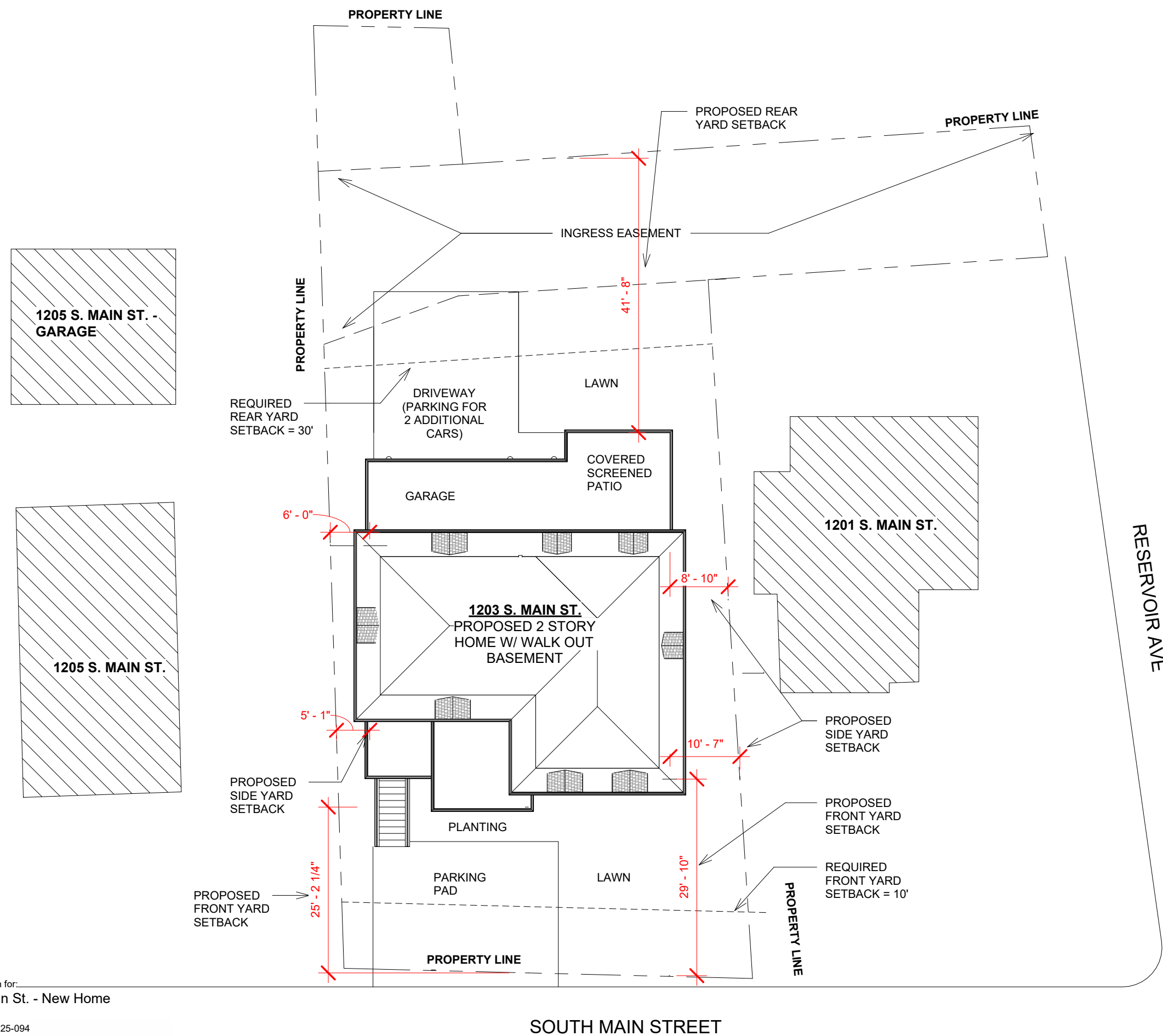


Figure 9: North-side elevation of proposed new dwelling.



Figure 10: Subject property's location.



ZONING: HCD

REQUIRED SETBACKS:
 FRONT: 10'
 SIDE: 0'
 REAR: 30'

MAX. HEIGHT:
2 1/2 STORIES
 35' (MEASURED FROM GRADE TO AVERAGE HEIGHT LEVEL AT MAIN RIDGE OF ROOF OR TOP OF FLAT ROOF)

BASEMENT: 705 SF
 FINISHED AREA = 455 SF
 UNFINISHED STORAGE = 250 SF

CRAWL SPACE: 480 SF

FIRST FLOOR + ENTRY: 1236 SF
 SCREENED PORCH: 235 SF

GARAGE: 578 SF

SECOND FLOOR: 1196 SF

TOTAL FINISHED LIVING SPACE = 2,887 SF

New Construction for:
 1203 S. Main St. - New Home

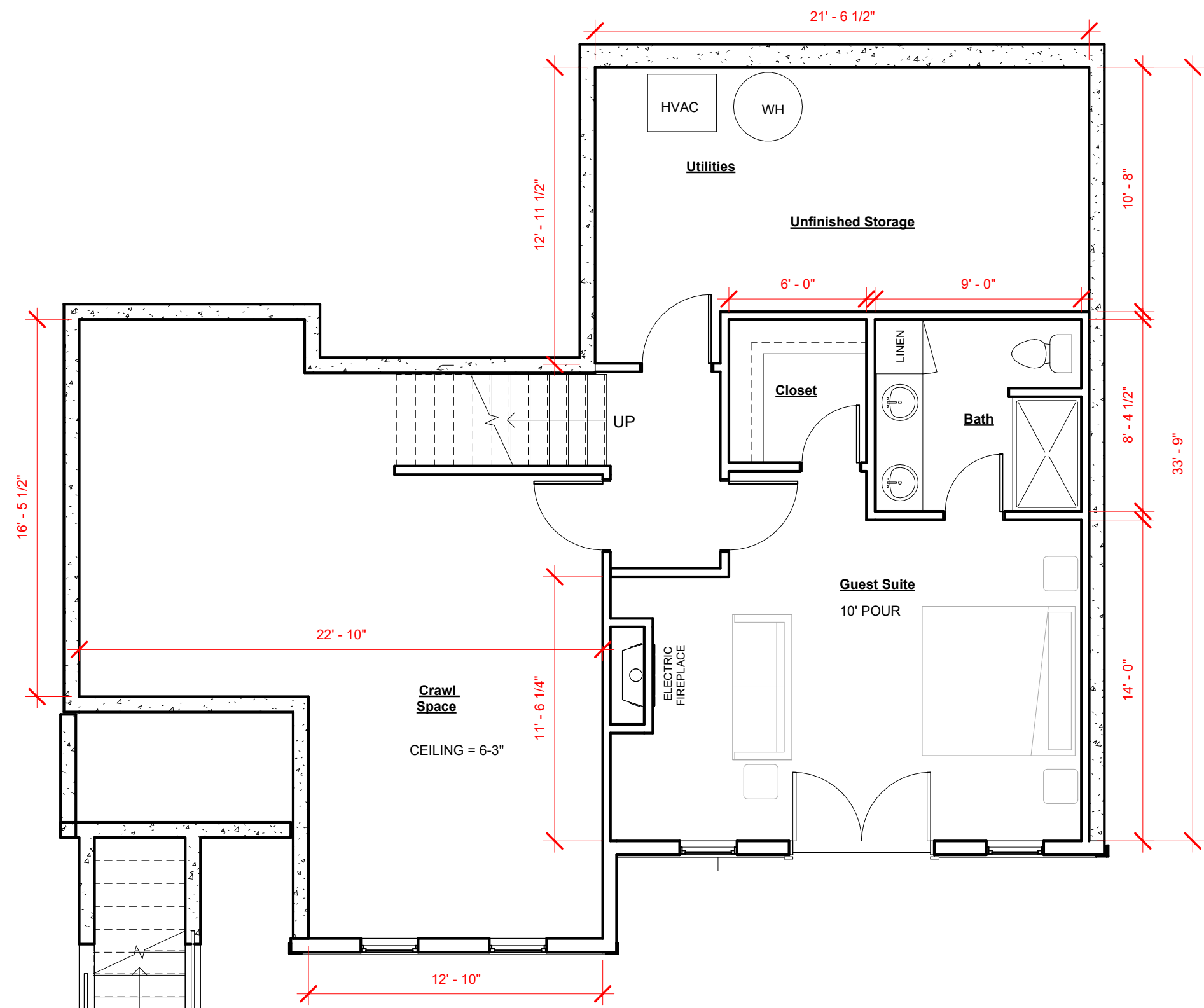
Project number 25-094

little hills architecture

1 Site Plan
 1/16" = 1'-0"

Site Plan	Sheet	00
Date	3/30/2026	
Landmarks Update		

SOUTH MAIN STREET



BASEMENT: 705 SF
 FINISHED AREA = 455 SF
 UNFINISHED STORAGE = 250 SF
 CRAWL SPACE: 480 SF

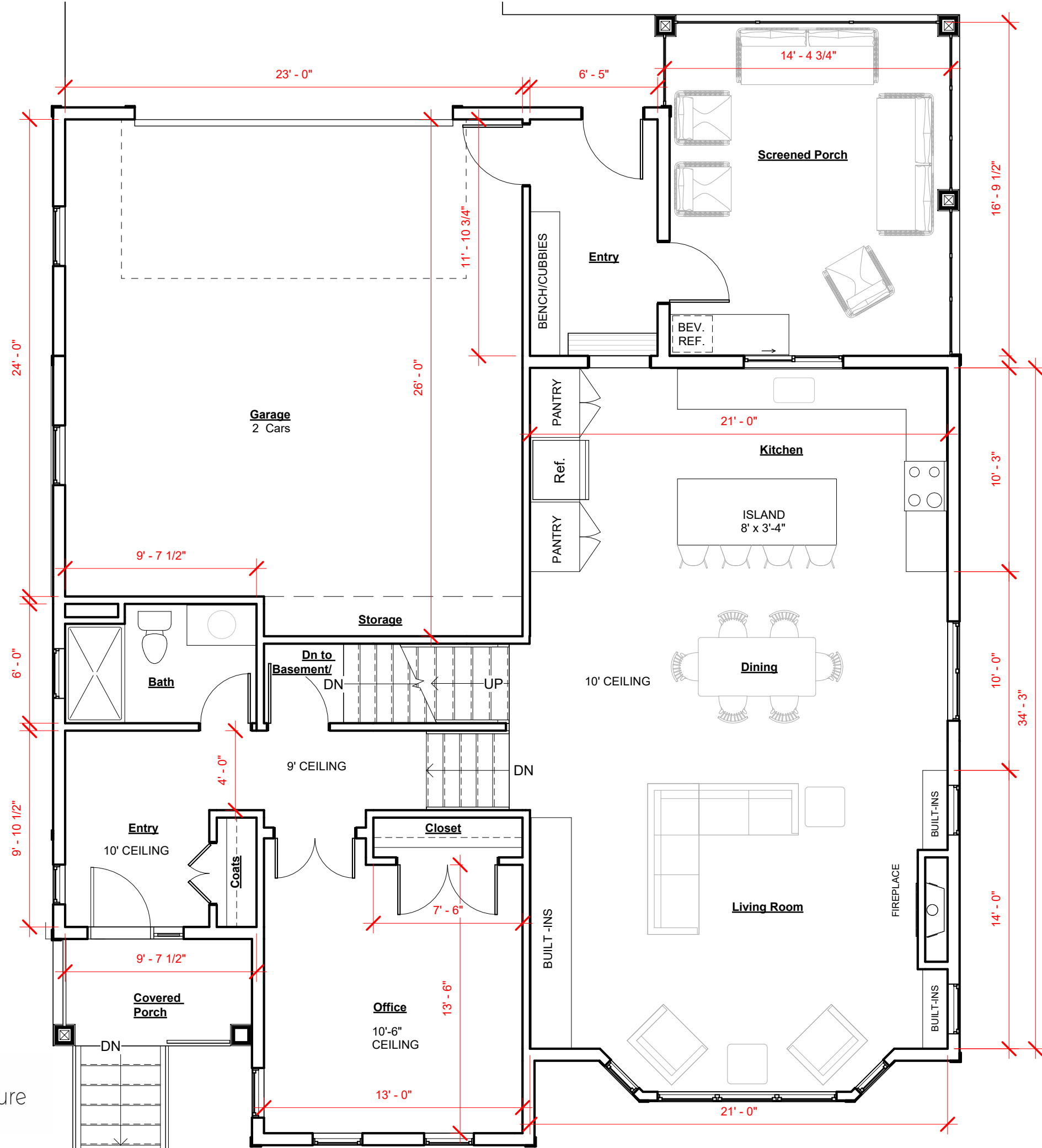
① Basement
 3/16" = 1'-0"

New Construction for:
 1203 S. Main St. - New Home

Project number 25-094

little hills architecture

Basement	Sheet	01
Date	3/30/2026	
Landmarks Update		

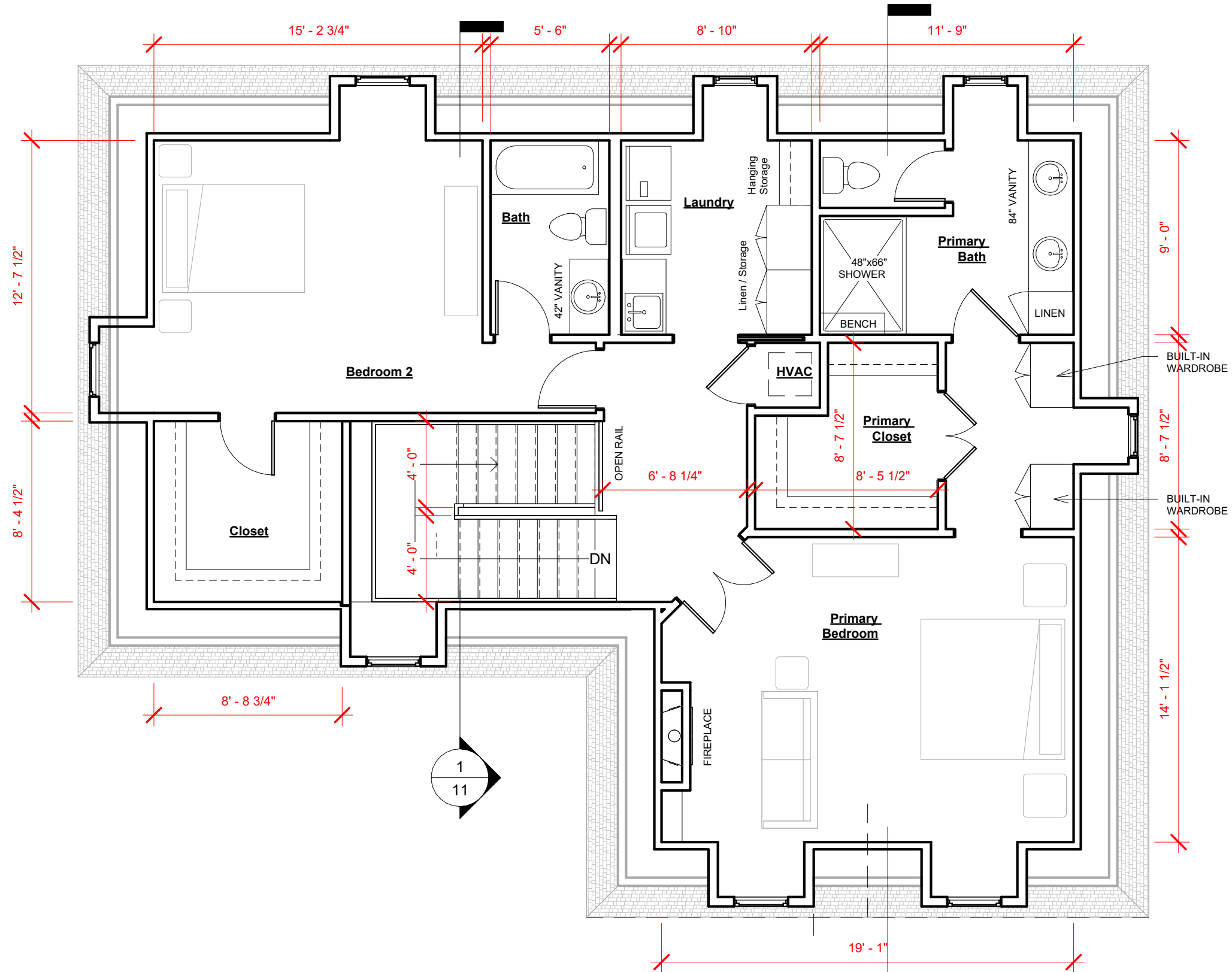


FIRST FLOOR + ENTRY: 1236 SF
 SCREENED PORCH: 235 SF
 GARAGE: 578 SF

1 First Floor
 3/16" = 1'-0"

First Floor	Sheet
Date	3/30/2026
Landmarks Update	02

New Construction for:
 1203 S. Main St. - New Home
 Project number 25-094
little hills architecture



SECOND FLOOR: 1196 SF
9' CEILINGS

New Construction for:
1203 S. Main St. - New Home

Project number 25-094

little hills architecture

① Second Floor
3/16" = 1'-0"

Second Floor Plan	Sheet	03
Date	3/30/2026	
Landmarks Update		



① 3D View - Front

New Construction for:
1203 S. Main St. - New Home

Project number 25-094

little hills architecture

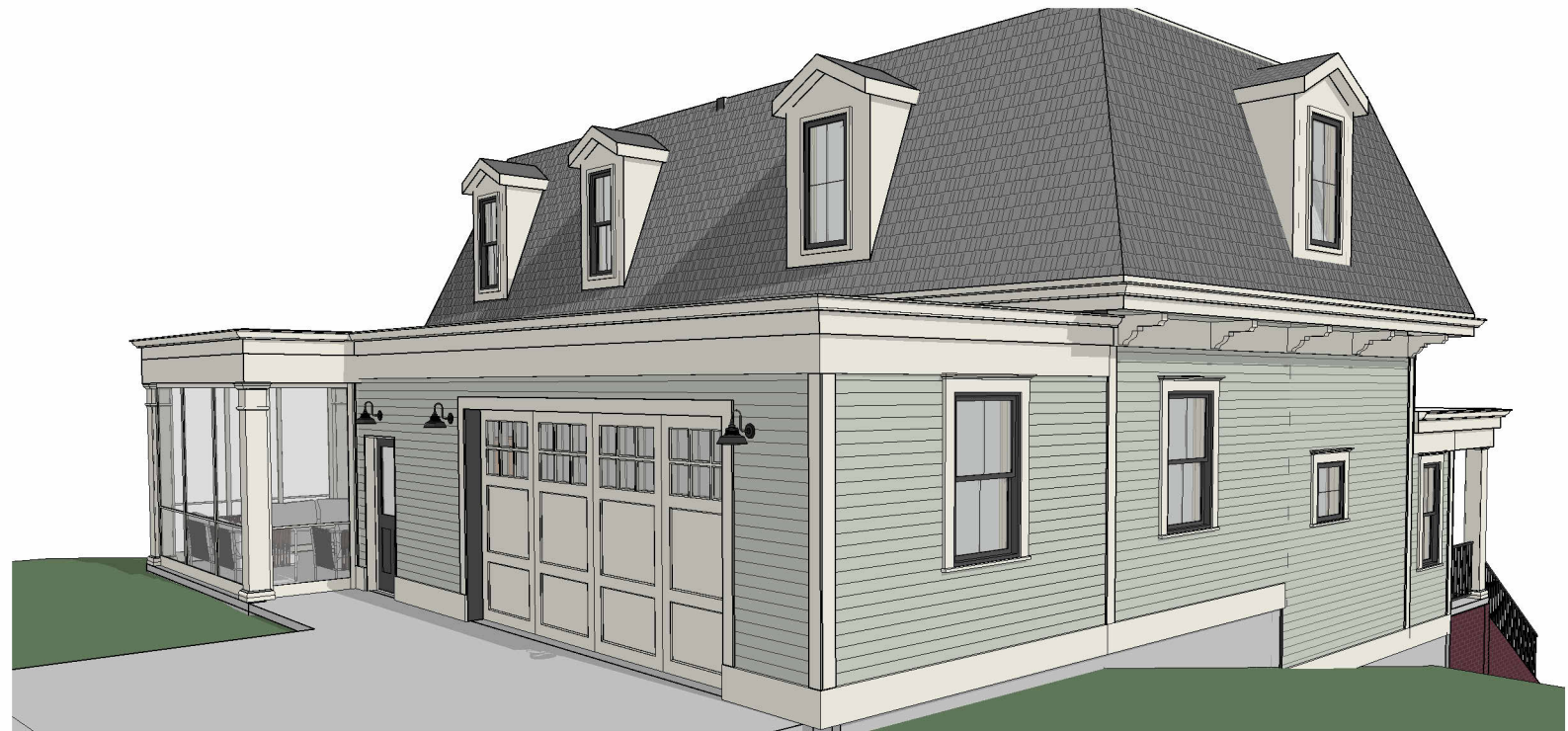
3D Views	Sheet
Date 3/30/2026	04
Landmarks Update	



① 3D View - Rear



② 3D View - Side



③ 3D View - Side 2

New Construction for:
1203 S. Main St. - New Home

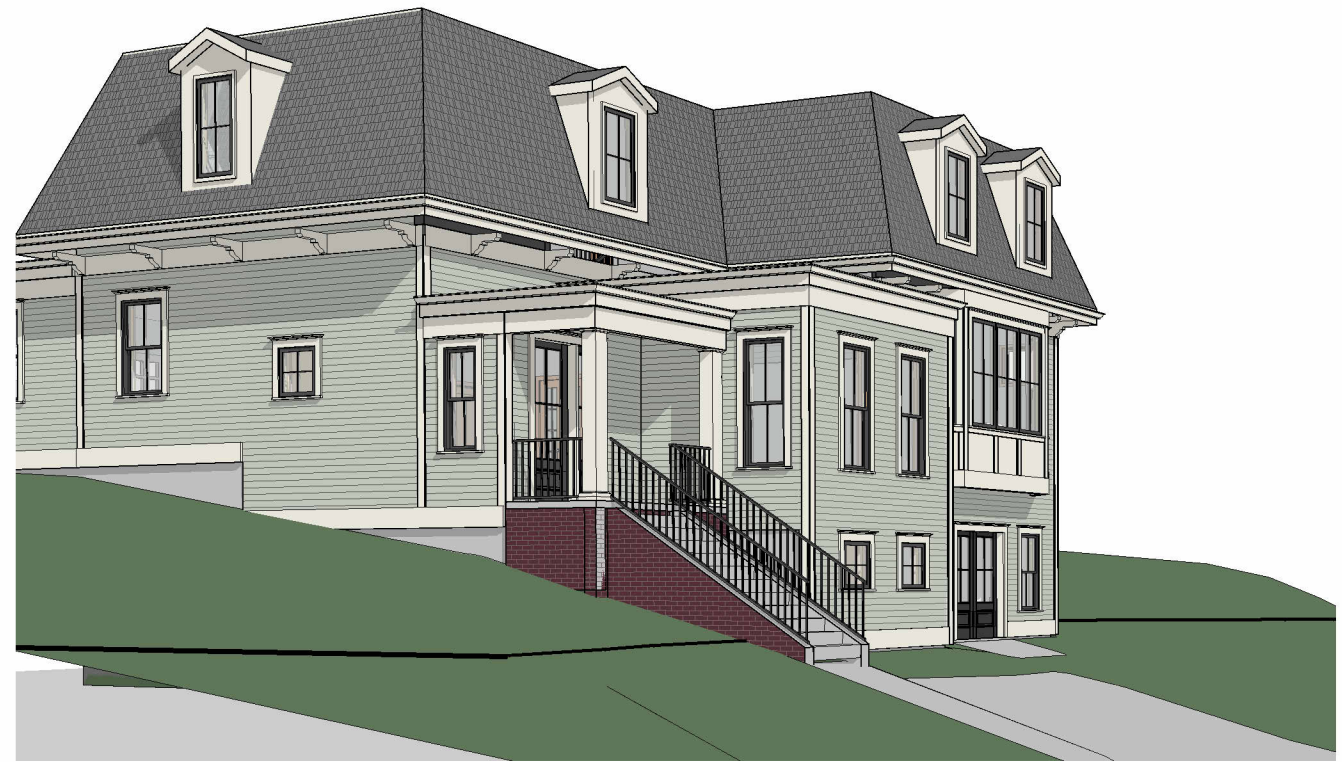
Project number 25-094

little hills architecture

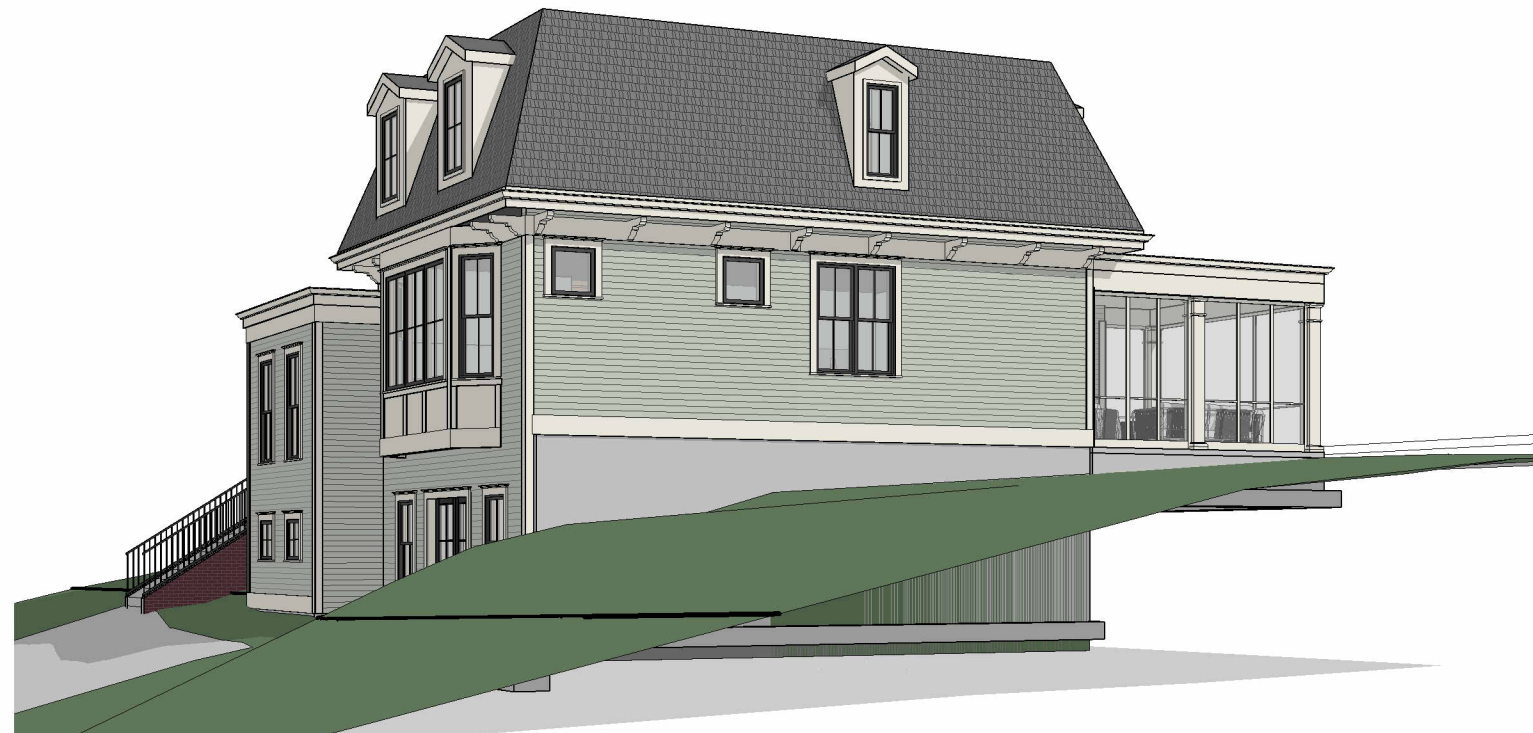
3D Views	Sheet
Date 3/30/2026	05
Landmarks Update	



③ 3D View- Main Street level



② 3D View - S. Main Street looking North



① 3D View - S. Main St. looking South

New Construction for:
1203 S. Main St. - New Home

Project number 25-094

little hills architecture

3D Views	Sheet
Date 3/30/2026	06
Landmarks Update	



- ELEVATION KEYED NOTES:**
1. FIBER CEMENT LAP SIDING, 4" EXPOSURE
 2. FIBER CEMENT TRIM
 3. DECORATIVE SUPPORT BRACKET
 4. ALUMINUM GUTTER
 5. COMPOSITE CLAD OR ALUMINUM CLAD WOOD WINDOW
 6. 3/4 GLASS PANEL WOOD DOOR & SIDELIGHT
 7. PORCH COLUMN WRAP W/ TRIM
 8. ASPHALT SHINGLES
 9. 36" HIGH ALUMINUM RAILING. BAULSTERS TO BE SPACED NOT GREATER THAN 4" O.C.
 10. GARAGE DOOR
 11. EXTERIOR GOOSENECK LIGHT FIXTURE
 12. CONCRETE STAIR
 13. BRICK VENEER
 14. ALUMINUM SCREEN SYSTEM
 15. 1/2 GLASS PANEL DOOR
 16. FIBER CEMENT FLAT PANEL SIDING W/ TRIM

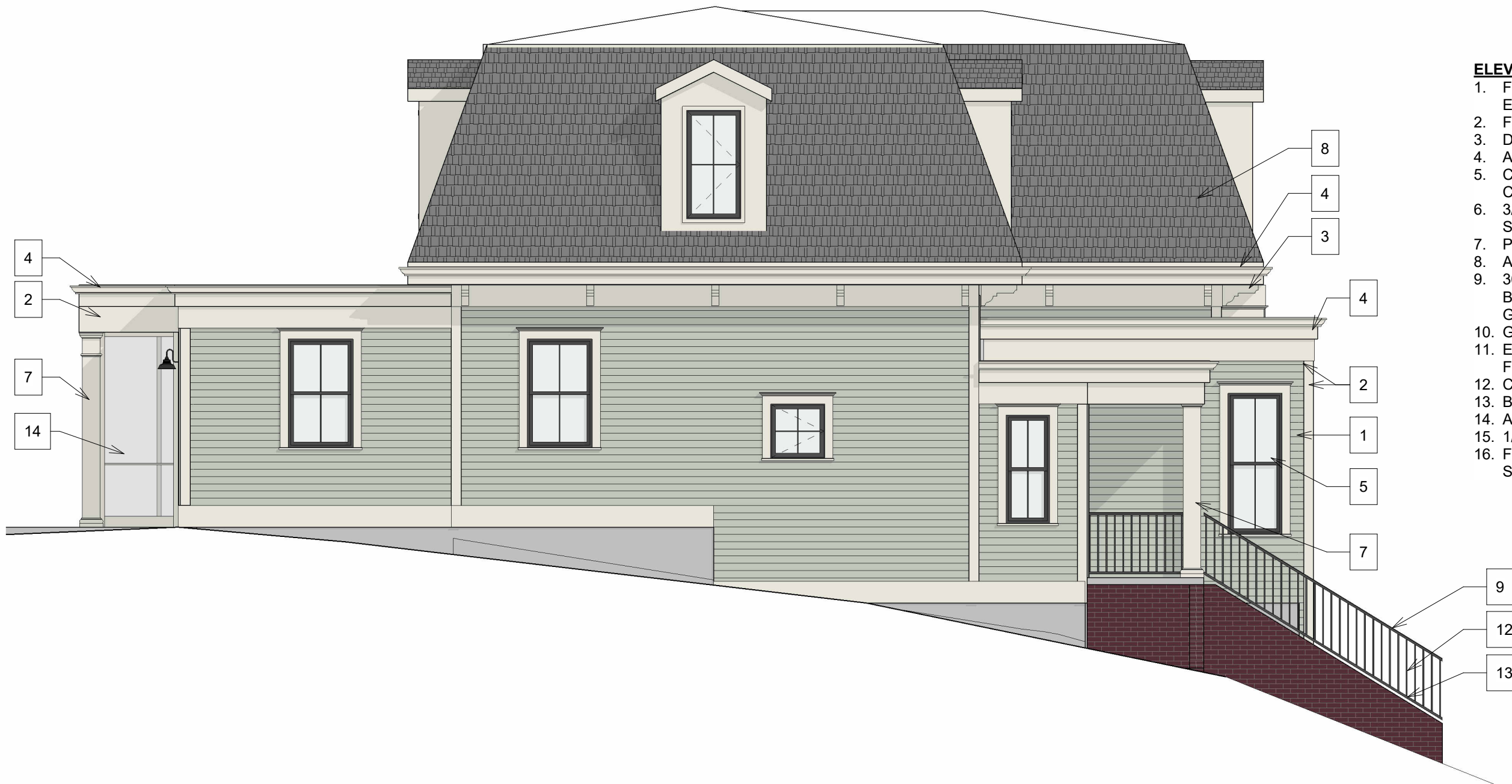
① Elevation - S. Main Street (East)
3/16" = 1'-0"

New Construction for:
1203 S. Main St. - New Home

Project number 25-094

little hills architecture

Exterior Elevation	Sheet	07
Date	3/30/2026	
Landmarks Update		



- ELEVATION KEYED NOTES:**
1. FIBER CEMENT LAP SIDING, 4" EXPOSURE
 2. FIBER CEMENT TRIM
 3. DECORATIVE SUPPORT BRACKET
 4. ALUMINUM GUTTER
 5. COMPOSITE CLAD OR ALUMINUM CLAD WOOD WINDOW
 6. 3/4 GLASS PANEL WOOD DOOR & SIDELIGHT
 7. PORCH COLUMN WRAP W/ TRIM
 8. ASPHALT SHINGLES
 9. 36" HIGH ALUMINUM RAILING. BAULSTERS TO BE SPACED NOT GREATER THAN 4" O.C.
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 12. CONCRETE STAIR
 13. BRICK VENEER
 14. ALUMINUM SCREEN SYSTEM
 15. 1/2 GLASS PANEL DOOR
 16. FIBER CEMENT FLAT PANEL SIDING W/ TRIM

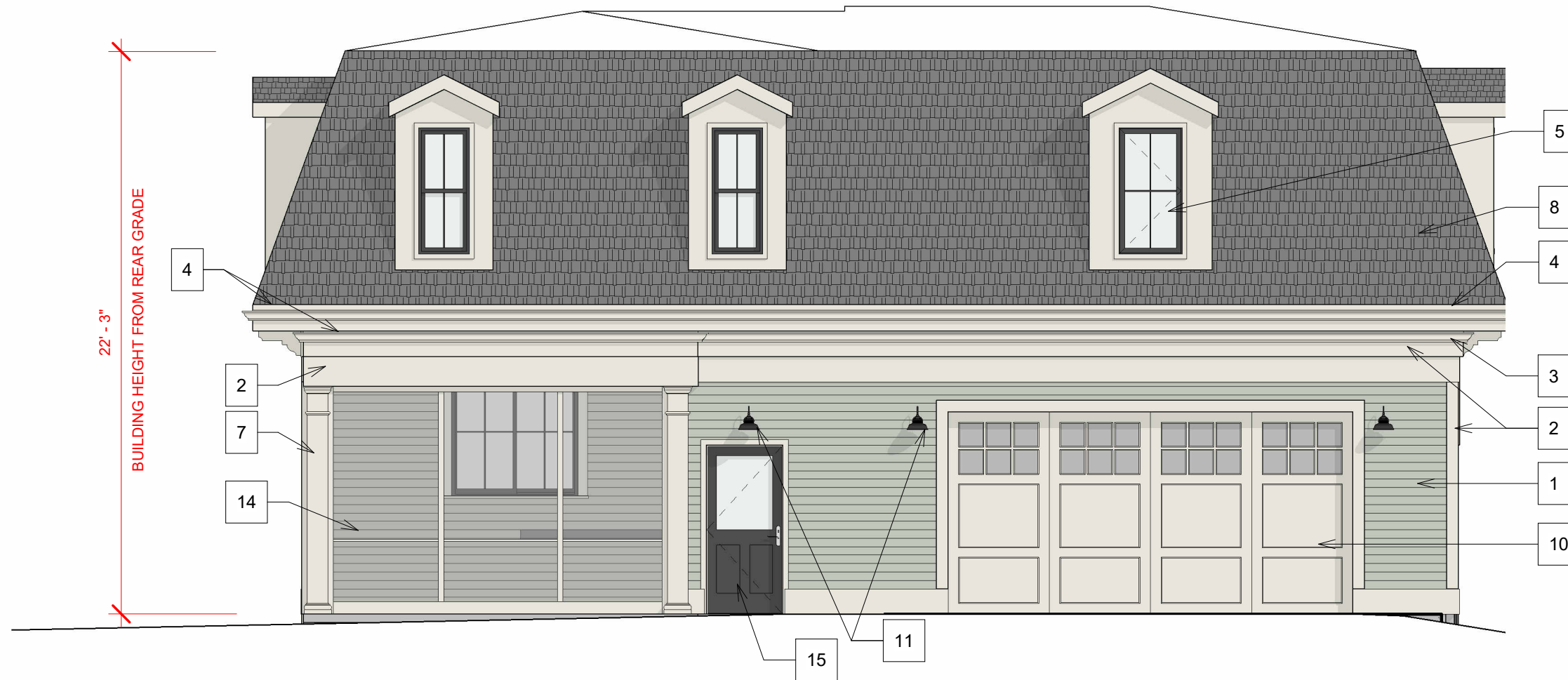
① Elevation - Side (South)
3/16" = 1'-0"

New Construction for:
1203 S. Main St. - New Home

Project number 25-094

little hills architecture

Exterior Elevation	Sheet	08
Date	3/30/2026	
Landmarks Update		



ELEVATION KEYED NOTES:

1. FIBER CEMENT LAP SIDING, 4" EXPOSURE
2. FIBER CEMENT TRIM
3. DECORATIVE SUPPORT BRACKET
4. ALUMINUM GUTTER
5. COMPOSITE CLAD OR ALUMINUM CLAD WOOD WINDOW
6. 3/4 GLASS PANEL WOOD DOOR & SIDELIGHT
7. PORCH COLUMN WRAP W/ TRIM
8. ASPHALT SHINGLES
9. 36" HIGH ALUMINUM RAILING. BAULSTERS TO BE SPACED NOT GREATER THAN 4" O.C.
10. GARAGE DOOR
11. EXTERIOR GOOSENECK LIGHT FIXTURE
12. CONCRETE STAIR
13. BRICK VENEER
14. ALUMINUM SCREEN SYSTEM
15. 1/2 GLASS PANEL DOOR
16. FIBER CEMENT FLAT PANEL SIDING W/ TRIM

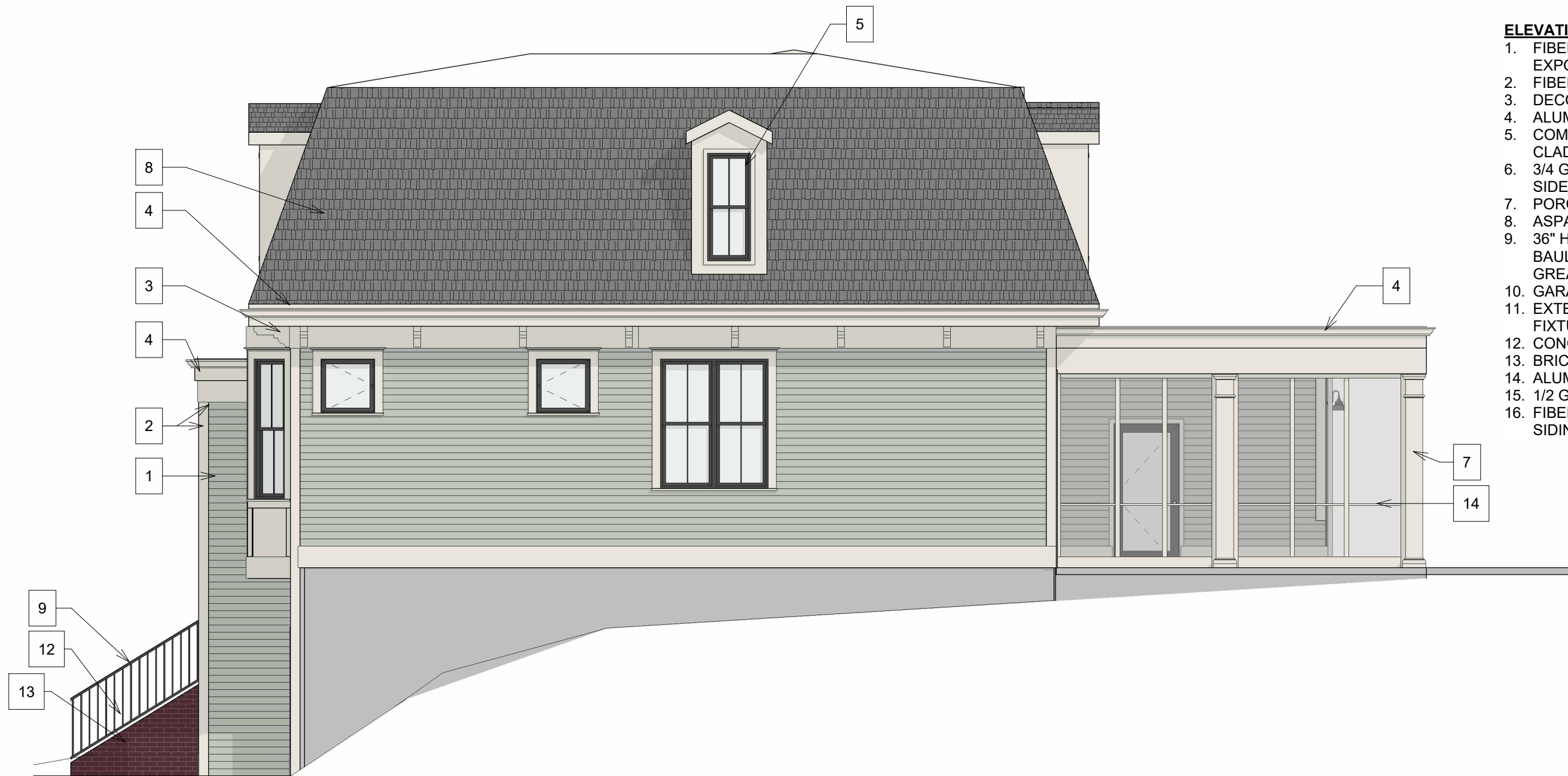
① Elevation - Rear (West)
3/16" = 1'-0"

New Construction for:
1203 S. Main St. - New Home

Project number 25-094

little hills architecture

Exterior Elevation	Sheet	09
Date	3/30/2026	
Landmarks Update		



ELEVATION KEYED NOTES:

1. FIBER CEMENT LAP SIDING, 4" EXPOSURE
2. FIBER CEMENT TRIM
3. DECORATIVE SUPPORT BRACKET
4. ALUMINUM GUTTER
5. COMPOSITE CLAD OR ALUMINUM CLAD WOOD WINDOW
6. 3/4 GLASS PANEL WOOD DOOR & SIDELIGHT
7. PORCH COLUMN WRAP W/ TRIM
8. ASPHALT SHINGLES
9. 36" HIGH ALUMINUM RAILING. BAULSTERS TO BE SPACED NOT GREATER THAN 4" O.C.
10. GARAGE DOOR
11. EXTERIOR GOOSENECK LIGHT FIXTURE
12. CONCRETE STAIR
13. BRICK VENEER
14. ALUMINUM SCREEN SYSTEM
15. 1/2 GLASS PANEL DOOR
16. FIBER CEMENT FLAT PANEL SIDING W/ TRIM

① Elevation - Side (North)
3/16" = 1'-0"

New Construction for:
1203 S. Main St. - New Home

Project number 25-094

little hills architecture

Exterior Elevation	Sheet
Date 3/30/2026	10
Landmarks Update	



AGENDA ITEM #5A

**STAFF REPORT
HANGING SIGN
337 SOUTH MAIN STREET
PERMIT NO. 2026-1518**

BY TAYLOR MOORE

APPLICANT: Emily Schroen
1723 Gallaher Avenue
St. Charles, MO 63301

OWNER: Ian Schroen
1723 Gallaher Avenue
St. Charles, MO 63301

ADDRESS/LOCATION: 337 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial—Main Street Books

MEETING DATE: April 20, 2026

BACKGROUND

Built prior to 1870, the subject property is the 2½ story, Italianate commercial building located at 337 South Main Street in the South Main Preservation District. The business “Main Street Books” has moved from its previous location at 307 South Main Street to the subject property. The applicant is requesting approval to install the same 16” x 36” (approx. 4 sq. ft.) wood sign that was utilized at the previous storefront. The sign employs colors from the approved Williamsburg paint color chart and has the business name and the wording “Established 1993,” as well as illustrations of a light standard and bird. The sign is proposed to hang from chains from the central front balcony. Accompanying this report are photographs of the building and the existing sign.

APPLICABLE DESIGN GUIDELINES

SECTION 400.1510: GENERAL STANDARDS FOR THE SUPERIMPOSED DISTRICTS

A. Approval Required.

1. Generally, Signs in the “SMPD,” “HDD,” “FHD,” and “LMPD” Superimposed Districts require a Certificate of Appropriateness from the HLPARB before their installation unless exempted from the permitting requirement by this Division.
2. “EHP” District. Signs in the “EHP” District require a Certificate of Appropriateness from HLPARB if they are displayed on a building constructed before 1960, unless exempted from the permitting requirement by this Division.

SECTION 400.1530: BUILDING MOUNTED SIGNS IN THE SUPERIMPOSED DISTRICTS

B. Projecting Signs.

- 1 Projecting sign permitted per business in the SMPD up to 5.5 s. f.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter VIII: Guidelines for Signs

Sign Context

- 8.2 A sign must be subordinate to the overall building composition.
- a. A sign shall appear to be in scale with the façade.
 - b. Locate a sign on a building such that it will emphasize design elements of the façade itself. In no case should a sign obscure architectural details or features.
- 8.3 A sign shall be in character with the material, color and detail of the building.
- a. Simple letter styles and graphic designs are more appropriate on many of the restrained, vernacular structures found on South Main Street.

Permitted Sign Types

- 8.5 Projecting signs may be considered.
- a. A projecting sign should be located near the business entrance at eye level, just above the door or to the side of it.
 - b. In general, only one projecting sign per building façade is allowed. However, where the Board determines that the result would be compatible with the District, one projecting sign shall be allowed for each distinct façade module of a building.

Sign Materials

- 8.11 Sign materials shall be compatible with that of the building façade.
- a. Painted wood and metal are appropriate materials for signs. Their use is encouraged. Unfinished materials, including unpainted wood, are discouraged because they are out of character with the historic context.

Sign Content

- 8.13 Use colors for the sign that are compatible with those of the building front.
- 8.14 Simple sign designs are preferred.
- a. Typefaces that are in keeping with those seen in the area historically are encouraged. Avoid sign types that appear too contemporary.
 - b. Also limit the number of colors used on a sign. In general, no more than three colors should be used.

STAFF RECOMMENDATION

The sign was previously approved by the Board for the 307 South Main Street location but must be reviewed for its new location. The design, size, materials and placement of the proposed sign are acceptable, and the colors are from the approved Williamsburg paint color chart. The sign will be hung from chains under the second story balcony, but the existing chains are currently silver and shall be painted black to avoid a modern appearance. In addition, the ordinance requires that the sign must clear the sidewalk by at least 8'. Therefore, Staff recommends approval of the sign, subject to the following conditions:

1. All chains and hardware shall be black to avoid modern appearance.
2. The sign shall have a head clearance of at least 8'.

Recommended Motion:

Motion to approve a new hanging sign for the business “Main Street Books” at 337 South Main Street, subject to the conditions recommended by Staff.



Figure 1: Subject property seen from street.



Figure 2: Subject sign above doorway



Figure 3: Sign seen from the sidewalk.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557

SIGN PERMIT APPLICATION

Sign-N
R6-1518

Date Received: 3/26

Permit #: R6-1518

DOCUMENTS REQUIRED WITH APPLICATION

Colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
- Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
- Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

Application and plans may be submitted electronically to Building@stcharlescivmo.gov.

SIGN LOCATION:

NAME OF BUSINESS: Main Street Books

Taylor.moore@stcharlescivmo.gov

ADDRESS: 337 S. Main St.

WARD 2

Is this property located in a historic district? (Check One): YES NO

*If yes, Landmarks Board approval is required. All requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).

APPLICANT:

Name: Emily Schroen

Phone: 636 373 0825

Address: 1723 Gallaher Ave

City, State & Zip: St. Charles, MO 63301

Email: mainstreetbooksstcharles@gmail.com

SIGN CONTRACTOR:

Name: _____

Phone: _____

Address: N/A

City, State & Zip: N/A

Email: _____

PROPERTY OWNER:

Name: Ian Schroen

Phone: 623-826-9312

Address: 1723 Gallaher Ave

City, State & Zip: St. Charles, MO 63301

Email: pileatedproperties@gmail.com

TYPE OF SIGN(S): (mark all that apply)

- Freestanding Building-Mounted Incidental Temporary Mural ("FPD" only)

SIGN INFORMATION:

Total number of signs being requested? 1

36" x 16" wood

Building Façade of occupant's portion of the building: 21 (in square feet)

Road Frontage, Property line where the lot is adjacent to a public street or private street: 10 (in linear feet)

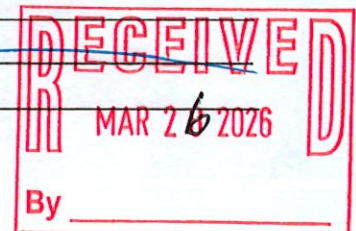
Who is installing the signage? Owner/Tenant Contractor Other (Specify) _____

Will the sign(s) be illuminated? YES NO *If yes, will new wiring be required? YES NO

Company name of licensed electrician (if required): N/A

SIGNATURE OF APPLICANT: _____

SIGNATURE OF PROPERTY OWNER: _____



Marissa Weiss

From: Ian Schroen <iansmsb@gmail.com>
Sent: Thursday, March 26, 2026 4:37 PM
To: Building Permits
Subject: Re: Sign Permit for 337 S Main St, ST Charles MO 63301

Follow Up Flag: Follow up
Flag Status: Completed

CAUTION: This email originated from outside of the City of Saint Charles. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Wooden sign
36" x 16"

On Thu, Mar 26, 2026 at 16:16 Building Permits <building@stcharlescitemo.gov> wrote:

Good afternoon,

They said you need a picture (which I have already), the dimensions and material of the sign

Thank you

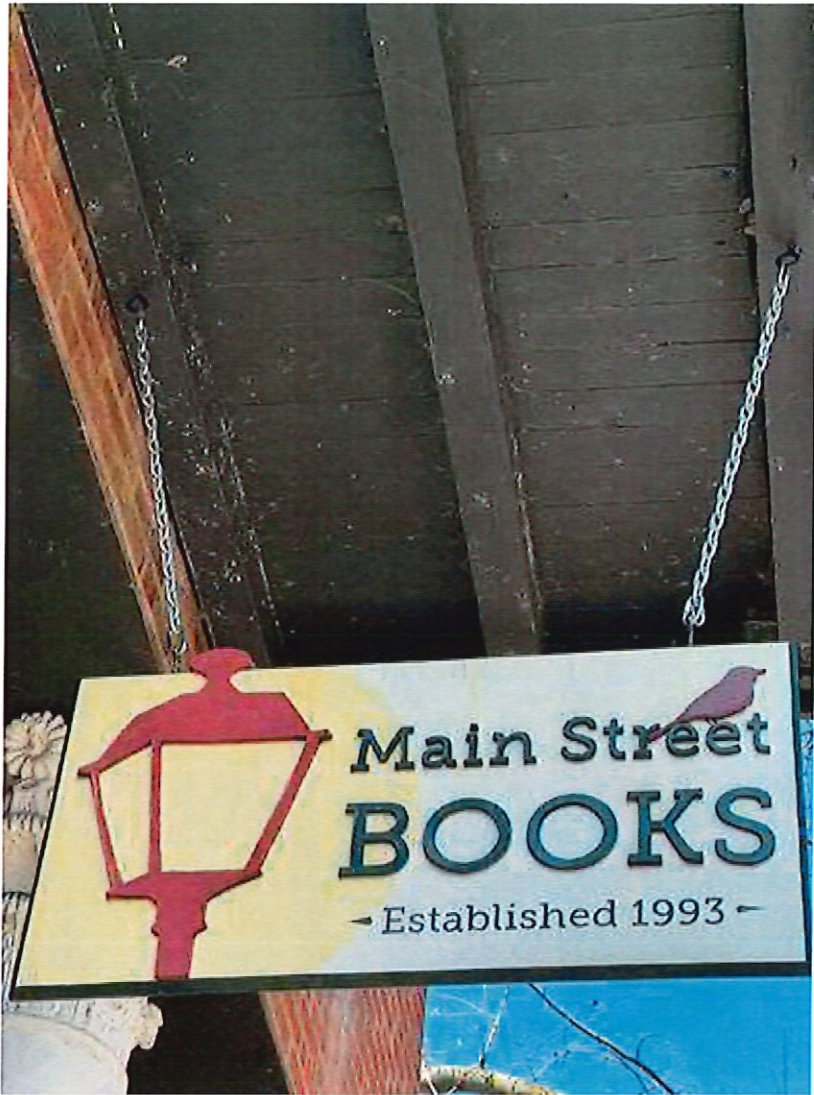
From: Ian Schroen <iansmsb@gmail.com>
Sent: Thursday, March 26, 2026 2:19 PM
To: Building Permits <building@stcharlescitemo.gov>
Subject: Sign Permit for [337 S Main St, ST Charles MO 63301](#)

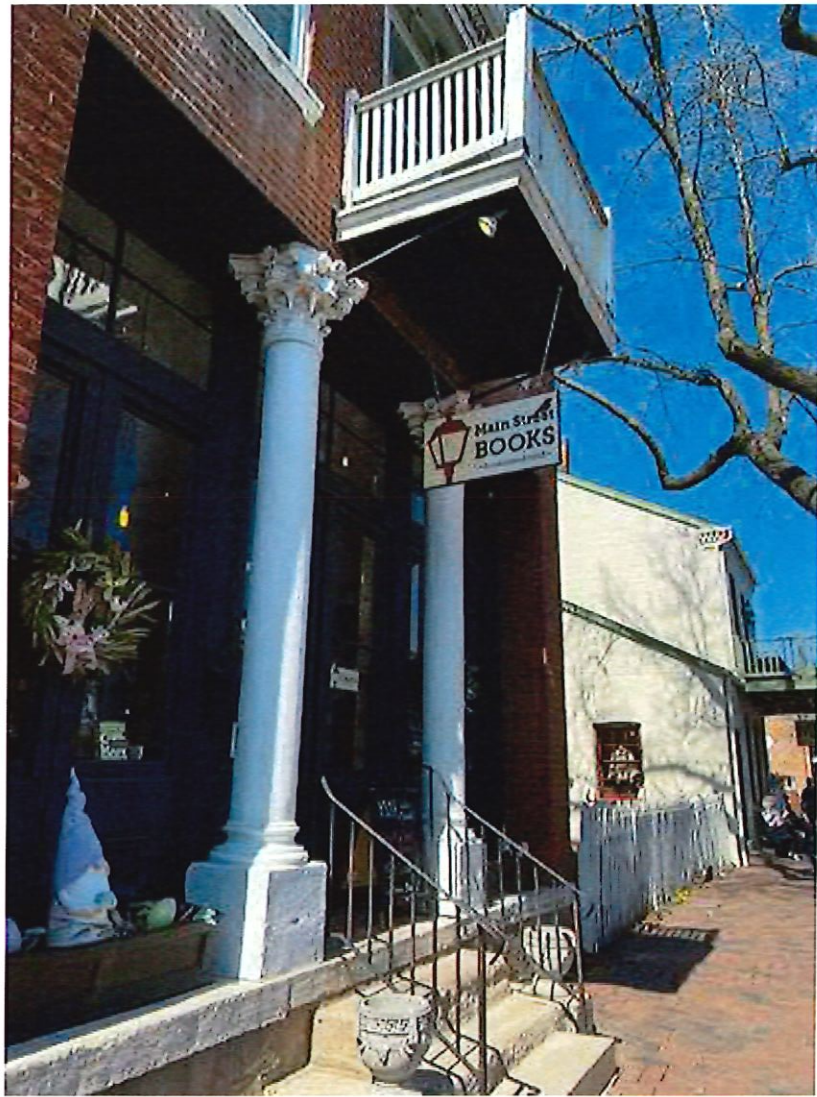
CAUTION: This email originated from outside of the City of Saint Charles. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

I'm trying to find out what documentation we need for a sign permit if we are moving a hanging sign from one hanging sign fixture to another. Attached is the application and pictures of how it attaches to the new mounting point.

Thank you for your guidance and help







STAFF REPORT
WALL-MOUNTED SIGN
418 JEFFERSON STREET
PERMIT NO. 2026-1721

BY TAYLOR MOORE

APPLICANT: Jeremy North
424 Jefferson Street
St. Charles, MO 63301

OWNER: Same as above

ADDRESS/LOCATION: 418 Jefferson Street

ZONING: CBD – Central Business District
EHP – Extended Historic Preservation District

USE: Office

MEETING DATE: April 20, 2026

BACKGROUND

Built circa 1890, the subject property is the 2-story, Late Victorian style house located at 418 Jefferson Street in the Extended Historic Preservation District. The building is also considered a contributing resource to the Midtown Neighborhood National Historic District. The applicant is requesting approval to install a new 24” x 144” (24 sq. ft.) metal wall-mounted sign for the business “360 Estate & Tax Group.” Accompanying this application are sign specs and photographs of the existing structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.1530 BUILDING-MOUNTED SIGNS IN THE SUPERIMPOSED DISTRICTS:

A. Wall Signs

1. The general sign standards for the base district in Section 400.1450 apply.

SECTION 400.1450 MEASUREMENTS:

- A. Road Frontage. Where this Article calculates a sign allowance based on frontage or road frontage, the measurement is the total length of the property line where the lot is adjacent to the right-of-way of a public street or private street, expressed in linear feet.
- B. Building Facade. For the purposes of this Article, a building facade is a building elevation that contains the front of the building as viewed from the right-of-way or an elevation that is oriented to the parking lot and contains the main entrance.
- C. Facade Width. Where this Article calculates a sign area allowance based on the width of a building's facade, the width of the facade is:

1. The horizontal distance of the facade at grade on the side of the building facing a public street or with a public entrance for single-user lots; or
2. The horizontal distance of the portion of the facade between party walls or tenant separation partitions for the particular occupant at grade on the side of the building facing a public street or with a public entrance for multi-tenant developments with separate public entrances for each tenant.

SECTION 400.1480 BUILDING-MOUNTED SIGNS

- A. Location Standards. A building-mounted sign shall not protrude beyond any property line for the lot on which the building is located.
- B. Wall Signs
 1. Mixed-Use Commercial: 10% of Façade Area up to 40 s.f.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC PRESERVATION DISTRICT

5. SIGNS—NEW OR MODIFIED REQUIRING A PERMIT

- a. Every sign shall have good scale and proportion in its design and in its visual relationship to buildings and surroundings.
- b. Every sign shall be designed as an integral architectural element of the building and site to which it principally relates.
- c. The colors, materials, and lighting of every sign shall be restrained and harmonious with the building and site to which it principally relates.
- d. The number of graphic elements on a sign shall be held to the minimum needed to convey the sign's major message and shall be composed in proportion to the area of the sign face.

STAFF RECOMMENDATION

The Extended Historic Preservation District adheres to the City's standard sign regulations for wall-mounted signage. The subject building has a total linear frontage of approximately 28', and the proposed signs square footage is 24', thereby meeting applicable dimensional requirements. The sign is proposed to be constructed of black metal with gold vinyl lettering identifying the business name. The sign will be wall-mounted and shall be installed within the mortar joints rather than directly into the brick face, to avoid damage to historic materials. Staff finds that the proposed signage is consistent with the district's design standards and applicable regulations. Therefore, Staff recommends approval of the sign, subject to the following condition:

1. The sign shall be installed within the mortar joints rather than the brick face

Recommended Motions:

Motion to approve a new wall-mounted sign for the business "360 Estate & Tax" at 418 Jefferson Street, subject to the condition recommended by Staff.



Figure 1: Subject structure seen currently.



Figure 2: Proposed signage location, dimensions, and mounting method.



Figure 3: Subject property's location.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557



SIGN PERMIT APPLICATION

Today's Date: _____

Permit #: _____

DOCUMENTS REQUIRED WITH APPLICATION

Two (2) colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
- Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
- Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

SIGN LOCATION:

NAME OF BUSINESS: **360 Estate & Tax Group**

ADDRESS: 418 Jefferson St. St. Charles, MO 63303

*Is this property located in a historic district? (Check One): YES NO

*If yes, Landmarks Board approval is required. Sixteen (16) colored copies of all requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).

APPLICANT:

Name: Jeremy North

Address: 424 Jefferson St

Phone: (636) 795-8932

Email: jnorth@360ira.com

City, State & Zip: St. Charles, MO 63303

SIGN CONTRACTOR:

Name: FASTSIGNS St Peters

Address: 4101 Mexico Rd, Suite C

Phone: 636-875-7337

Email: russ.mason@FASTSIGNS.com

City, State & Zip: St Peters MO

PROPERTY OWNER:

Name: 360 Investment & Retirement Advisory

Address: 424 Jefferson St

Phone: (636) 795-8932

Email: jnorth@360ira.com

City, State & Zip: St Charles, 63303

TYPE OF SIGN(S):

Banner Window Frame/Sandwich Board Hanging Wall Monument ^A Awning Pole

SIGN INFORMATION: Total number of signs being requested? 1 1

Sign Dimensions: 144"W x 24"H = 24 Sq. Ft.

Lineal Frontage of occupant's portion of the building: 28

Who is installing the signage? Owner/Tenant Contractor

Will the sign(s) be illuminated? YES NO

*If yes, will new wiring be required? YES NO Company name licensed electrician (if required):

SIGNATURE OF APPLICANT: Russell Mason

SIGNATURE OF PROPERTY OWNER: See attached approval

Date Received Stamp



Building Face - 28ft Wide
 Code Multiplier - 1 Sq. Ft. per Linal Foot Facing the Road
 Maximum allowed square footage per code for sign - 28 Sq. Ft.
 Proposed Sign Dimensions - 144"W x 24"H = 24 Sq. Ft.

Sign Panel:
 6mm Black Max Metal
 Gold Colored Vinyl Letters
 144" Wide x 24" Tall
 Mounted to Wall with Tapcon Concrete Anchors



Mounting

I Jeremy North, representing 360 IRA and Norquin Properties LLC owner of the property located at 418 Jefferson St.
 NAME Titled Property Owner

St. Charles, MO 63301, approve for the wall sign as depicted herein to be installed by FASTSIGNS St. Peters on behalf of 360 Estate & Tax Group

Signed: *Jeremy North*, Title: Owner Date: 04-02-2026

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION.



4101 Mexico Rd., Suite C
 St. Peters, MO
 63376
 (636) 875-7337

Address: 418 Jefferson St.
 City: St. Charles
 State: Missouri
 Account Rep: _____
 Sales Rep: Z. Bowman

APPROVALS
 CLIENT _____
 DESIGN _____
 PROD. _____
 Designer: Z. Bowman

Design No. _____
 DATE _____
 Rev. Date: _____
 DESCRIPTION _____

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.



FASTSIGNS®
Make Your Statement™

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St. Peters, MO
63376
(636) 875-7337

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Address: 418 Jefferson St.

City: St. Charles

State: Missouri

Account Rep: _____

Sales Rep: Z. Bowman

APPROVALS

CLIENT _____

DESIGN _____

PROD. _____

Designer: Z. Bowman

Design No. _____

DATE _____

Rev. Date: _____

DESCRIPTION

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.



AGENDA ITEM #5C

STAFF REPORT
WALL-MOUNTED SIGN
424 JEFFERSON STREET
PERMIT NO. 2026-1723

BY TAYLOR MOORE

APPLICANT: Jeremy North
424 Jefferson Street
St. Charles, MO 63301

OWNER: Same as above

ADDRESS/LOCATION: 424 Jefferson Street

ZONING: CBD – Central Business District
EHP – Extended Historic Preservation District

USE: Office

MEETING DATE: April 20, 2026

BACKGROUND

Built circa 1890 and located in the Extended Historic Preservation District, the subject property is the two-story, brick, Late Victorian building at 424 Jefferson Street. The property is also considered to be a contributing resource to the Midtown National Historic District. The applicant is requesting approval to install a new 22” x 210” (approx. 32 sq. ft.) metal wall-mounted sign for the business “360 Investment & Retirement.” Accompanying this application are sign specs and photographs of the existing structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.1530 BUILDING-MOUNTED SIGNS IN THE SUPERIMPOSED DISTRICTS:

A. Wall Signs

1. The general sign standards for the base district in Section 400.1450 apply.

SECTION 400.1450 MEASUREMENTS:

- A. Road Frontage. Where this Article calculates a sign allowance based on frontage or road frontage, the measurement is the total length of the property line where the lot is adjacent to the right-of-way of a public street or private street, expressed in linear feet.
- B. Building Facade. For the purposes of this Article, a building facade is a building elevation that contains the front of the building as viewed from the right-of-way or an elevation that is oriented to the parking lot and contains the main entrance.
- C. Facade Width. Where this Article calculates a sign area allowance based on the width of a building's facade, the width of the facade is:
 1. The horizontal distance of the facade at grade on the side of the building facing a public street or with a public entrance for single-user lots; or

2. The horizontal distance of the portion of the facade between party walls or tenant separation partitions for the particular occupant at grade on the side of the building facing a public street or with a public entrance for multi-tenant developments with separate public entrances for each tenant.

SECTION 400.1480 BUILDING-MOUNTED SIGNS

- A. Location Standards. A building-mounted sign shall not protrude beyond any property line for the lot on which the building is located.
- B. Wall Signs
 1. Mixed-Use Commercial: 10% of Façade Area up to 40 s.f.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC PRESERVATION DISTRICT

5. SIGNS—NEW OR MODIFIED REQUIRING A PERMIT

- a. Every sign shall have good scale and proportion in its design and in its visual relationship to buildings and surroundings.
- b. Every sign shall be designed as an integral architectural element of the building and site to which it principally relates.
- c. The colors, materials, and lighting of every sign shall be restrained and harmonious with the building and site to which it principally relates.
- d. The number of graphic elements on a sign shall be held to the minimum needed to convey the sign's major message and shall be composed in proportion to the area of the sign face.

STAFF RECOMMENDATION

The Extended Historic Preservation District adheres to the City's standard sign regulations for wall-mounted signage. The subject building has a total linear frontage of approximately 34', and the proposed signs square footage is approximately 32', thereby meeting applicable dimensional requirements. The sign is proposed to be constructed of black metal with gold vinyl lettering identifying the business name. The sign will be wall-mounted and shall be installed within the mortar joints rather than directly into the brick face, to avoid damage to historic materials. Staff finds that the proposed signage is consistent with the district's design standards and applicable regulations. Therefore, Staff recommends approval of the sign, subject to the following condition:

1. The sign shall be installed within the mortar joints rather than the brick face.

Recommended Motions:

Motion to approve a new wall-mounted sign for the business "360 Investment and Retirement" at 424 Jefferson Street, subject to the condition recommended by Staff.



Figure 1: Subject property seen currently.



Figure 2: Proposed sign location, illustration, and dimensions.



Figure 3: Subject property's location.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557



SIGN PERMIT APPLICATION

Today's Date: _____

Permit #: _____

DOCUMENTS REQUIRED WITH APPLICATION

Two (2) colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
• Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
• Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

SIGN LOCATION:

NAME OF BUSINESS: 360 Investment & Retirement Advisory

ADDRESS: 424 Jefferson St. St. Charles, MO 63303

*Is this property located in a historic district? (Check One): YES [checked] NO []

*If yes, Landmarks Board approval is required. Sixteen (16) colored copies of all requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).

APPLICANT:

Name: Jeremy North

Address: 424 Jefferson St

Phone: (636) 795-8932

Email: jnorth@360ira.com

City, State & Zip: St. Charles, MO 63303

SIGN CONTRACTOR:

Name: FASTSIGNS St Peters

Address: 4101 Mexico Rd, Suite C

Phone: 636-875-7337

Email: russ.mason@FASTSIGNS.com

City, State & Zip: St Peters MO

PROPERTY OWNER:

Name: 360 Investment & Retirement Advisory

Address: 424 Jefferson St

Phone: (636) 795-8932

Email: jnorth@360ira.com

City, State & Zip: St Charles, 63303

TYPE OF SIGN(S):

[] Banner [] Window [] Frame/Sandwich Board [checked] Hanging [checked] Wall Monument ^ Awning Pole

SIGN INFORMATION: Total number of signs being requested? 1 1

Sign Dimensions: 210"W x 22"H = 32.08 Sq. Ft.

Lineal Frontage of occupant's portion of the building: 34

Who is installing the signage? Owner/Tenant [X] Contractor [X]

Will the sign(s) be illuminated? YES [NO]

*If yes, will new wiring be required? YES [NO] Company name licensed electrician (if required):

SIGNATURE OF APPLICANT: Russell Mason

SIGNATURE OF PROPERTY OWNER: See attached approval

Date Received Stamp



Building Face - 34ft Wide
 Code Multiplier - 1 Sq. Ft. per Linal Foot Facing the Road
 Maximum allowed square footage per code for sign - 34 Sq. Ft.

Proposed Sign Dimensions - 210"W x 22"H = 32.08 Sq. Ft.

Sign Panel:
 6mm Black Max Metal
 Gold Colored Vinyl Letters
 210" Wide x 22" Tall
 Mounted to Wall with Tapcon Concrete Anchors



Mounting

I, Jeremy North, representing 360 IRA and Norquin Properties LLC owner of the property located at 424 Jefferson St.
 NAME Titled Property Owner

St. Charles, MO 63301, approve for the wall sign as depicted herein to be installed by FASTSIGNS St. Peters on behalf of 360 Investments & Retirement

Signed: *Jeremy North*, Title: Owner Date: 04-02-2026

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION.

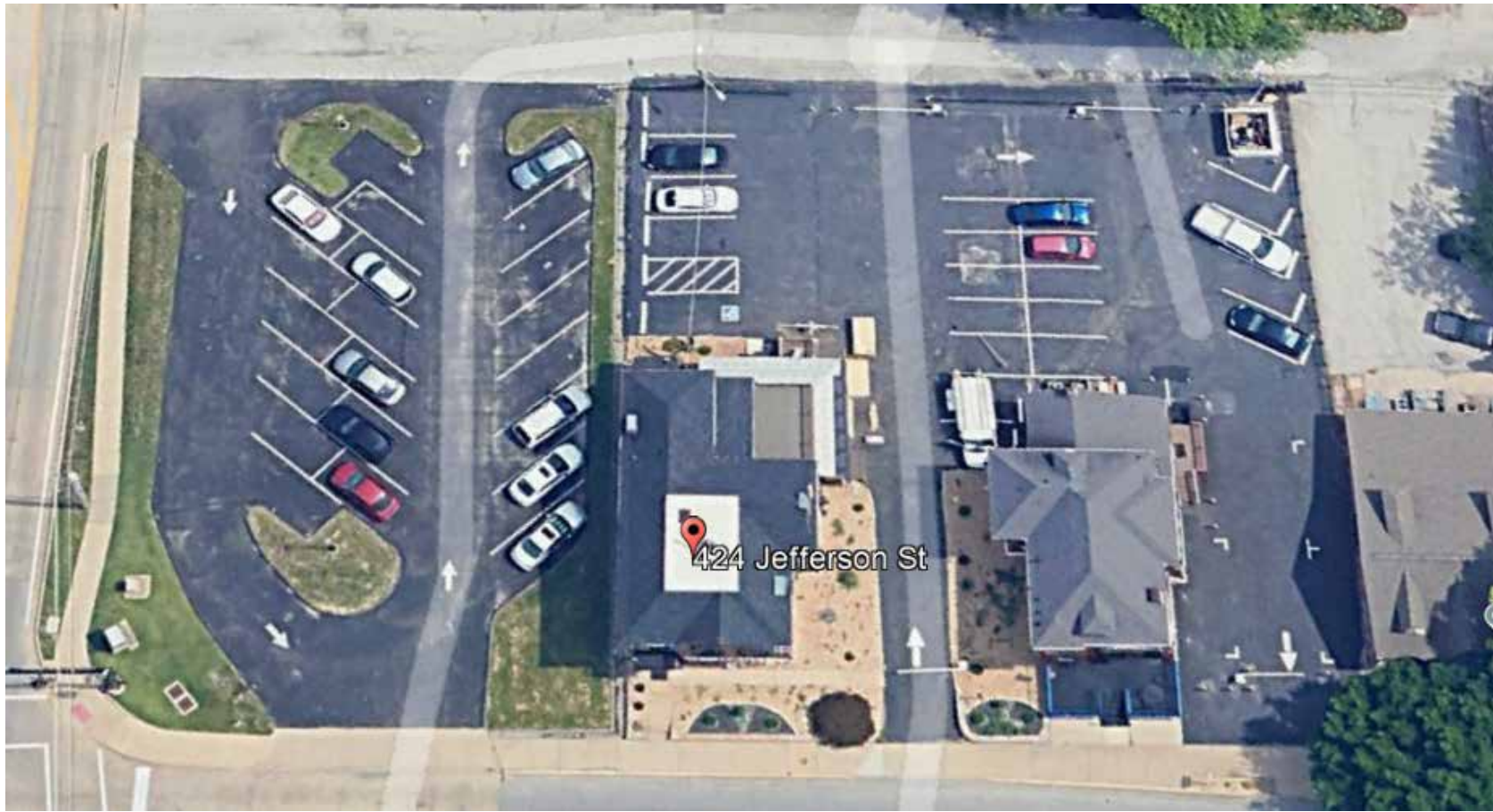


4101 Mexico Rd., Suite C
 St. Peters, MO
 63376
 (636) 875-7337

Address: 424 Jefferson St.
 City: St. Charles
 State: Missouri
 Account Rep: _____
 Sales Rep: Z. Bowman
 APPROVALS
 CLIENT _____
 DESIGN _____
 PROD. _____
 Designer: Z. Bowman

Design No. _____
 DATE _____
 Rev. Date: _____
 DESCRIPTION _____

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.



FASTSIGNS®
Make Your Statement™

4101 Mexico Rd., Suite C
St. Peters, MO
63376
(636) 875-7337

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Address: 418 Jefferson St.

City: St. Charles

State: Missouri

Account Rep: _____

Sales Rep: Z. Bowman

APPROVALS

CLIENT _____

DESIGN _____

PROD. _____

Designer: Z. Bowman

Design No. _____

DATE _____

Rev. Date: _____

DESCRIPTION

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.



AGENDA ITEM #6A

STAFF REPORT
ROOF AND REAR STAIRS
132 NORTH MAIN STREET
CASE NO. EC-2026-21

BY TAYLOR MOORE

APPLICANT: S J Hollander Architect
Steve Hollander
519 First Capitol Drive
St. Charles, MO 63301

OWNER: Garfield and Lincoln Inc.
132 North Main Street
St. Charles, MO 63301

ADDRESS/LOCATION: 132 North Main Street

ZONING: CBD—Central Business District
HDD—Historic Downtown District

USE: Commercial—Tony’s on Main Street

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is the 2½-story brick commercial building located at 132 North Main Street in the Historic Downtown District. The structure was built in 1865 and is considered a contributing property to the St. Charles Historic District National Register. As part of a proposed roof replacement project, the applicant is requesting approval to remove two rear dormers and a portion of masonry along the northern roofline wall. Additionally, the applicant is also requesting approval to construct an upper-level rooftop egress walkway that will be accessed by a new rear staircase. Accompanying the application is a site plan for the new construction, elevation drawings, and existing photographs of the structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.350 “HDD” HISTORIC DOWNTOWN DISTRICT.

C. Building, Sign and Occupancy Permits.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, including signs, or in any way change the outward appearance of any building or structure in the Historic Downtown District overlay without having obtained a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural review Board (HLPARB). The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE HISTORIC DOWNTOWN DISTRICT

Design of Alterations

- 4.1 Design alterations to be compatible with the historic character of the property.
- 4.2 Avoid alterations that would damage historic features.

Roofs

- 4.7 Preserve original roof forms and elements.
 - c. Do not remove features that help define architectural style. For example, mansard roofs are typical of the Second Empire style and dormers are typical to the Federal style.

Architectural Details:

- 4.10 Preserve the historic design character of the building
 - b. Do not remove features that help define the character of a building or are representative of an architectural style. For example, dormers should not be removed or altered from Federal-influence buildings.
- 4.11 Minimize alteration of historically significant features.
 - a. Maintain historically significant features that are intact, such as brackets, cornices, dormers, parapets, bargeboards and gable-end shingles.
 - b. Repair those features that are deteriorated.
- 4.13 Repair historically significant building features when their physical condition permits.
 - a. Deteriorated architectural features should be repaired rather than replaced when physical conditions permit.
- 4.20 A replacement material should appear similar in character to that used historically.

STAFF RECOMMENDATION

The design guidelines for the Historic Downtown District state “do not remove features that help define the character of a building or are representative of an architectural style.” While the two dormers proposed for removal are on the rear of the structure, they are still highly visible from Riverside Drive. Dormers are a character defining feature for Federal style buildings, which are prominent along Main Street and within the City. Staff recommends the dormers be repaired rather than removed, as their removal could potentially have an adverse impact on the contributing status of the structure. The masonry section proposed for removal does not appear to have any decorative element to it, and Staff is supportive of this feature being removed.

The other proposed alterations include the installation of an egress walkway along the flat rear roof and the construction of a rear egress staircase. These additions are to replace the previous second form of egress which was on an adjacent property and has since been removed. The proposed walkway will be aluminum and sit 18” above the roofline. The feature will not be visible from the right-of-way. The proposed rear stairwell is to be constructed with wood and feature a Soulard design railing. The proposed design is like many egress stairwells seen on the rear side of Main Street buildings.

Overall, Staff finds the reroofing project is appropriate and usually would be considered maintenance to the structure rather than an exterior change. However, the proposal to

remove an architectural feature such as the two dormers requires review from the Board. Staff believes the dormers should be retained, as they are a character defining feature to the building and the design guidelines specifically call for the preservation of such features. The installation of an aluminum walkway and construction of an egress staircase will have no impact on the architectural integrity of the building and are required for safety reasons. The design of the stairs, specifically, is appropriate for the district and complies with all design regulations. Therefore, Staff recommends approval of the overall project, subject to the condition below:

1. The two rear dormers should be retained rather than removed during the reroofing project.

Recommended Motion:

Motion to approve the reroofing project and the construction of a rear egress walkway and stairs at 132 North Main, subject to the condition recommended by Staff.



Figure 1: Subject structure seen from Main Street.

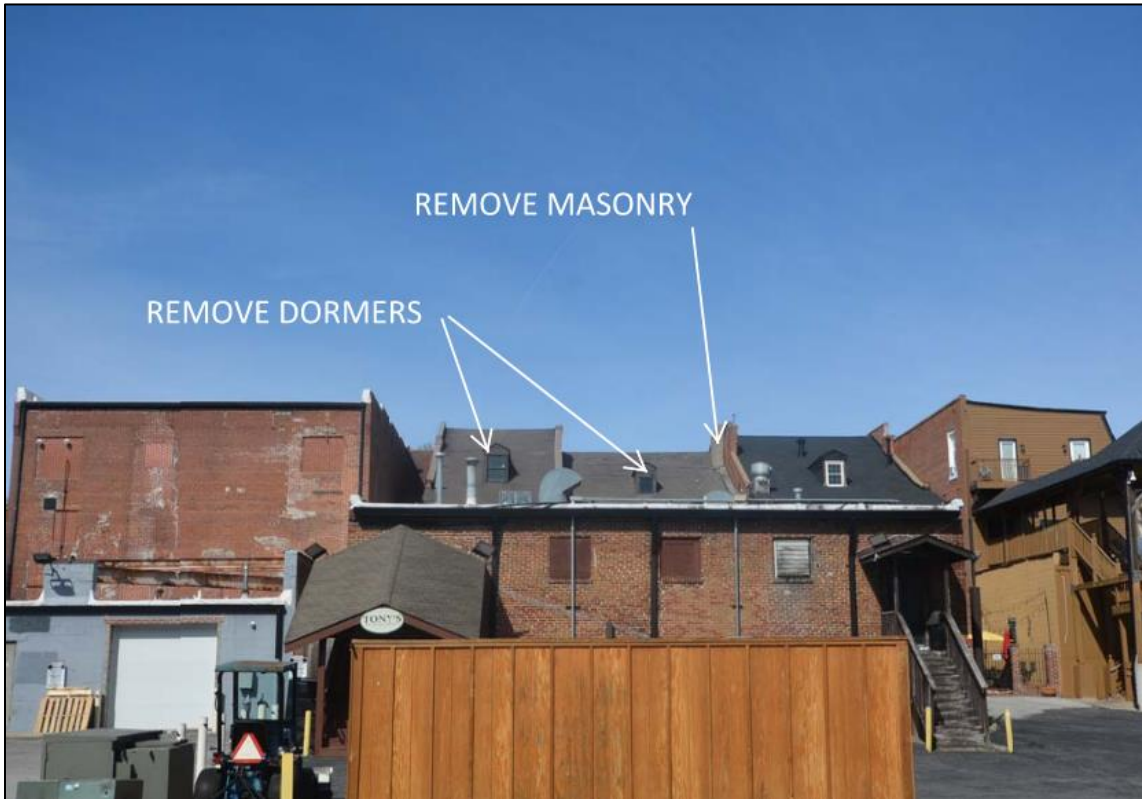


Figure 2: Rear roof seen from Riverside Drive.



Figure 3: Rear dormers and masonry element seen from rear roof.



Figure 4: Rear elevation showcasing proposed egress stairs.

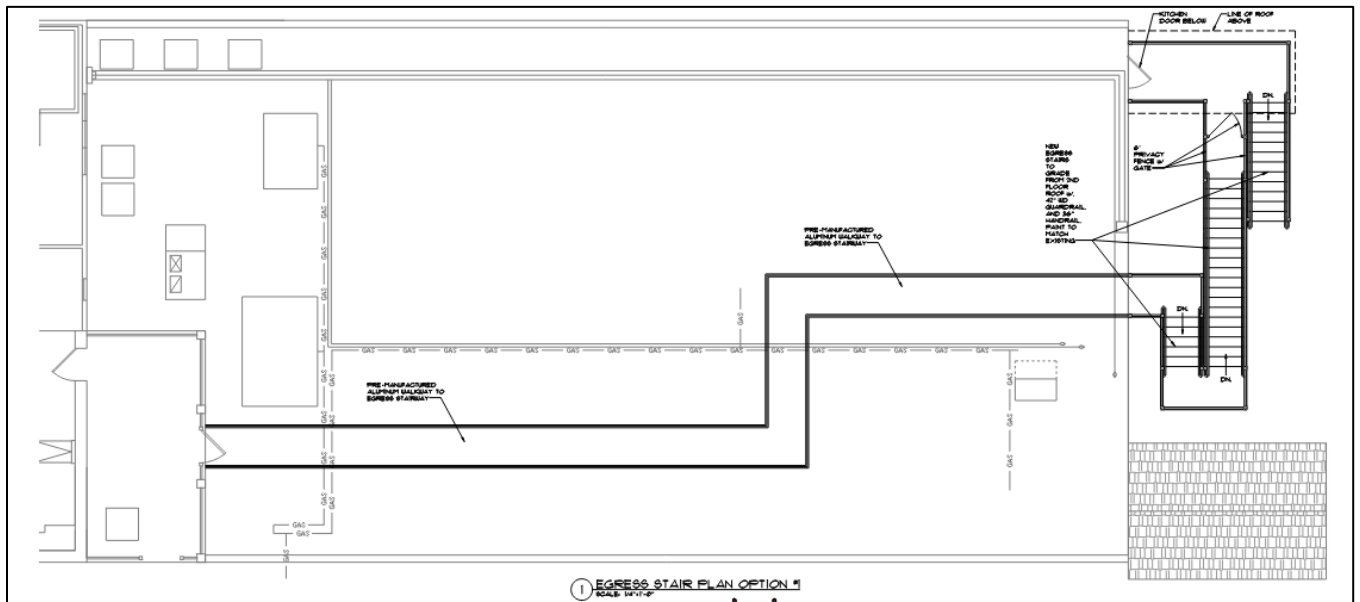


Figure 5: Roof site plan showcasing walkway and rear stairs.



Figure 6: Example of proposed roof walkway (no slope).



Figure 7: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 132 N Main Street

BUSINESS NAME (if applicable): Tony's on Main

APPLICANT:

S J Hollander Architect - Steve Hollander
(Name)

519 First Capitol Drive, Saint Charles, MO 63301
(Address)

636-947-4140 Steve@SJHollanderArchitect.com
(Phone & Email Address)

PROPERTY OWNER:

Garfield and Lincoln Inc.
(Name)

132 N Main Street, St. Charles, MO 63301
(Address)

636-940-1960 tonybethmann@sbcglobal.net
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1860

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Restaurant

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: _____
- Construct a new structure: _____
- Demolish or move structure: _____
- Construct a new addition: _____
- New sign or awning: _____
- Site work (patio, fence, etc.): _____
- Other (briefly explain): Reroof structure and add egress stairway

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

The building owner is replacing the roofing on the building. In the process we would like to remove two dormers on the rear asphalt shingled roof and some masonry on the north wall. We are also requesting construction of a new upper level egress walkway & stair.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

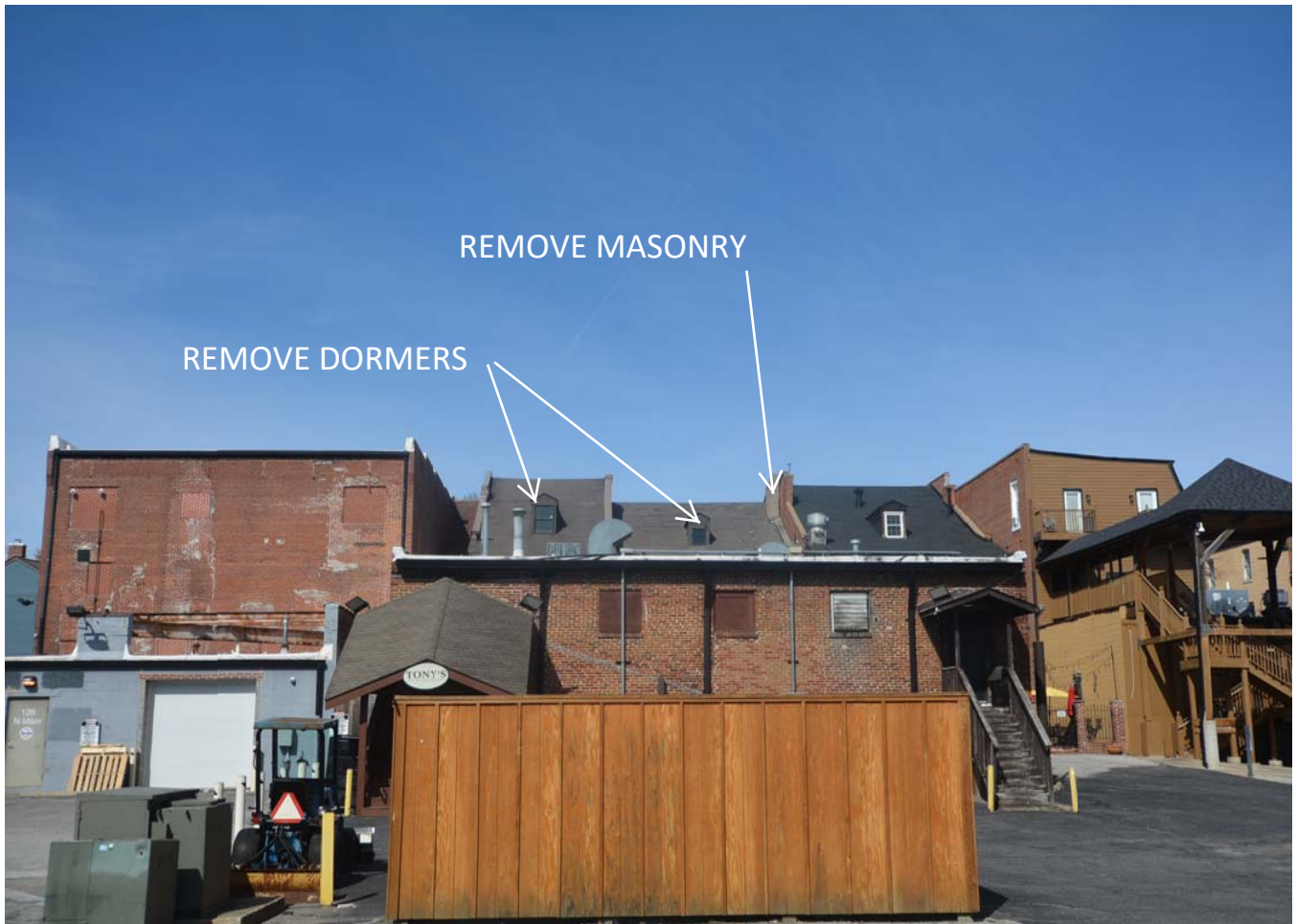
Signature of the applicant: _____  _____ Date: 3/24/2-26

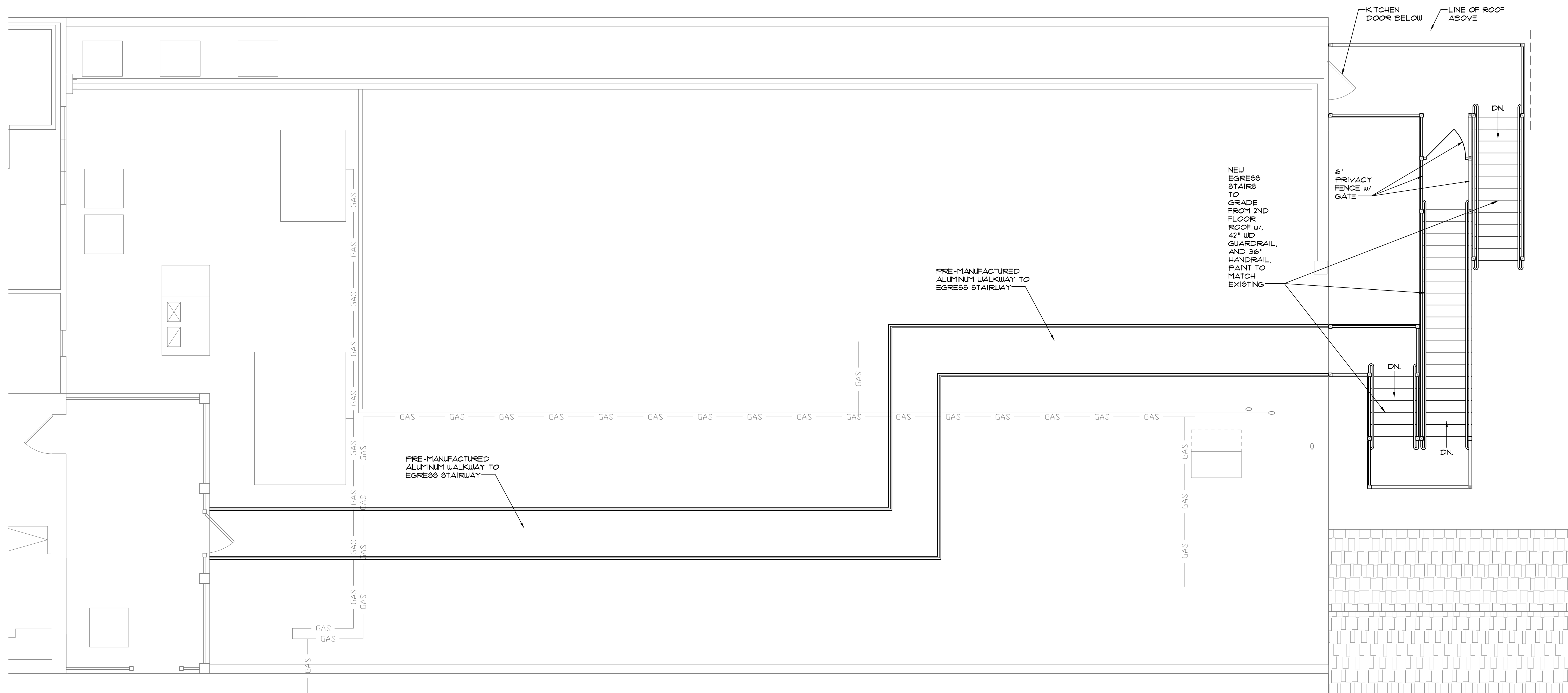
Signature of the property owner: _____ Date: _____

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00





1 EGRESS STAIR PLAN OPTION #1
SCALE: 1/4"=1'-0"



NEW EGRESS STAIRS TO GRADE FROM 2ND FLOOR ROOF w/ 42" WD GUARDRAIL, AND 36" HANDRAIL, PAINT TO MATCH EXISTING

2 REAR ELEVATION
SCALE: 1/4"=1'-0"

STEPHEN J. HOLLANDER
MO Architect No. A-6126

THIS DRAWING CONTAINS PROPRIETARY INFORMATION BELONGING TO S.J. HOLLANDER ARCHITECT. ANY REPRODUCTION OR UNAUTHORIZED USE IS STRICTLY PROHIBITED, EXCEPT WITH PRIOR WRITTEN CONSENT OF THE ARCHITECT.

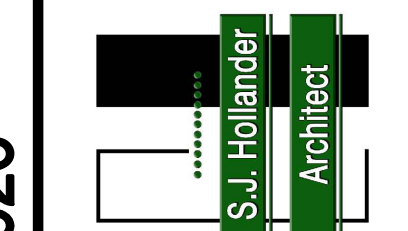
© S.J. HOLLANDER
2026 ARCHITECT

Stair Replacement for:
Tony's On Main Street
132 N Main Street
St. Charles, MO 63301

PROJECT NO.
226025

REVISIONS		
NO.	DATE	ITEM

S.J. Hollander Architect
Stephen J. Hollander, AIA
519 First Capitol Drive
St. Charles, Missouri 63301
Phone (636) 947-4140
Missouri Architectural Corporation #000801



DATE
March 18, 2026

SHEET TITLE
Stair Plan and Exterior Elevation

SHEET NO.

A1

Progress Print 3-18-2026



STAFF REPORT
WINDOWS & PORCH ALTERATIONS
553 JEFFERSON STREET
CASE NO. EC-2026-23

BY TAYLOR MOORE

APPLICANT: Jesse Ray
812 Midpoint Drive
O’Fallon, MO 63366

OWNER: Ray Property Investments
812 Midpoint Drive
O’Fallon, MO 63366

ADDRESS/LOCATION: 553 Jefferson Street

ZONING: CBD—Central Business District
EHD—Extended Historic Preservation District

USE: Multi-Family

MEETING DATE: April 20, 2026

BACKGROUND

Constructed in 1917, this 2½-story brick Colonial Revival style house is located within the Extended Historic Preservation District. Additionally, the property is located within the Midtown Neighborhood National Historic District and is considered a contributing resource. The applicant is requesting approval to replace the windows on the dwelling and make alterations to the front porch. Additionally, the applicant received approval at the January 26, 2026 Landmarks Board meeting to replace the railing system on the rear porch. The applicant is requesting a change in the approved material of this project. Accompanying the application are elevations and a site plan, and additional photographs of the building appear at the end of this report.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate

of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

1. Relationship of Buildings to Site
 - d. Without restricting the permissible limits of the application zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relationship of Buildings and Site to Adjoining Area
 - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
 - c. Harmony in texture, lines and masses is required. Monotony shall be avoided.
3. Building Design
 - a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
 - b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
 - c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
 - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
 - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
 - a. Conformance to ordinances and the Appearance Code.
 - b. Logic of design.
 - c. Exterior space utilization.
 - d. Architectural character
 - e. Attractiveness
 - f. Material selection
 - g. Harmony and compatibility
 - i. Maintenance aspects.

STAFF RECOMMENDATION

The proposed new windows will be like for like in configuration, color, and size. The existing windows have deteriorated and are no longer energy efficient for the site. The project also entails replacing the front porch railing and posts on the front porch. The replacement material will be wood to match the material there currently, and the railing is to be painted white while the posts are projected to be painted black. Lastly, the applicant received approval from the Board earlier this year to install aluminum railings on the rear two-tier deck. The applicant would now like to install wooden railings and posts for the deck to better match what was previously there. All features are also to be painted white. Staff finds the projects to be appropriate for the structure and keeping with the design guidelines for the district. The alterations will have no impact on the contributing status of the structure, the streetscape, or the overall district. Therefore, Staff recommends approval of the projects, subject to the condition below.

1. The front porch railings and posts must be painted after installation

Recommended Motion:

Motion to approve the installation of new windows, new front porch railing and posts, and a change in material for the rear deck railing at 553 Jefferson Street, subject to the condition recommended by Staff.



Figure 1: 553 Jefferson Street seen currently.



Figure 2: Subject property looking east.



Figure 3: Subject property looking west.



Figure 4: Window example.



Figure 5: Baluster and handrails example for rear deck.



Figure 6: Spindles and handrail example for front porch.



Figure 7: Example of property after completed work.



Figure 8: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 553 Jefferson St

BUSINESS NAME (if applicable): Ray Property Investments

APPLICANT: Jesse Ray
(Name)

812 Midpoint Dr, O'Fallon MO 63366
(Address)

636-346-8753/ Precision.properties06@gmail.com
(Phone & Email Address)

PROPERTY OWNER:
Ray Property Investments
(Name)

812 Midpoint Dr, O'Fallon MO 63366
(Address)

636-887-4367/ Precision.properties06@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1910

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

4 unit apartment building currently under renovation to convert to a 5 unit building.

We are replacing the existing winters to be more energy efficient. They windows will be the same style and color as the existing.

We are also changing the deck railing material.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

We are replacing the existing winters to be more energy efficient. They windows will be the same style and color as the existing.

We are also potentially changing the deck railing material.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Jesse Ray

Date: 3/26/26

Signature of the property owner: Jesse Ray

Date: 3/26/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions: \$50.00
Site Plan (separate application required): \$200.00



AGENDA ITEM #6C

STAFF REPORT
CONSTRUCT COVERED PATIO
317 NORTH 6th STREET
CASE NO. SP-2026-11

BY TAYLOR MOORE

APPLICANT: Andrew Arnold
Lakeside Renovation & Design
139 Chesterfield Industrial Blvd
Chesterfield, MO 63005

OWNER: Robert Tanner
317 North 6th Street
St. Charles, MO 63301

ADDRESS/LOCATION: 317 N. 3rd Street

ZONING: R-1E – Single-Family Residential District
EHP—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: April 20, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is a 1½-story, painted brick, Federal style residential dwelling at 317 North 6th Street. Constructed in 1860, the dwelling is also considered a contributing resource to the Midtown Neighborhood National Historic District. The applicant is proposing to remove the existing rear overhang associated with a non-historic rear addition and to construct a new covered patio in its place. The proposed covered patio is 15' x 19'9" (approx. 296.3 sq. ft.) and will feature a gas fireplace. A site plan, elevations, and photographs of the existing property accompany this application.

Covered Patio Addition

The proposed project consists of a covered patio addition to the rear of the existing structure. As shown on the submitted elevations, this addition is subordinate in scale and massing, utilizing a lower roofline that remains visually secondary to the primary structure. The design incorporates a simple, asphalt shingled, gabled roof form with a low pitch, which is compatible with the existing architectural character of the rear portion of the structure. Materials proposed, including James Hardie siding, matching gutters and downspouts, and trim elements, are consistent with the rear addition on the primary structure, helping maintain a cohesive appearance. The open porch/patio is supported by simple posts to be wrapped in James Hardie material and has a simple visual appearance. A gas fireplace is proposed on the north side of the patio, facing inwards and having no adverse visual impacts. Overall, this addition is compatible with the primary structure in terms of scale, material, and design.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: "EPD" EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the "EHP" Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. Architectural Review for Properties Constructed During or Prior to 1945. No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

3. Building Design

- a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
- b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
- c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
- e. Colors shall be harmonious and shall use only compatible accents.

7. Maintenance-Planning and Design Factors

- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
- b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- b. Logic of design.
- c. Exterior space utilization.
- d. Architectural character
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF RECOMMENDATION

The proposed project involves removing an existing covered patio on the structure. This portion of the house is an addition, and not original the 1860 construction date. The new covered patio is to be constructed in the same location as the existing covered patio and extender further into the rear yard. The initial design for the covered patio was slightly larger, and did not comply with setbacks, specifically the requirement of being 10' from accessory structures. The applicant worked with the homeowner to minimize the patio to meet this standard. Overall, the addition is appropriately located at the rear of the structure and follows the guidelines for the Extended Historic Preservation District. Therefore, Staff recommends approval of the patio project, as submitted.

Recommended Motion:

Motion to approve the construction of a new rear covered patio at 317 North 6th Street, as submitted.



Figure 1: 317 North 6th Street seen from the roadway.



Figure 2: Rear patio currently.

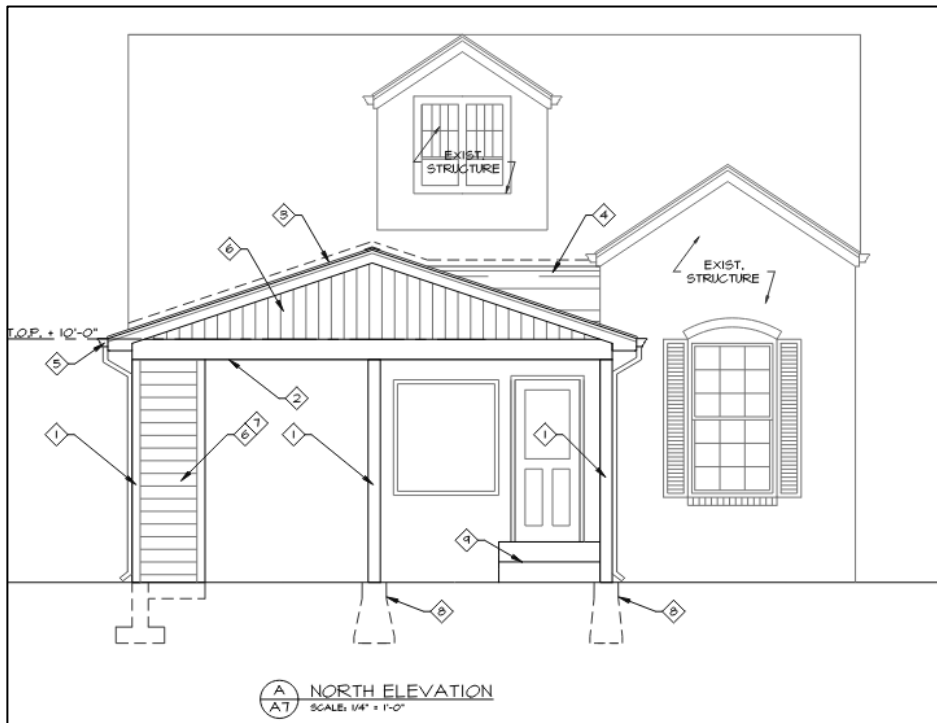


Figure 3: North elevation of proposed covered patio.

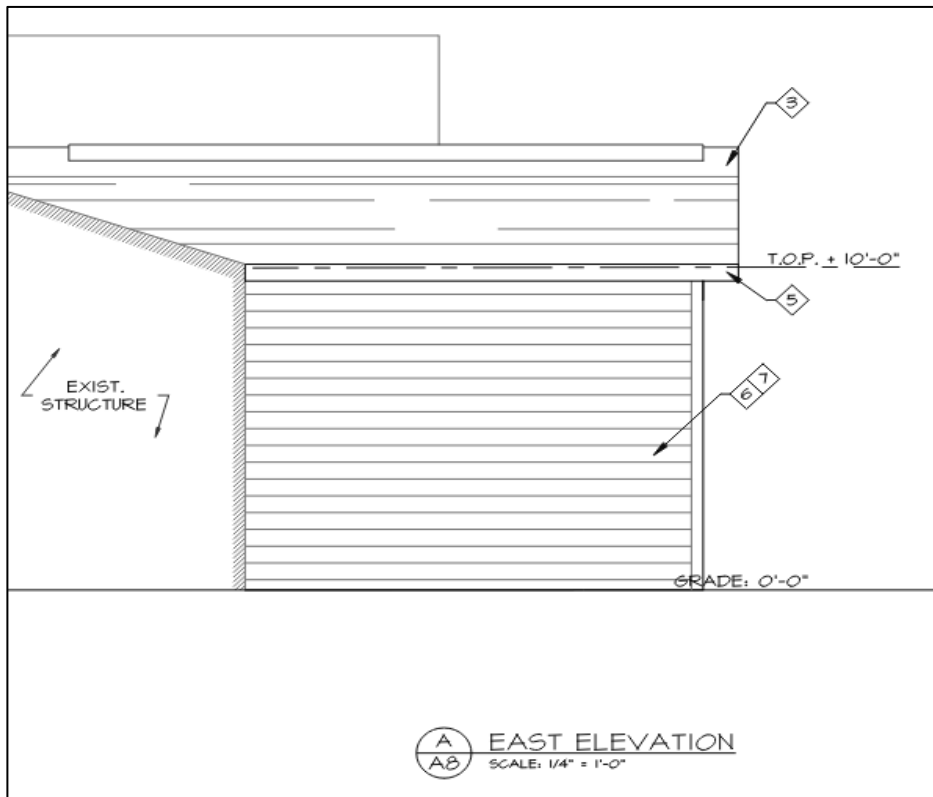


Figure 4: East elevation of proposed covered patio.

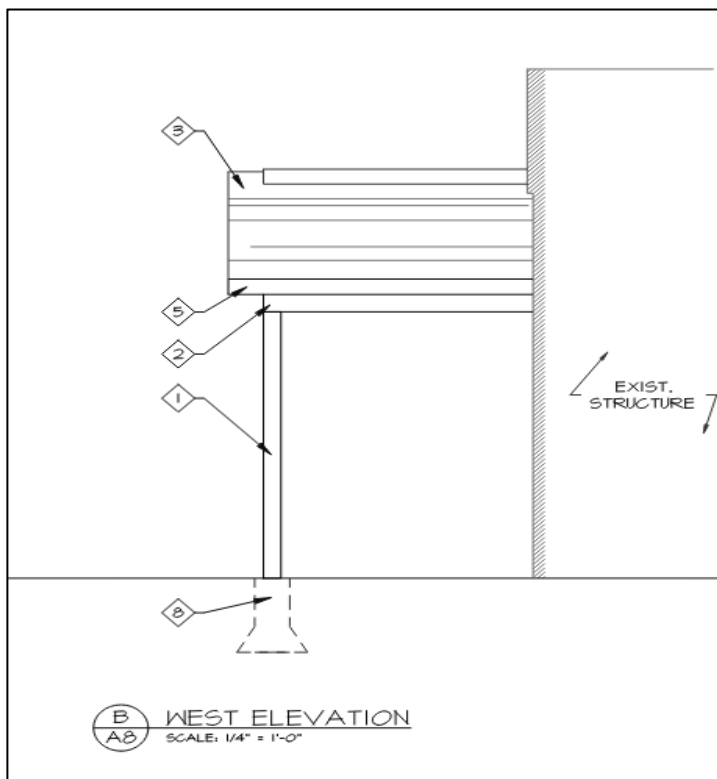


Figure 5: West Elevation of proposed covered patio.

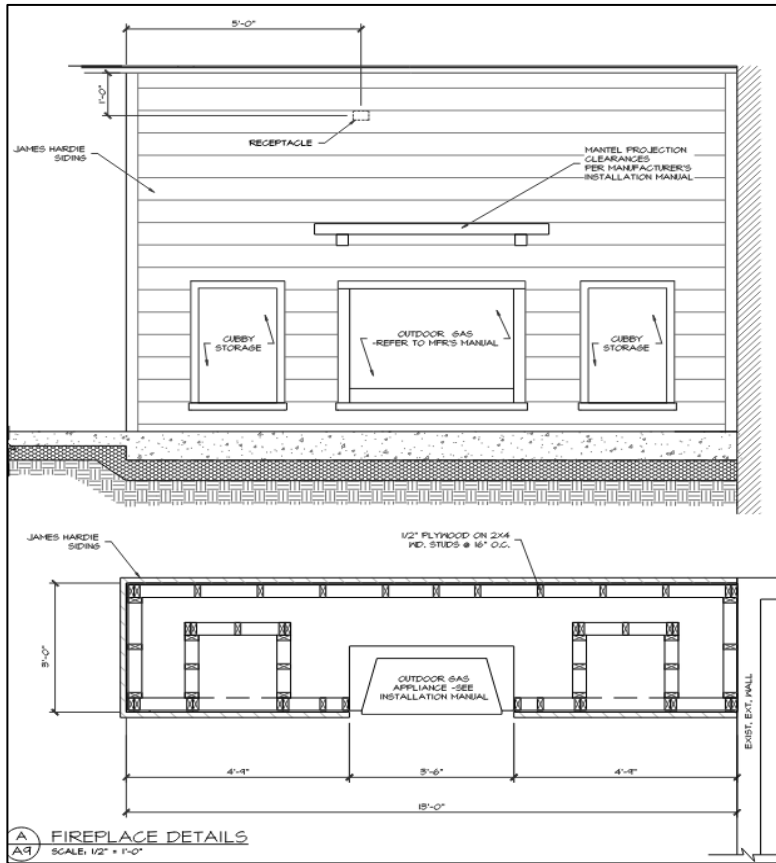


Figure 6: Gas fireplace details.

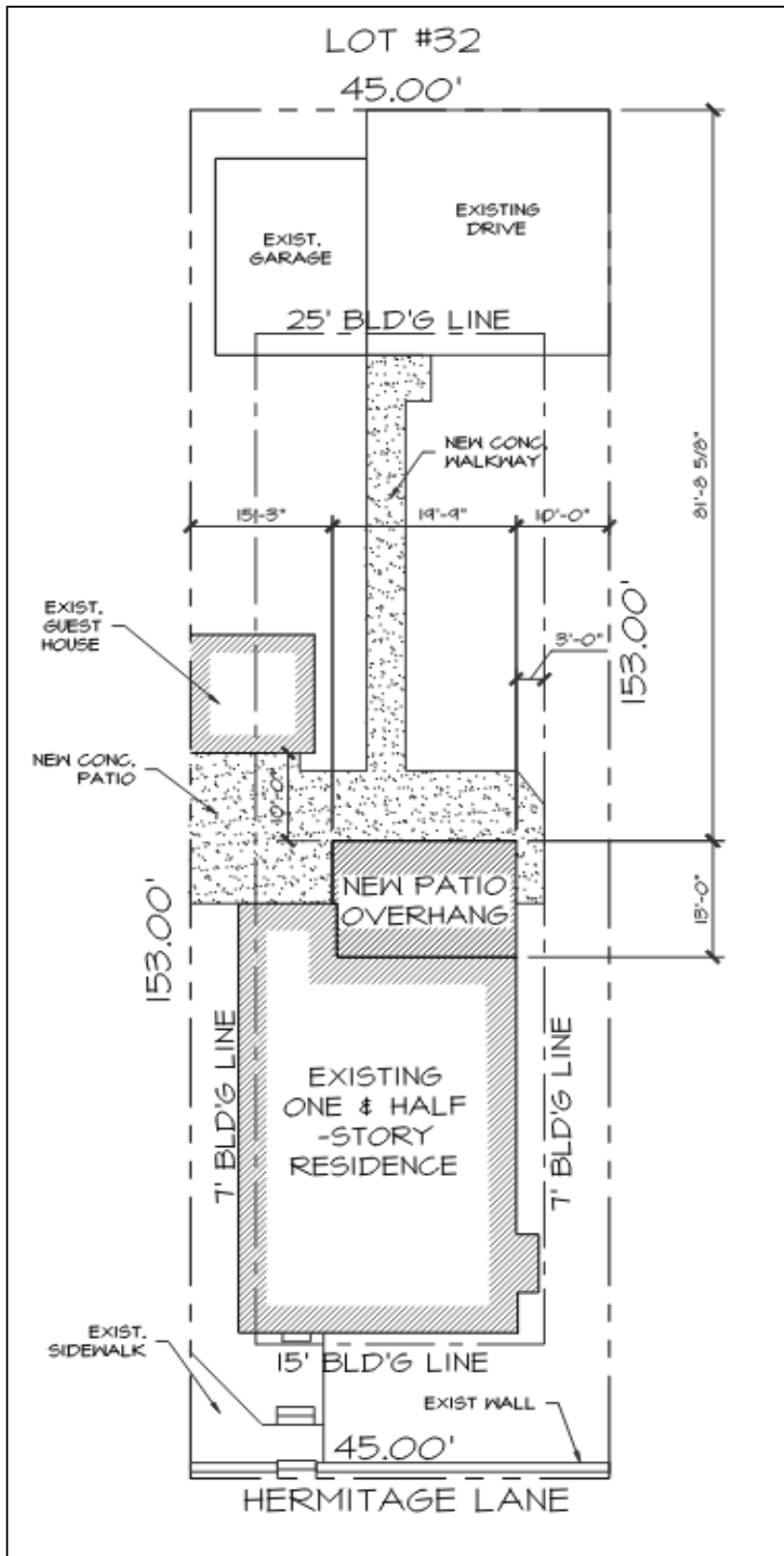


Figure 7: Site plan for new covered patio.

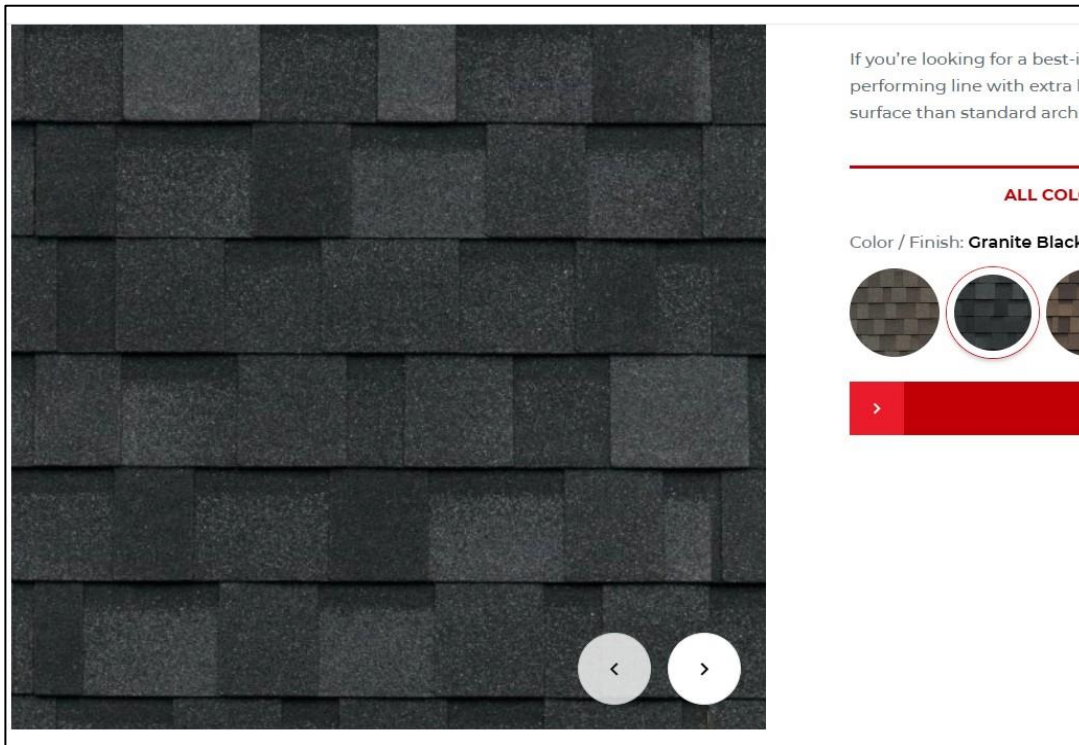


Figure 8: Materials (siding, gutters, roofing).

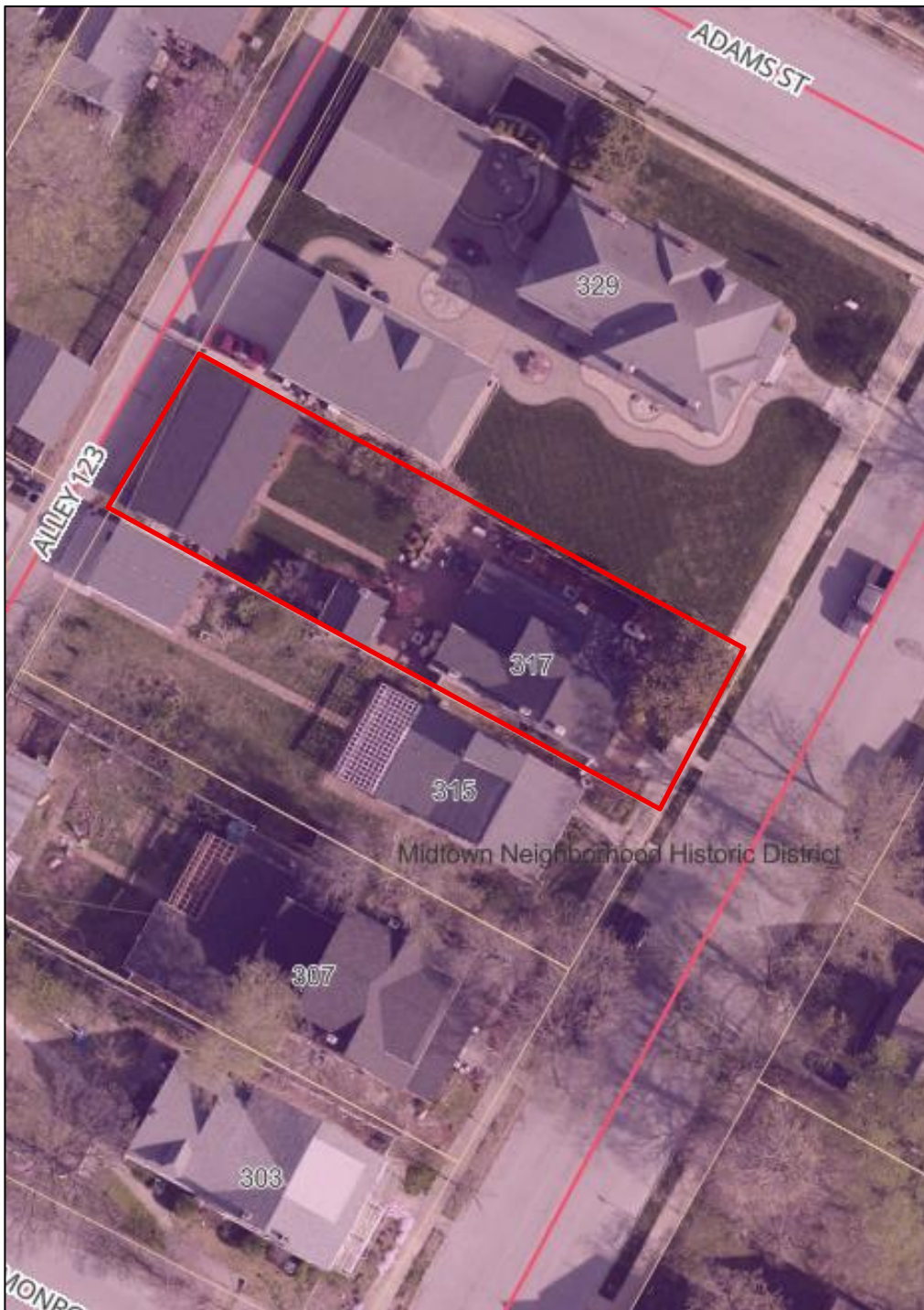


Figure 9: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 317 N. 6TH STREET

BUSINESS NAME (if applicable): —

APPLICANT: LAKE SIDE RENOVATION ? DESIGN / ATT: ANDREW ARNOLD
(Name)

139 CHESTERFIELD INDUSTRIAL BLVD. 63005
(Address)

636.978-5000 / andrewa@lakesiderd.com
(Phone & Email Address)

PROPERTY OWNER: BOB TANNER
(Name)

317 N. 6TH STREET
(Address)

314.651.8223 / btanner@sbcglobal.net
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District
- Extended Historic Preservation District
- Frenchtown Preservation District
- Historic Downtown Preservation District
- South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1860

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

- A BRICK & SIDING 1 1/2 STORY HOUSE
IN GOOD CONDITION

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: NEW PATIO COVER WITH FIRE PLACE

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): NEW CONCRETE PATIO

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

DEMOLITION OF EXIST COVER PATIO & EXISTING
PAVER PATIO IN REAR YARD. COVERED PATIO IS NOT
FROM THE ORIGINAL 1860'S. CONSTRUCTING A NEW
GABLE ROOF PATIO COVER WITH A GAS FIRE
PLACE USING JAMES HARDIE AS SIDING AND
TRIM.

APPLICATION SUBMITTAL:

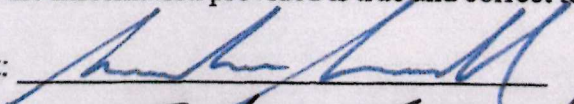
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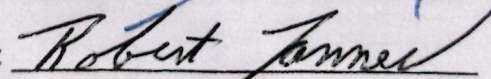
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1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 3/12/26

Signature of the property owner:  Date: 3/12/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00

OUTDOOR LIVING

TANNER RESIDENCE

317 N 6TH STREET.

ST. CHARLES, MO 63301

(CITY OF ST. CHARLES)

SCOPE OF WORK

NEW CONC. PATIO WITH A COVERED OVERHANG AND FIREPLACE

INDEX OF DRAWINGS

- A1 COVER SHEET AND PROPOSED SITE PLAN
- A2 DEMOLITION PLAN
- A3 PROPOSED FOUNDATION PLAN
- A4 PROPOSED FLOOR PLAN
- A5 PROPOSED ELECTRICAL AND LIGHTING PLAN
- A6 PROPOSED ROOF PLAN
- A7 PROPOSED NORTH ELEVATION
- A8 PROPOSED EAST AND WEST ELEVATION
- A9 SECTION DETAILS
- A10 SECTION DETAILS

APPLICABLE CODES

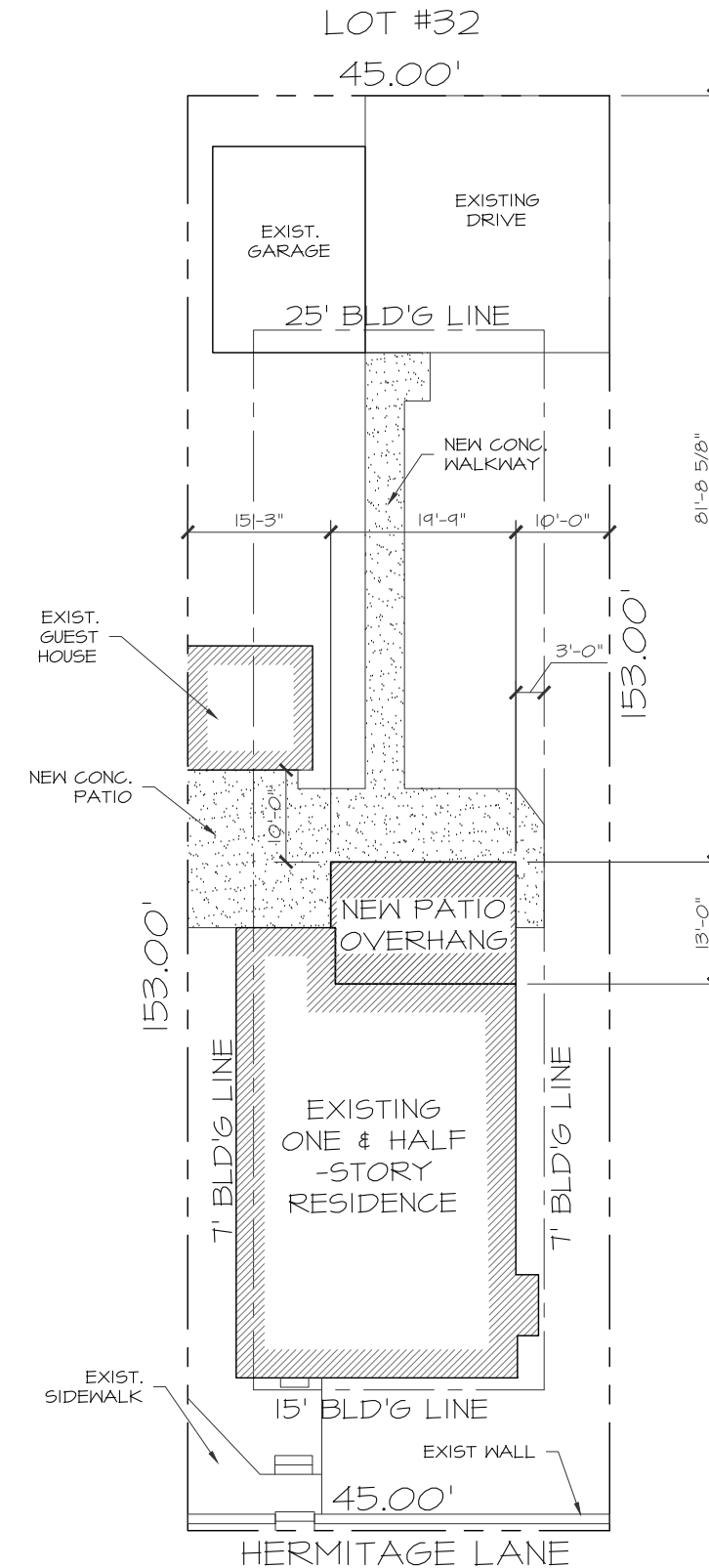
- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE

GENERAL NOTES:

1. VISITS TO THE JOB SITE BY REPRESENTATIVES OF THE DESIGNER OR ENGINEER DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTORS AND ARE MERELY FOR THE PURPOSE OF OBSERVING THE WORK PERFORMED.
2. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE THE DRAWINGS OR DETAILS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS, ELEVATIONS, ETC., PRIOR TO COMMENCING THE WORK.
3. ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACES OF CONCRETE FOUNDATION WALLS AND EXTERIOR STUD WALLS, AND INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OR SHOWN OTHERWISE.
4. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
5. ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE (IRC) FOR ONE AND TWO-FAMILY DWELLINGS, 2015 EDITION.
6. ELECTRICAL INSTALLATIONS SHALL CONFORM TO THE INTERNATIONAL MECHANICAL AND NATIONAL ELECTRICAL CODES, LATEST EDITIONS.
7. CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS AS STATED IN THE 2015 INTERNATIONAL RESIDENTIAL CODE (OR LATEST ACCEPTED CODE ADOPTED BY THE LOCAL BUILDING OFFICIALS).
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE JOB SITE.
9. ANY SPECIAL INSPECTION REQUIRED BY THE BUILDING OFFICIAL OR THE INTERNATIONAL RESIDENTIAL CODE (IRC) ARE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
10. SLOPE ALL GRADE SO THAT SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE, BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6-INCHES WITHIN THE FIRST 10-FEET, PER 2015 IRC R401.3.
11. ALL EARTH FILL TO RECEIVE CONCRETE FLOORS, WALKS, DRIVES, ETC., SHALL BE FULLY COMPACTED TO 95% MAXIMUM DENSITY.
12. WALL COVERING AND ANY FILLERS SHALL BE TESTED IN ACCORDANCE WITH ASTM E 84 AND HAVE A FLAME SPREAD OF 0-25 AND SMOKE INDEX OF 0-450.
13. ALL DIMENSIONS TO EXISTING FEATURES ARE ROUNDED TO WITHIN 1". RUNNING TOTALS MAY NOT SUM TO THE OVERALL DIMENSION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECTLY IDENTIFY ALL EXISTING CONDITIONS. IF A DISCREPANCY IS DISCOVERED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY TO RESOLVE THE ISSUE.



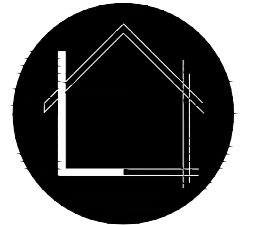
EXISTING CONDITIONS



PROPOSED SITE PLAN
SCALE: 1" = 20'-0"



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LAKESIDE
renovation & design

139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000

Lakeside renovation & design
CERTIFICATE OF AUTHORITY
A-2020028434

CHARLES D. NIGH
REGISTERED ARCHITECT
MISSOURI LICENSE #A-6065
139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000

DECK & OVERHANG
FOR
SAUER RESIDENCE
10287 PLANTATION MANOR
FORISTELL, MO 63348

PERMIT SET:

REVISIONS

NO.	DESCRIPTION	DATE

DRAWING TITLE:

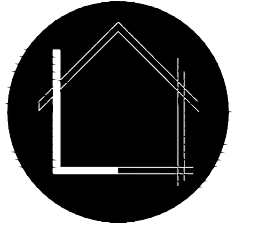
**COVER SHEET
&
PROPOSED
SITE PLAN**

DRAWN BY: ANDREW ARNOLD
CHECKED BY: DAN KARY
SHEET #

A1

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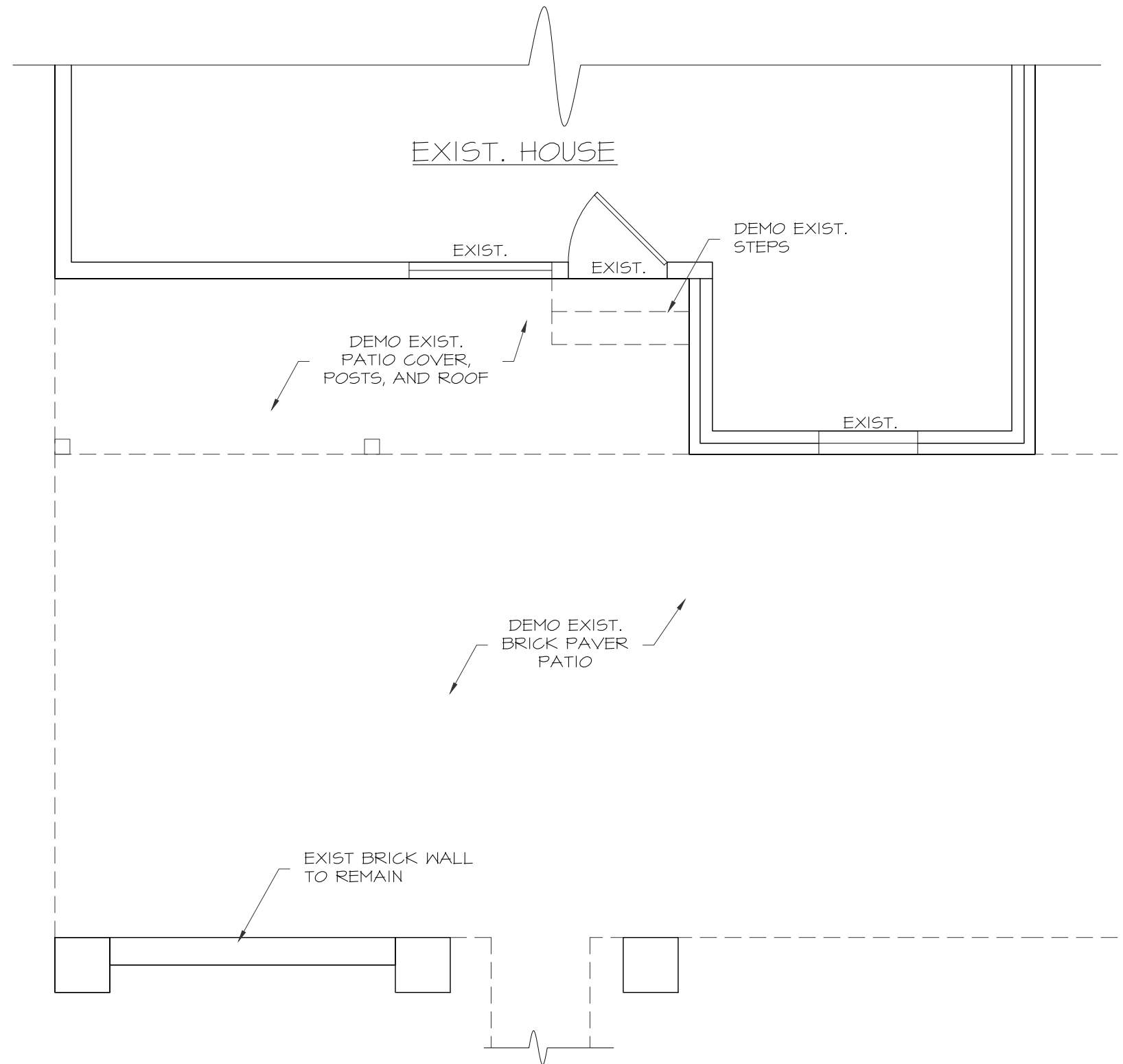
DRAWING TITLE:

**DEMOLITION
PLAN**

DRAWN BY: ANDREW ARNOLD
CHECKED BY: DAN KARY
SHEET #

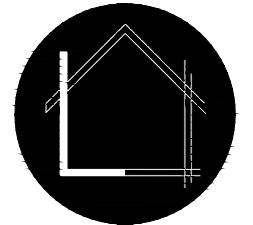
A2

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A
A2 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"
NORTH

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LAKESIDE
renovation & design

139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
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DECK & OVERHANG
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SAUER RESIDENCE
10287 PLANTATION MANOR
FORISTELL, MO 63348

PERMIT SET:

REVISIONS

NO.	DESCRIPTION	DATE

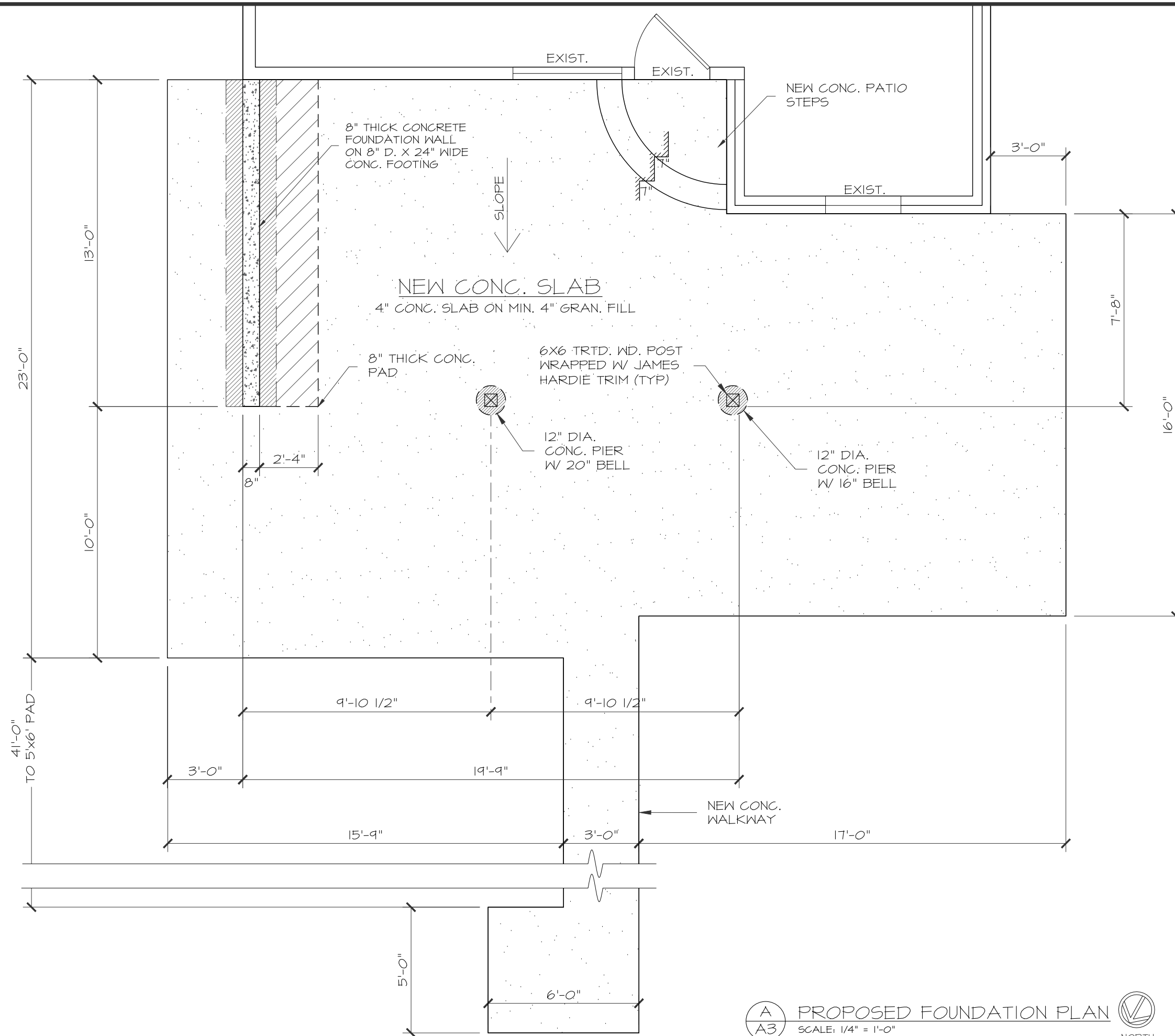
DRAWING TITLE:

**PROPOSED
FOUNDATION
PLAN**

DRAWN BY: ANDREW ARNOLD
CHECKED BY: DAN KARY
SHEET #

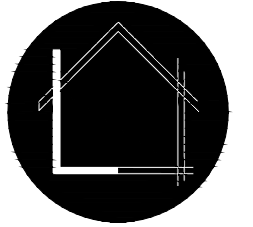
A3

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A
A3 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
NORTH

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LAKESIDE
renovation & design

139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000

Lakeside renovation & design
CERTIFICATE OF AUTHORITY
A-2020028434

CHARLES D. NIGH
REGISTERED ARCHITECT
MISSOURI LICENSE #A-6065
139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000

DECK & OVERHANG
FOR
SAUER RESIDENCE
10287 PLANTATION MANOR
FORISTELL, MO 63348

PERMIT SET:

REVISIONS

NO.	DESCRIPTION	DATE

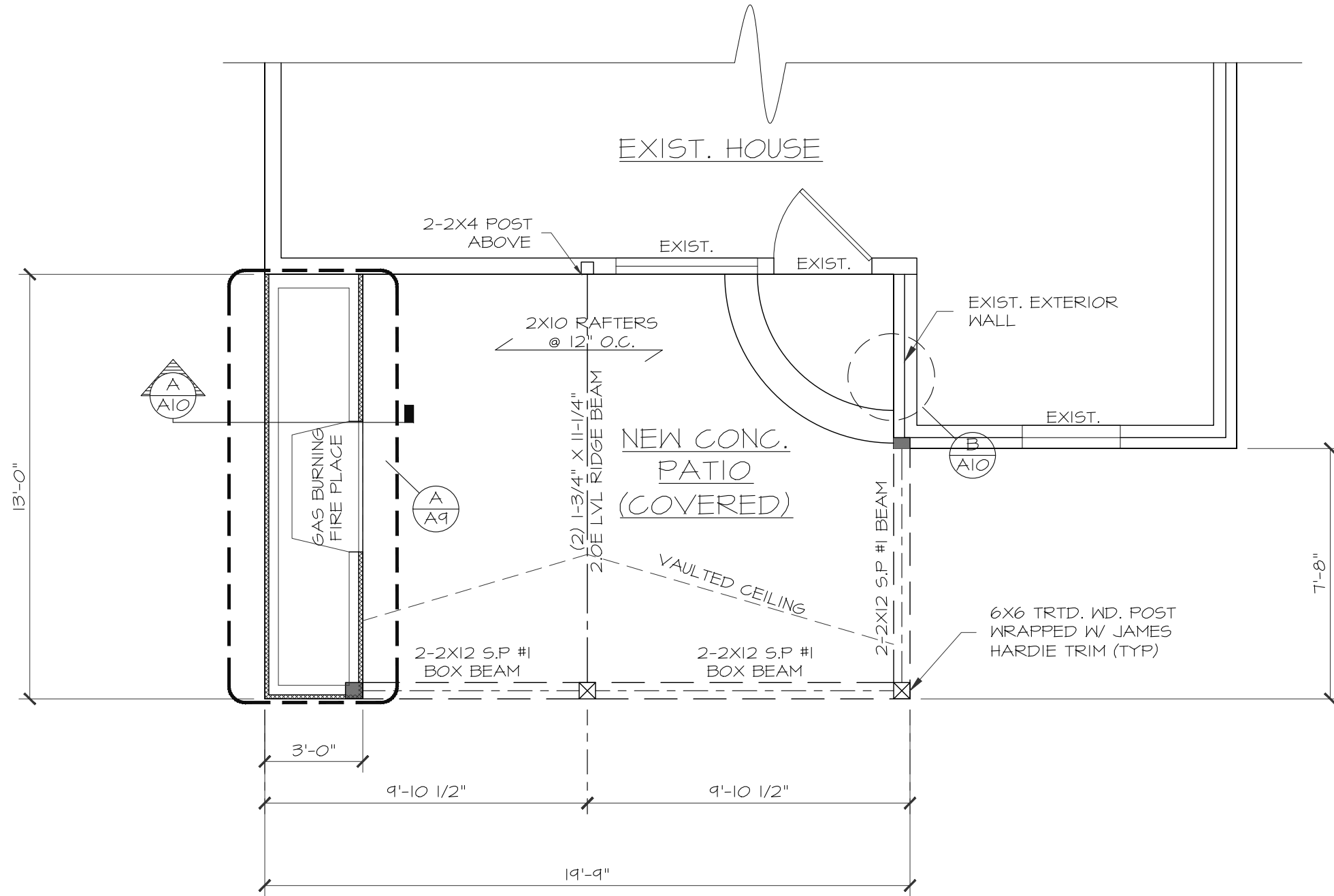
DRAWING TITLE:

**PROPOSED
FLOOR PLAN**

DRAWN BY: ANDREW ARNOLD
CHECKED BY: DAN KARY
SHEET #

A4

© 2026 LAKESIDE RENOVATION & DESIGN



A
A4 PROPOSED PLAN
SCALE: 1/4" = 1'-0"
NORTH

ELECTRICAL & LIGHTING LEGEND

⊗R - 6" RECESSED CAN LIGHT FIXTURE

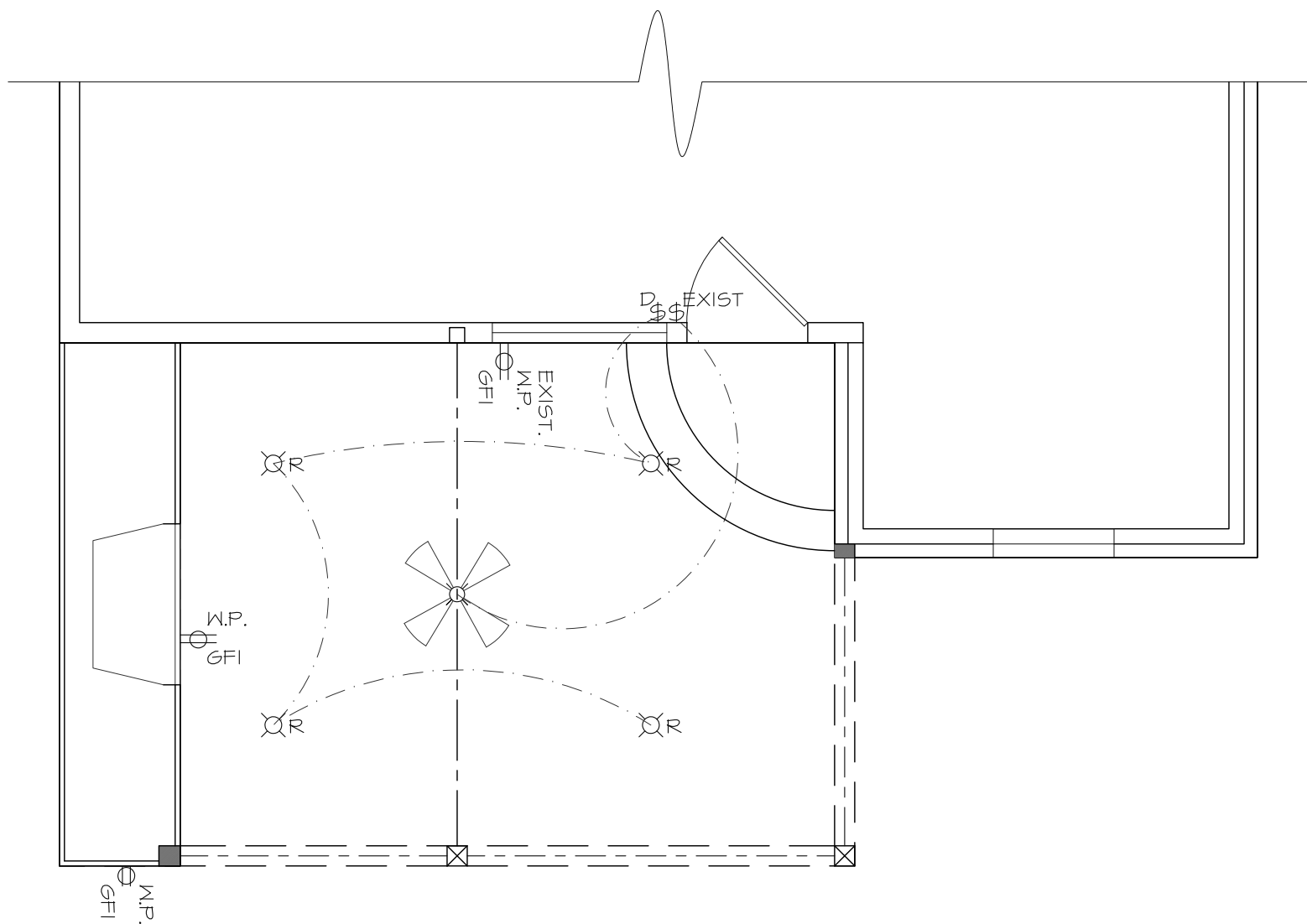
⊕ - SCONCE/WALL MOUNTED LIGHT FIXTURE (CUSTOMER SUPPLIED)

\$ - SINGLE POLE SWITCH

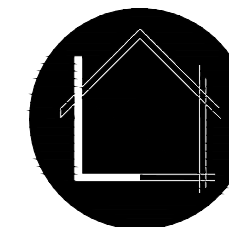
\$^D - (DIMMER) SINGLE POLE SWITCH

⊕^{W.P.}
GFI - WATER PROOF GROUND FAULT INTERRUPTER DUPLEX OUTLET

 - CEILING FAN (CUSTOMER SUPPLIED)



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LAKESIDE
renovation & design

139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000

Lakeside renovation & design
CERTIFICATE OF AUTHORITY
A-2020028434

CHARLES D. NIGH
REGISTERED ARCHITECT
MISSOURI LICENSE #A-6065
139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000

DECK & OVERHANG
FOR
SAUER RESIDENCE
10287 PLANTATION MANOR
FORISTELL, MO 63348

PERMIT SET:

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE:

**PROPOSED
ELECTRICAL &
LIGHTING PLAN**

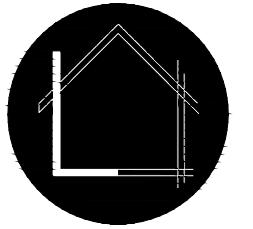
DRAWN BY: ANDREW ARNOLD
CHECKED BY: DAN KARY
SHEET #

A5

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A
A5 PROPOSED ELEC./LIGHTING PLAN
SCALE: 3/16" = 1'-0"
NORTH

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REVISIONS

NO.	DESCRIPTION	DATE

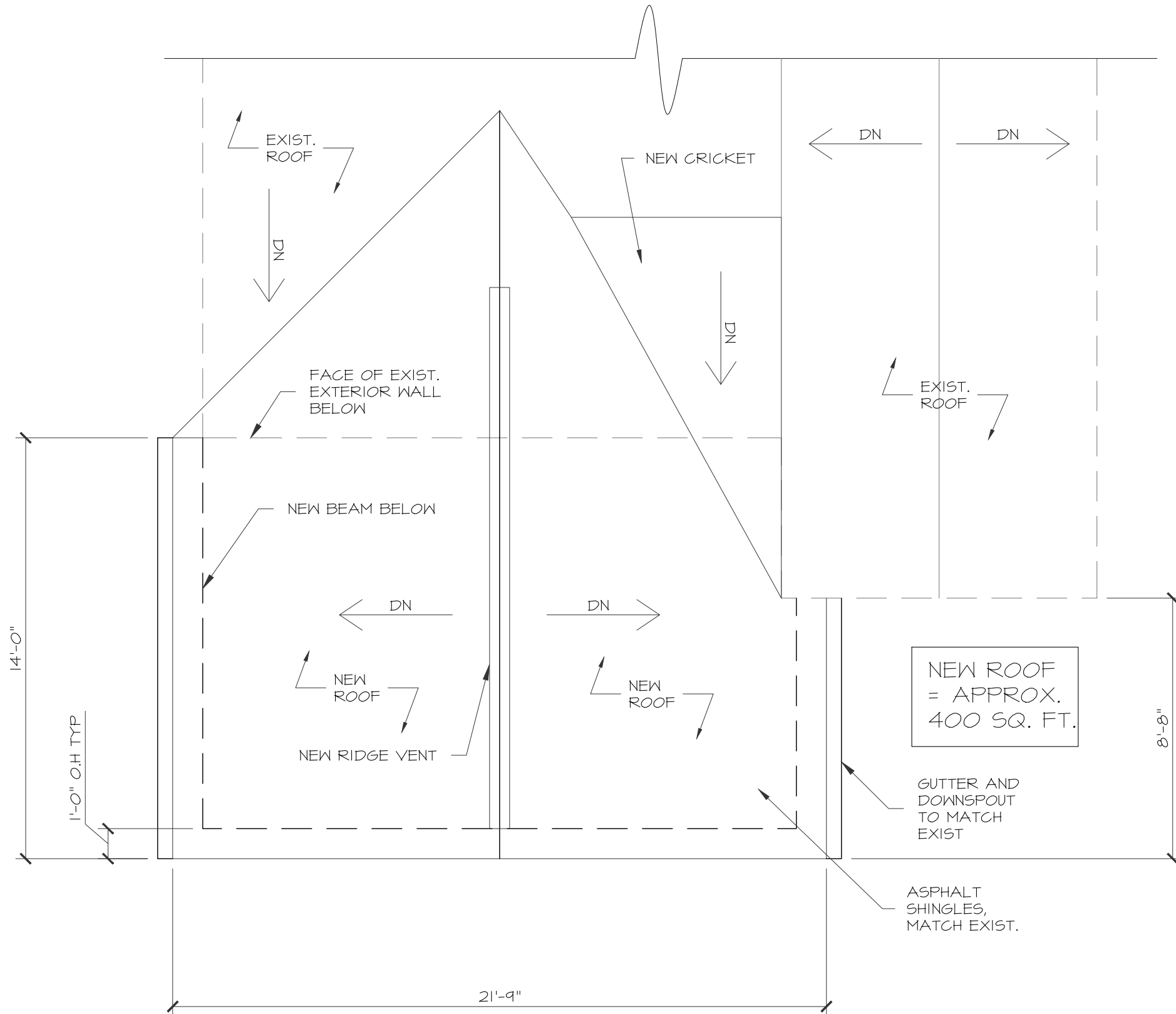
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**PROPOSED
ROOF PLAN**

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CHECKED BY: DAN KARY
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A6

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A
A6

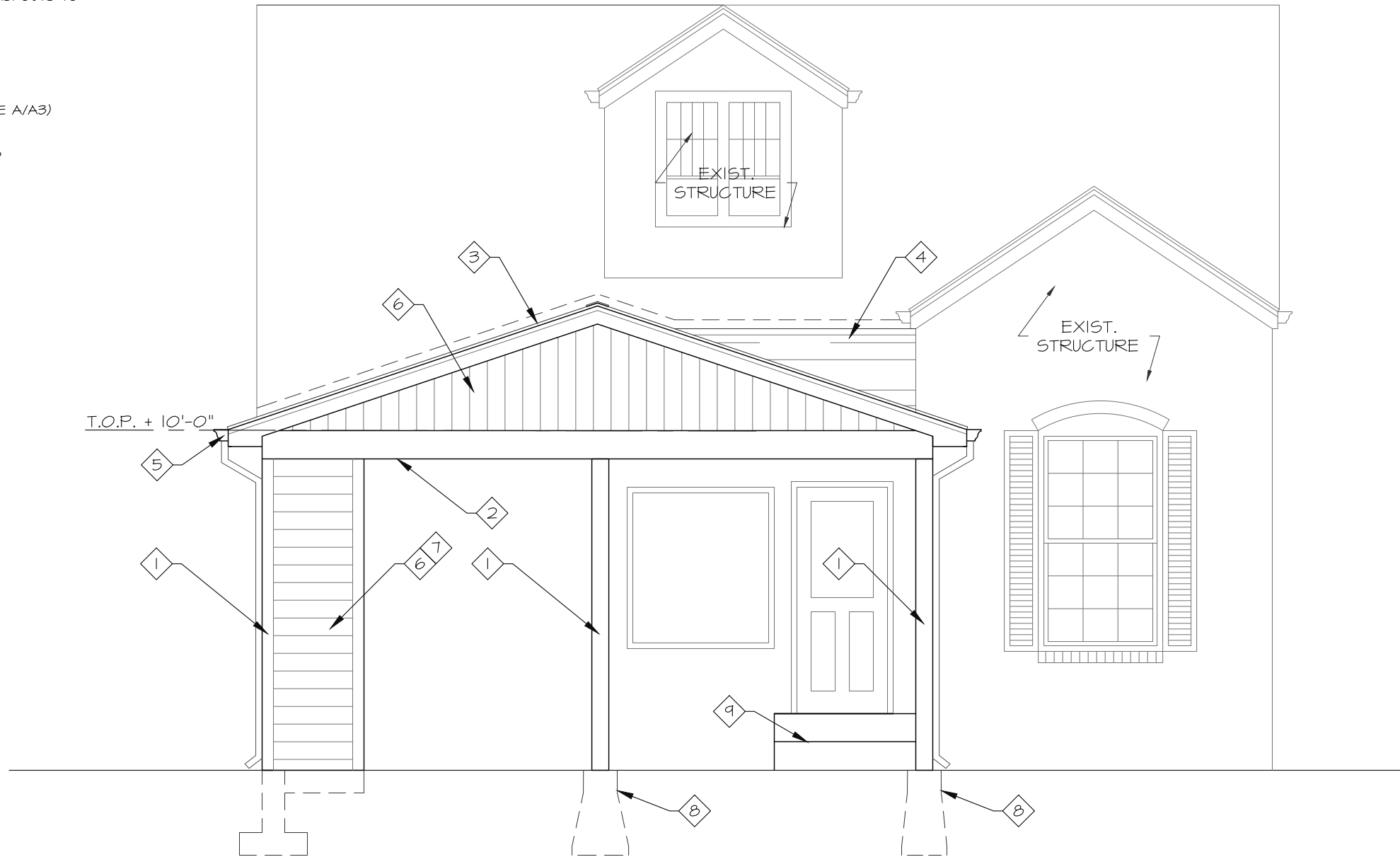
PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



NORTH

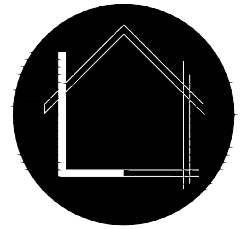
KEYED NOTES:

- ① 6X6 P.T. POSTS W/ JAMES HARDIE WRAP (TYP.)
- ② JAMES HARDIE WRAPPED BEAM
- ③ NEW ASPHALT SHINGLE ROOF W/ RIDGE VENT TO MATCH EXIST. FLASHING WHERE ROOF AND WALL MEET
- ④ NEW CRICKET
- ⑤ NEW GUTTERS AND DOWNSPOUTS TO MATCH EXIST.
- ⑥ JAMES HARDIE SIDING
- ⑦ GAS FIRE PLACE
- ⑧ PIER AND BELL FDN (SEE A/A3)
- ⑨ NEW CONC. PATIO STEPS



A NORTH ELEVATION
A7 SCALE: 1/4" = 1'-0"

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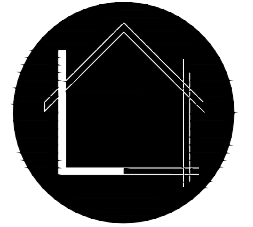
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**NORTH
ELEVATION**

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SHEET #

A7

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PERMIT SET:

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE:

EAST AND WEST ELEVATIONS

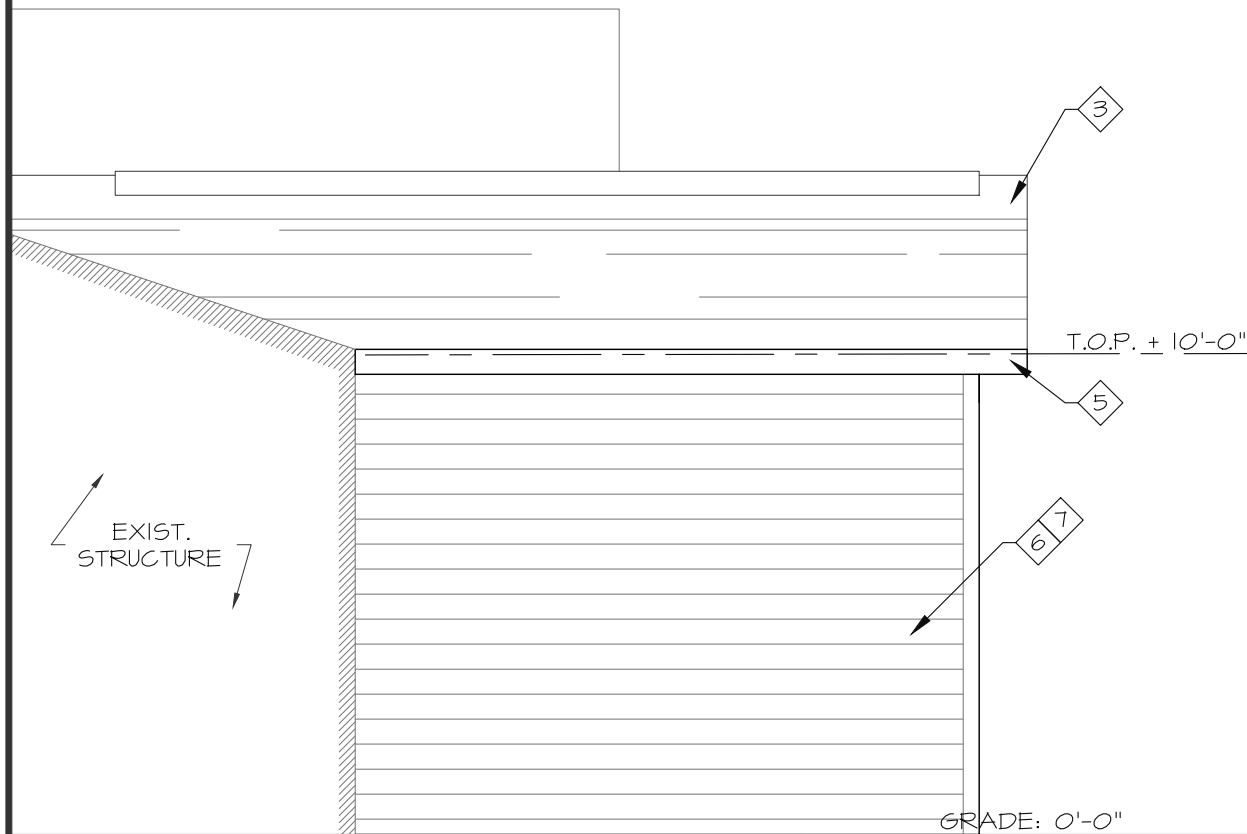
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CHECKED BY: DAN KARY
SHEET #

A8

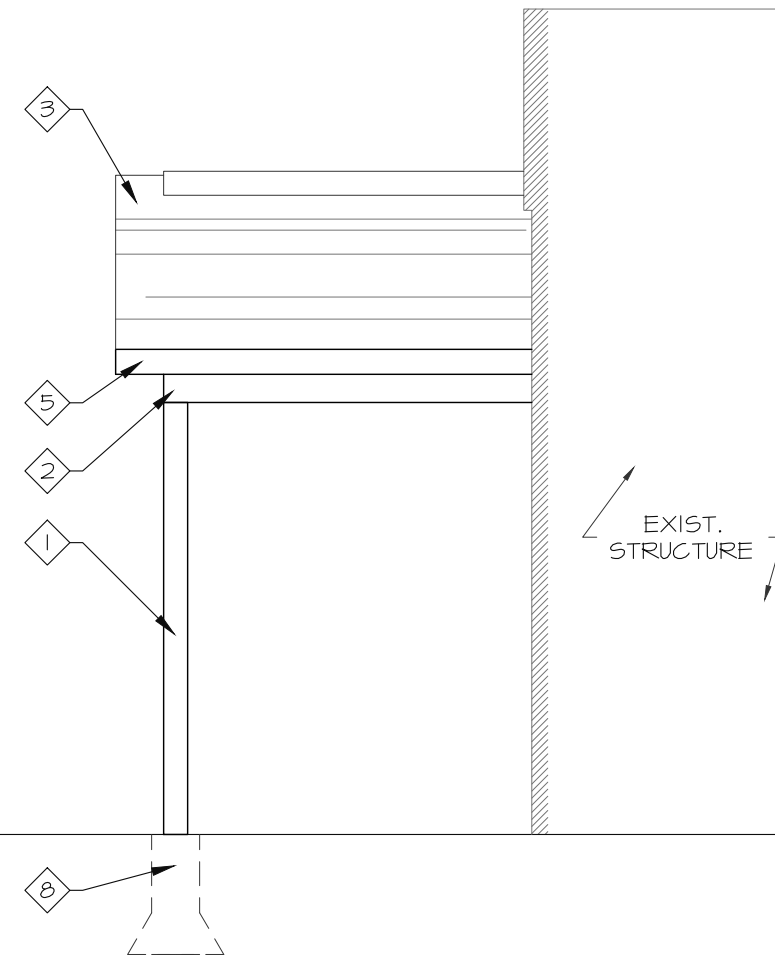
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KEYED NOTES:

- 1 6X6 P.T. POSTS W/ JAMES HARDIE WRAP (TYP.)
- 2 JAMES HARDIE WRAPPED BEAM
- 3 NEW ASPHALT SHINGLE ROOF W/ RIDGE VENT TO MATCH EXIST. FLASHING WHERE ROOF AND WALL MEET
- 4 NEW CRICKET
- 5 NEW GUTTERS AND DOWNSPOUTS TO MATCH EXIST.
- 6 JAMES HARDIE SIDING
- 7 GAS FIRE PLACE
- 8 PIER AND BELL FDN (SEE A/A3)
- 9 NEW CONC. PATIO STEPS

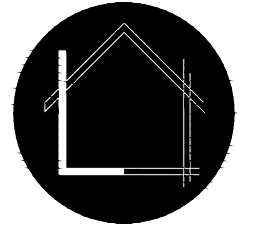


A
A8 EAST ELEVATION
SCALE: 1/4" = 1'-0"



B
A8 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS		
NO.	DESCRIPTION	DATE

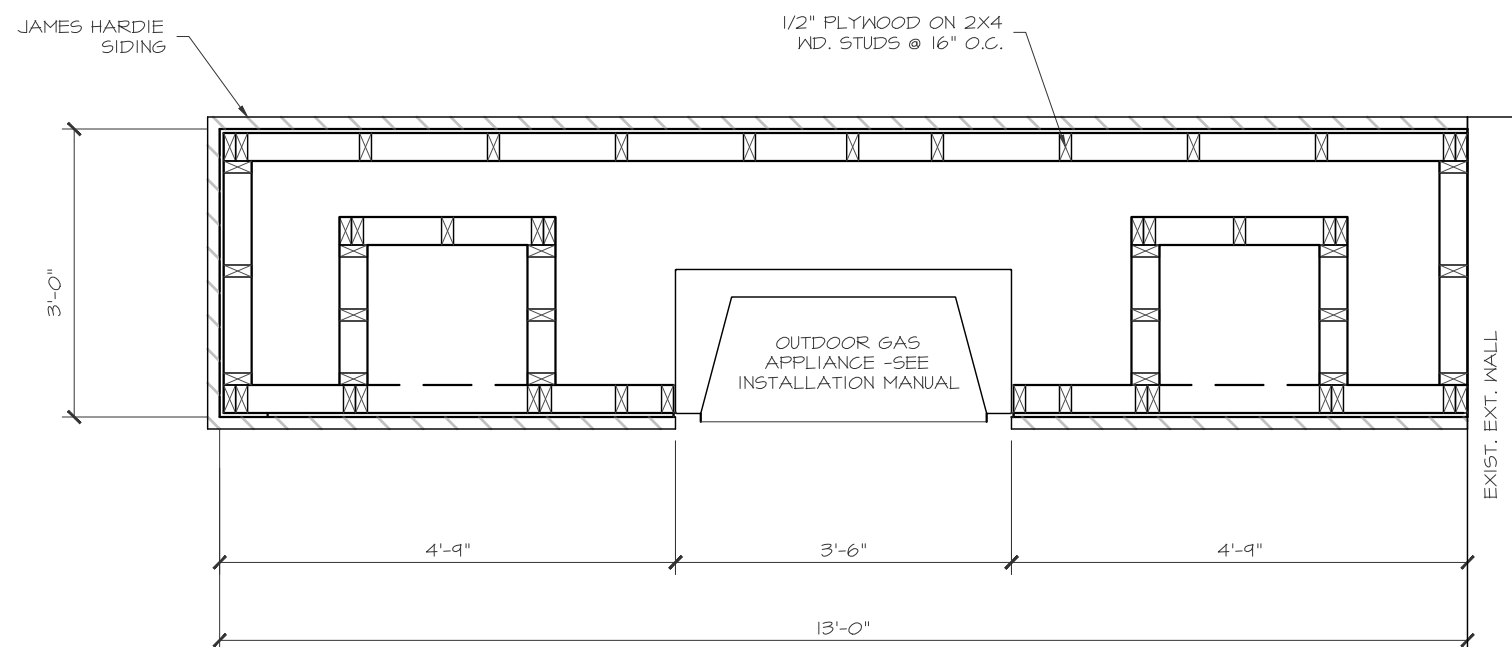
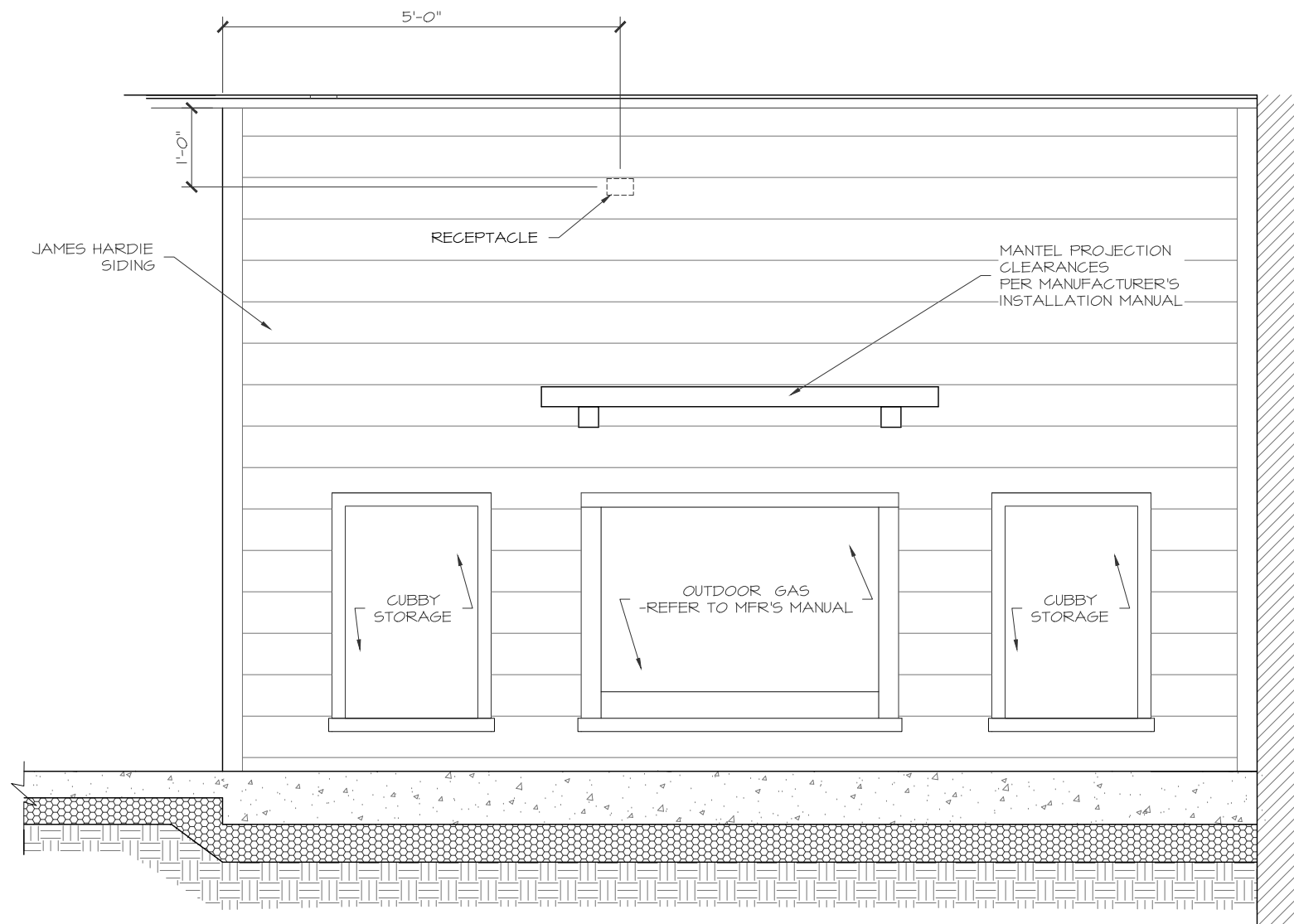
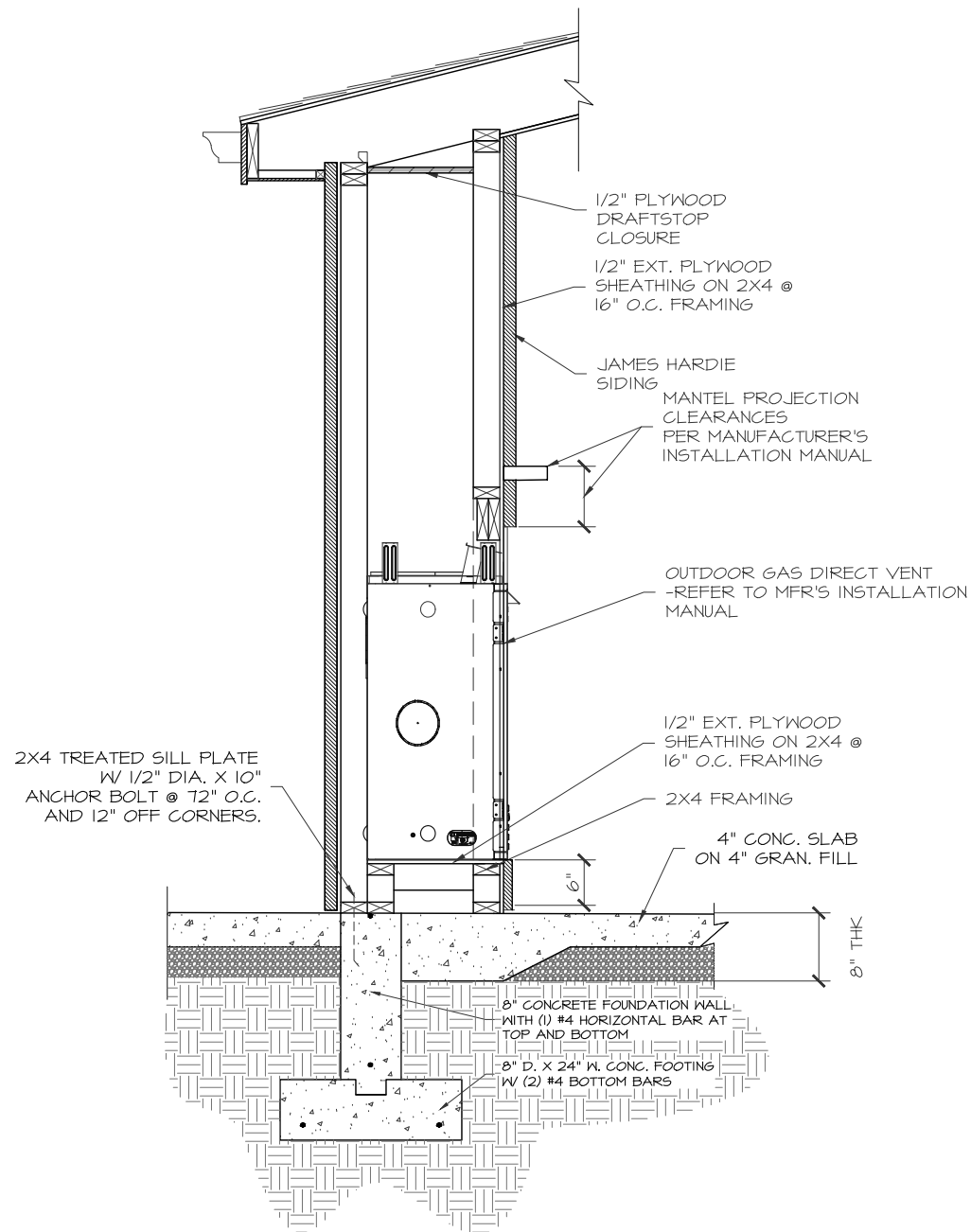
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**SECTION
DETAILS**

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CHECKED BY: DAN KARY
SHEET #

A9

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A
A9 FIREPLACE DETAILS
SCALE: 1/2" = 1'-0"





















AGENDA ITEM #6D

**STAFF REPORT
NEW OUTBUILDING
337 SOUTH MAIN STREET
CASE NO. SP-2026-15**

BY TAYLOR MOORE

APPLICANT: Andrew Hall
5184 Rosemount Drive
Weldon Springs, MO 63304

OWNER: Same

ADDRESS/LOCATION: 337 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial—Main Street Books

MEETING DATE: April 20, 2026

BACKGROUND

Built prior to 1870, the subject property is the 2½ story, Italianate commercial building located at 337 South Main Street in the South Main Preservation District. An addition was constructed on the rear of the structure in 1996. The applicant is requesting approval to construct a prefabricated storage shed in the rear parking lot on the property. The proposed new outbuilding is 12' x 16' (192 sq. ft.) and will be utilized for the storage of books for distribution. Accompanying this report are photographs of the property and outbuilding, as well as a site plan for proposed location.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: "SMPD" SOUTH MAIN PRESERVATION DISTRICT

C. *Special Building and Occupancy Permit.*

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter VI: Guidelines for New Construction and Alterations to Non-Contributing Structures

Site Planning for a New Building

6.4 Orient a new secondary building similar to that of other historic secondary buildings.

- a. Orient a secondary structure parallel to the lot lines as well.
- b. Locate a secondary structure at or near the rear of the lot.

Building Form, Mass and Scale

- 6.17 A secondary structure shall be similar in form, mass and scale to secondary structures traditionally seen in the District.
- a. A garage, for example, should reflect traditional secondary structure design (i.e. carriage houses) despite their planned use.

Roofs

- 6.20 Match a roof on a secondary structure with the roof form of the primary structure.
- 6.22 The roof must appear to be in the same manner as that of historic structures.
- a. Use materials similar to those used historically. Low profile asphalt shingles, for example, are appropriate in place of wood shingles.
 - b. Maintain a similar color. Gray, black and brown are typical of many historic roof materials. Consider the neighborhood context for color.
- 6.23 Eave depths shall be similar to those seen traditionally in the neighborhood.

Materials

- 6.29 Materials shall appear similar in character to those used historically.
- a. Using materials that are the same as those employed historically is preferred.
 - b. Substitute materials may be used for individual building elements but shall not be used for the primary building material. For instance, brick must be similar in size to that used historically.

STAFF RECOMMENDATION

The proposed structure will be framed, clad in wooden vertical siding, and feature an architectural shingle roof. The South Main Preservation District specifies that the roof of a secondary structure should match the roof form of the primary structure and that the roof must appear to be in the same manner as that of historic structures in the district. The rear 1996 addition features a gabled roof, which the proposed outbuilding roof will match. The siding will be painted Medium Slate from the approved color palate. The window on the structure will be vinyl, and the one-man door will be made of fiberglass. Due to the grade change of the lot, the building will be sat on stilts on one side to ensure it is level. Since the shed is not to be occupied, the applicant has agreed to not connect power to this structure.

The proposed outbuilding is for storage purposes only and will not contain any office space or space occupied by individuals. As such, this is not considered an expansion of the buildings occupied footprint and will not impact on the parking requirements. Due to being placed in a shared parking lot, the applicant has provided a written agreement with the adjacent property owner stating the installation of this building will not impeded on their parking area. It should be noted that while two (2) parking spaces are being removed for this installation, if any future additions or occupied space is added to the structure, additional parking will be required to be added by code.

Overall, the design of the proposed prefabricated storage shed is simple. It complies with the design guidelines for the South Main Preservation District, and will be only visible from the alley and where Jackson Street ends before Main Street. Therefore, Staff recommends approval of the project, subject to the following condition:

1. If the building expands in occupiable space, additional parking will be required.

Recommended Motions:

Motion to approve the installation of a new outbuilding in the rear of 337 South Main Street, subject to the condition recommended by Staff.



Figure 1: 337 South Main Street seen from the roadway.



Figure 2: Rear lot of property.



Figure 3: View of rear lot from Jackson Street showcasing proposed shed location.



Figure 4: Example of proposed outbuilding/shed.

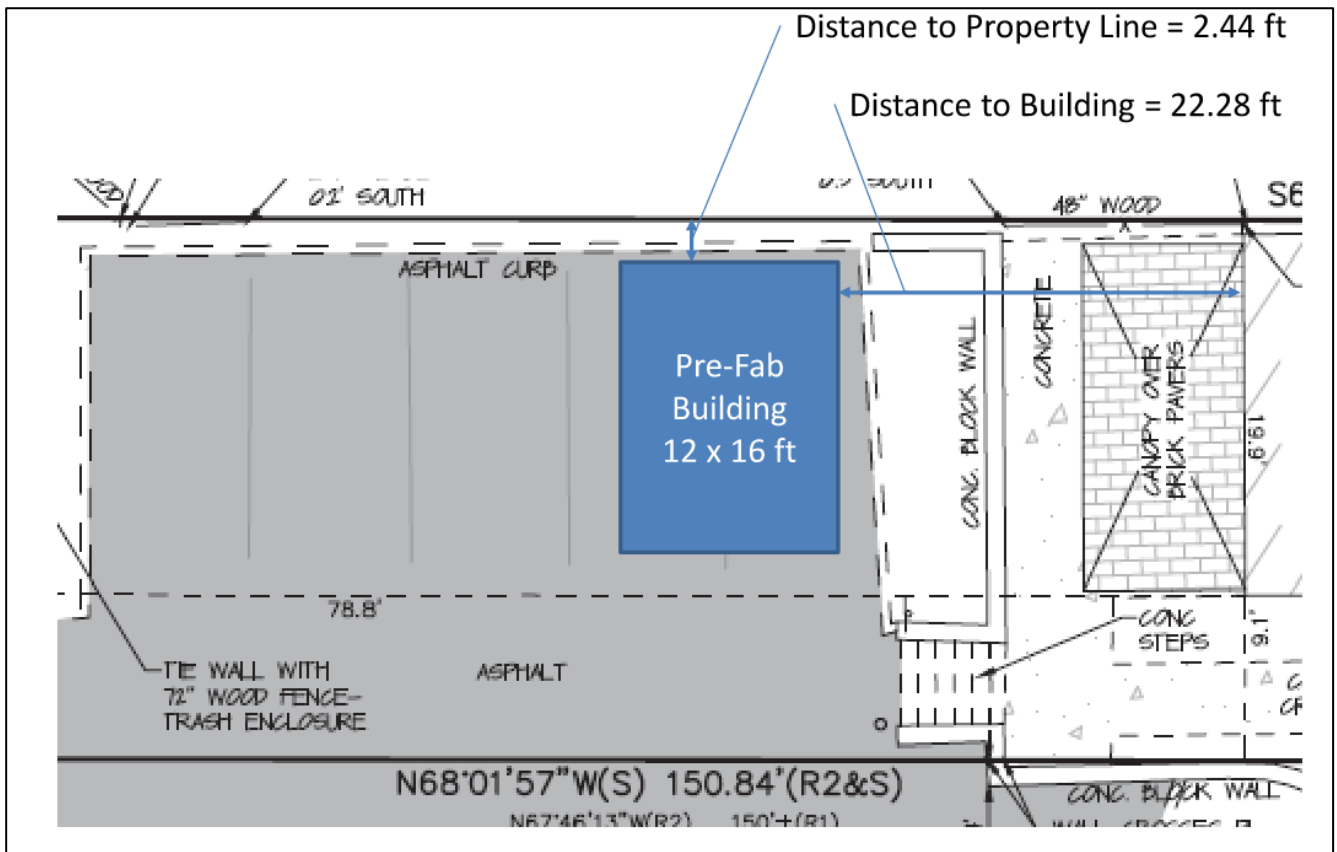


Figure 5: Site plan for proposed outbuilding's location.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 337 South Main Street

BUSINESS NAME (if applicable): Pileated Properties LLC

APPLICANT:

Andrew Hall

(Name)

5184 Rosemount Dr., Weldon Spring, MO 63304

(Address)

636-352-6419 andy@mainstreetbooks.net

(Phone & Email Address)

PROPERTY OWNER:

Emily Schroen, Ian Schroen, Ellen Hall, Andrew Hall

(Name)

same as above

(Address)

same as above

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1870

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

337 is a two-and-one-half story brick building on the West side of South Main Street. In addition to the original structure, an addition was added in 1996. The first floor houses Main Street Books. The second story will be an apartment. Behind the building there are 5 parking spaces and an enclosed area for trash receptacles.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: Add pre-fab shed for storage and a work desk

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

A 12 by 16 foot pre-fab building will be placed in the back of the building, in the two parking spaces that are closest to the building. It will be used as both storage and office. The building will be constructed of high-quality wooden siding and will be roofed with architectural shingles. The building color will be Medium Slate, chosen from the approved palette, with white trim.

APPLICATION SUBMITTAL:

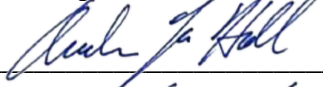
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

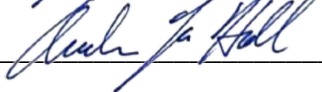
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: _____  _____ Date: 3/23/26

Signature of the property owner: _____  _____ Date: 3/23/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

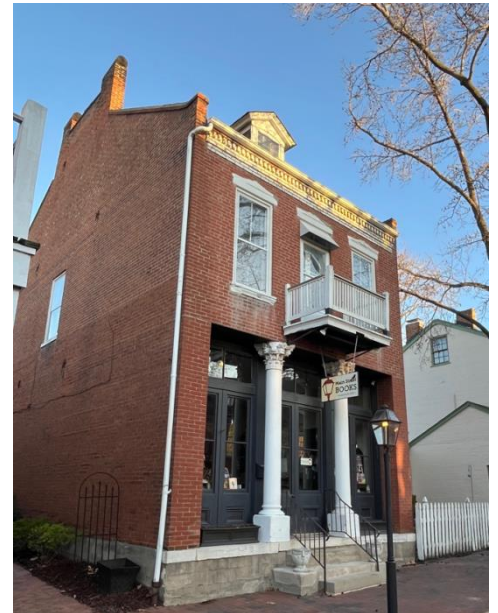
Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00

Outbuilding at 337 South Main St.

Owned by Pileated Properties, LLC

Andrew Hall, co-owner

636-352-6419



Owner Information

The Schroen and Hall families have owned Main Street Books since 2014, operating at 307 South Main. In September 2025 we purchased 337 South Main, as a long term investment and commitment both to the bookstore and to Main Street as stewards of this beautiful and historic building.

The bookstore reopened at 337 in February 2026.

Pre-Fab Building Design

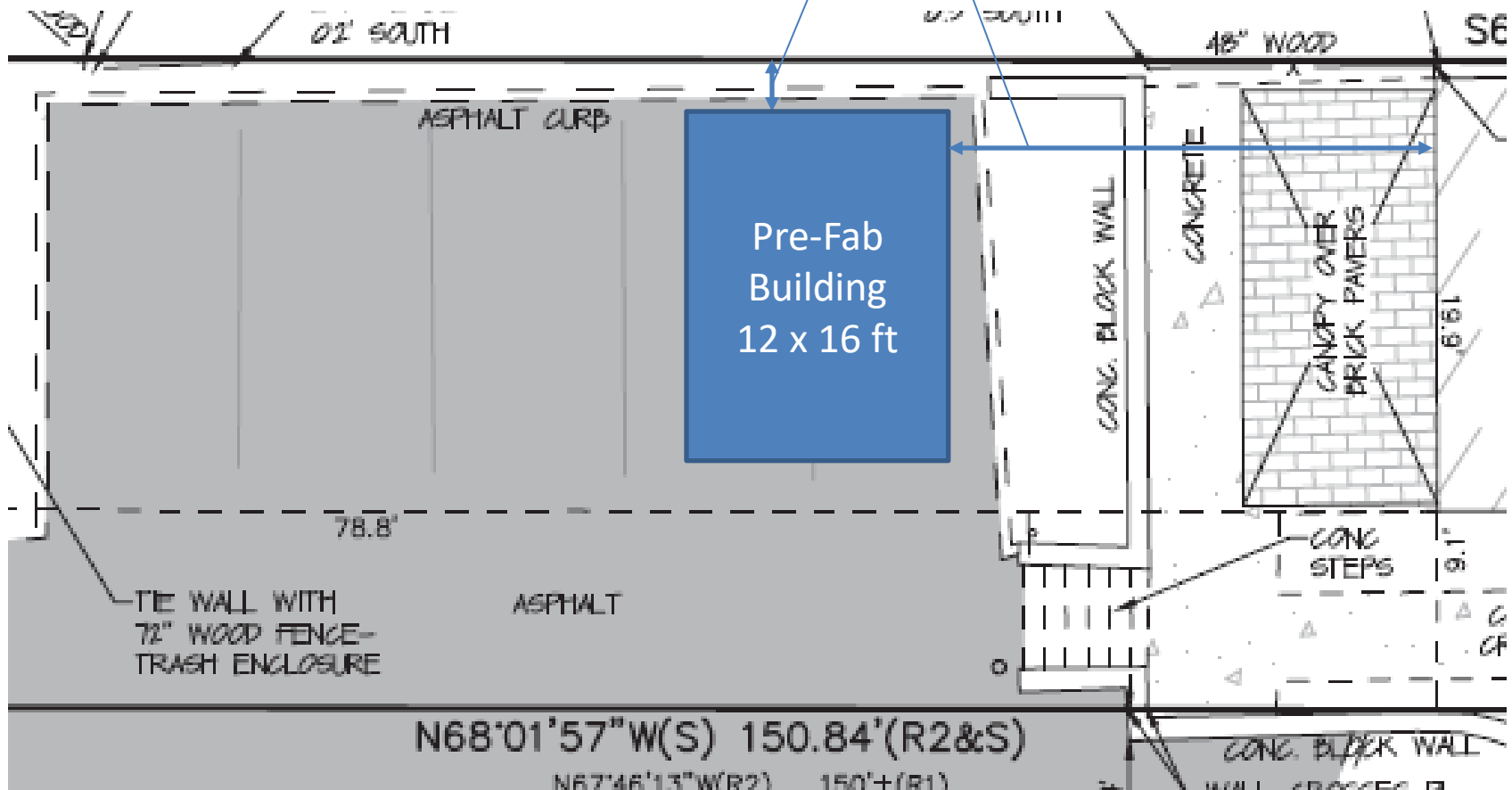


- Area = 192 sq ft (12 by 16)
- Will be used mostly for book storage, but will also have one desk with one computer
- Will have a combo heating/cooling window unit
- Will have power run from main building for heating/cooling, lights and computer
- Will be insulated
- Color will be Medium Slate

Building Placement

Distance to Property Line = 2.44 ft

Distance to Building = 22.28 ft



Rear View of Building



Parking lot has a slight grade, so building will be leveled with piers, working with the manufacturer.

We have verified that the cars in the adjoining parking lot will have no problem parking.

Building Details

5-Star Buildings (<https://5starbuildings.com>) manufactures high quality pre-fab buildings in Cuba, MO. (We have owned one for 10 years)

Features include:

- Synthetic Underlayment
- TrueVent System - Soffit Vent & Ridge Vent
- 2x6 Floor Joists & 3/4" Advantech Flooring
- 16" Framing - floors, walls, roofs, gables
- Walls made of LP Smartside
- 10-Year Warranty
- Siding Handset Nails and Hand Rolled Paint
- Custom painted (to Main Street approved Medium Slate)

Other Information

- We currently have 5 parking spaces, although the space near the building is partially cut off and generally unused. (see survey)
- In the future, we plan to rework the fenced-in trash area at the rear of the property to make it smaller, and add a parking space. It is currently in disrepair.
- Our next project will be a façade grant application.



AGENDA ITEM #6E

STAFF REPORT
**REMOVE REAR GARAGE
& REAR ADDITION**
711 SOUTH BENTON AVENUE
CASE NO. SP-2026-5 (DEMO)

BY TAYLOR MOORE

APPLICANT: Matt Barker
211 Perry Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 711 South Benton Avenue

ZONING: R-1E—Single-Family Residential
EHD—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is 711 South Benton Avenue which is a 1½ story, brick, Federal styled house that was built in 1890. Behind the primary structure is a one-story wood framed addition that is approximately 12' x 34' (408 square feet). Behind this addition is a detached garage measuring approximately 19' x 20' (380 square feet). It is a wood framed structure built on a slab and clad in multiple materials. The applicant is requesting approval to remove both the rear addition and the detached garage from the property. Accompanying the application is the required Historical/Architectural Report, for the garage structure, and existing photos of the property. The review will address the rear addition first, then move on to the detached garage structure.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):



Figure 1: Subject property outlined in blue, subject addition outlined in green, subject garage outlined in red.

Rear Addition:

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District "to establish a criterion of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare." The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District

and apply to be listed in the National Registry, this home as it stands today would most likely be considered as non-contributing to the district due to the many alterations it has had over time

- **Staff: *Staff concurs with this analysis. The structure features architectural styles of both Federal, Victorian, and Craftsman. A porch would not have been an original feature of a Federal styled house, and the front dormer features many Victorian influences. Additionally, the home features two additions that do not match the original structure in material.***

Criterion 2: *The property's location as a site of a significant local, county, state or national event.*

- **Applicant: "There is no documentation that this location is or has been associated with any significant local, County, State or national event."**
- **Staff: *Staff concurs with this analysis.***

Criterion 3: *The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.*

- **Applicant: "The home does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country."**
- **Staff: *Staff concurs with this analysis.***

Criterion 4: *The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.*

- **Applicant: "This rear addition is a poor example of construction for any period, type, or method. It is a one-story wood framed structure with gable roof. The exterior wall cladding material is cheap and poorly crafted and not an indigenous material. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction"**
- **Staff: *Staff concurs with this analysis, as the design has no distinct characteristics of an architectural style.***

Criterion 5: *The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant: "The architect or builder of the current building is unknown."**
- **Staff: *Staff concurs with this analysis. No record of the structure's designer is noted.***

Criterion 6: *The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant: "The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant."**

- **Staff:** *Staff concurs with this analysis; the structure does not embody any significant characteristics.*

Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** "The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative."
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** "The structure is located at the rear of the property and is not visible from South Benton Avenue due to its location on the site behind the primary structure. It can be seen from the alley. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district."
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on the property for at least 50 years, it is not significant or visible enough to become a familiar visual feature to the community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** "This addition to the main structure is very cheaply and poorly constructed. It has no defining characteristics or design that make it architecturally significant."
- **Staff:** *Staff concurs with this analysis.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** "The building was constructed as an apartment addition to the primary home. It has not and is not likely to yield any information important to history."
- **Staff:** *Staff concurs with this analysis.*



Figure 2: Subject rear addition seen currently.

Detached Garage:

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District "to establish a criterion of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare." The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district due to the fact that evidence exists that it was not original to the property. As a garage building, it does not appear to contribute any particular character or interest to the heritage or cultural aspect of the community, County, State, or country. It's existence as a garage is one of hundreds of garages also located within the Extended Historic Preservation District and the community as a whole.
- **Staff:** *Staff concurs with this analysis. The structure has no distinct character and was built for use rather than aesthetics. Likewise, examples of similar structures can be found all throughout the community.*

Criterion 2: *The property's location as a site of a significant local, county, state or national event.*

- **Applicant:** “There is no documentation that this location is or has been associated with any significant local, County, State or national event.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: *The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.*

- **Applicant:** “The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: *The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.*

- **Applicant:** “The current structure is utilitarian in construction. The one-story wood framed structure constructed over a concrete slab on grade. It has no major distinguishing characteristics of an architectural style that would be valuable for study of the period, type, or method of construction.”
- **Staff:** *Staff concurs with this analysis, as the design has no distinct characteristics of an architectural style.*

Criterion 5: *The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant:** “The architect or builder of the current building is unknown.”
- **Staff:** *Staff concurs with this analysis. No record of the structure's designer is noted.*

Criterion 6: *The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant:** “The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be historically or architecturally significant.”
- **Staff:** *Staff concurs with this analysis; the structure does not embody any significant characteristics.*

Criterion 7: *The property's embodiment of design elements that make it structurally or architecturally innovative.*

- **Applicant:** “The structure is utilitarian in design. There are no elements that embody any particular detailing or craftsmanship that would be structurally or architecturally innovative.”
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** “The structure is located at the rear of the property and is not visible from South Benton Avenue due to its location on the site behind the primary structure. It can be seen from the alley. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district.”
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on the property for at least 50 years, it is not significant or visible enough to become a familiar visual feature to the community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** “The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it architecturally significant.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** “The building was constructed as a garage, storage building, or shed. It has not and is not likely to yield any information important to history.”
- **Staff:** *Staff concurs with this analysis.*



Figure 3: Subject detached garage in the rear of the property.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
 10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
 2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
 3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
 4. Assessed value of the property according to the two (2) most recent assessments;
 5. Real estate taxes of the previous two (2) years;
 6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
 7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – ADDITION HISTORICAL SIGNIFICANCE

After reviewing the subject one-story, wood framed rear apartment against the applicable standards for review, Staff has determined that the structure holds no historic value to the property, district, or the City. Despite this, the structure appears to have been built at least fifty (50) years ago and therefore requires approval for removal. The apartment was constructed on a poured concrete slab featuring no basement, and has no interior connection to the primary structure. This addition was likely added for a separate dwelling space from the original structure, and has been utilized as an apartment for many years. The removal of it will have no impact on the primary, original structure, or the overall neighborhood. Therefore, Staff does not recommend the rear apartment be found historically significant.

Recommended Motion:

Motion to find the one-story apartment addition in the rear of 711 South Benton Avenue to be historically significant. (Staff believes the apartment addition is not historically significant and should be allowed to be removed.)

STAFF RECOMMENDATION – REAR GARAGE HISTORICAL SIGNIFICANCE

After reviewing the subject one-story, wood framed rear detached garage against the applicable standards for review, Staff has determined that the structure holds no historic value to the property, district, or the City. Despite this, the structure appears to have been built at least fifty (50) years ago and therefore requires approval for removal. The garage was constructed on a concrete slab, and features many different materials, likely from maintenance over the years. The removal of the structure will have no visual impact on the neighborhood or community as a whole. Therefore, Staff does not recommend the detached garage be found historically significant.

Recommended Motion:

Motion to find the one-story detached garage in the rear of 711 South Benton Avenue to be historically significant. (Staff believes the detached garage is not historically significant and should be allowed to be removed.)



Figure 4: Subject primary structure located on the property.



Figure 5: Property seen from rear alleyway.



Figure 6: Subject property's location.



AGENDA ITEM #6F

STAFF REPORT
REMOVE REAR GARAGE
912 SOUTH 4TH STREET
CASE NO. SP-2026-6 (DEMO)

BY TAYLOR MOORE

APPLICANT: Mike Petrosino
912 South Fourth Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 912 South Fourth Street

ZONING: CRD-2—Central Residential District 2
EHD—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: March 23, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is 912 South Fourth Street which is a two-and-one-half story, brick, Colonial Revival style house that was built in 1910. At the rear of the lot is a one-story, front gabled, two-car garage. The garage is approximately 22' x 24' (528 square feet) and is clad in wood board and batten and constructed over a concrete slab on grade. The applicant is requesting to remove the structure to provide space for the construction of a new garage. Accompanying the application is the required Historical/Architectural Report, for the garage structure, and existing photos of the property.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** “The subject property is located within the locally designated Extended Historic Preservation District. This district is not listed on the National Register of Historic Places. As a locally designated district only, the EHPD establishes a boundary within the city with the purpose as stated in the Site Development Review Design Guidelines of the District “to establish a criterion of appearance codes to develop a satisfactory visual appearance within the city, preserve taxable values and promote public health, safety, and welfare.” The EHPD does not take into consideration any contributing factors of an individual building to the overall district as a whole. If the area were ever to be surveyed with the intent to be added as its own individual Historic District and apply to be listed in the National Registry, this accessory structure would most likely be considered as non-contributing to the district due to the fact that evidence exists that it was not original to the property. As a garage building, it does not appear to contribute any particular character or interest to the heritage or cultural aspect of the community, County, State or country. It’s existence as a garage is one of hundreds of garages also located within the Extended Historic Preservation District and in the community as a whole.”
- **Staff:** *Staff concurs with this analysis. The structure is typical of accessory buildings within the district. With no particularly unique characteristics or architectural details, the structure would not be considered of interest or value.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** “There is no documentation that this location is or has been associated with any significant local, County, State or national event.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** “The garage building does not appear to be associated with any persons who significantly contributed to the development of the community, County, State or country.”
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** “The current structure is utilitarian in construction. It is a one-story wood framed structure constructed over a concrete slab on grade. It has no major distinguishing characteristics of an architectural style that would be valuable for a study of the period, type, or method of construction..”
- **Staff:** *Staff concurs with this analysis, as the design has no distinct characteristics of an architectural style.*

Criterion 5: The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant:** "The architect or builder of the current building is unknown."
- **Staff:** *Staff concurs with this analysis. No record of the structure's designer is noted.*

Criterion 6: The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant:** "The structure is utilitarian in design. There are no elements that embody any detailing or craftsmanship that would be historically or architecturally significant. It is clad in board & batten siding which is common for outbuildings."
- **Staff:** *Staff concurs with this analysis; the structure does not embody any significant characteristics.*

Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** "The structure is utilitarian in design. There are no elements that embody any detailing or craftsmanship that would be structurally or architecturally innovative. It is clad in board & batten siding which is common for outbuildings."
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** "The structure is located at the rear of the property and is not visible from South 4th Street due to its location on the site behind the primary structure and the 6' tall privacy fence around the property. It can be seen from the alley. Along the alley, there are outbuildings of various sizes, scales, and time periods. There is nothing unique about the location or physical characteristics that make it a familiar feature of the neighborhood or district."
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on the property for at least 50 years, it is not significant or visible enough to become a familiar visual feature to the community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** "The current structure is a common example of a utilitarian structure. It has no defining characteristics or design that make it architecturally significant."
- **Staff:** *Staff concurs with this analysis.*

be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.

- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 - 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 - 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 - 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 - 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 - 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 - 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or

10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
 2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
 3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
 4. Assessed value of the property according to the two (2) most recent assessments;
 5. Real estate taxes of the previous two (2) years;
 6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
 7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – HISTORICAL SIGNIFICANCE

After reviewing the subject one-story garage against the applicable standards for review, Staff has determined that the structure holds no historic value to the property, district, or the City. Despite this, the structure appears to have been built at least fifty (50) years ago and therefore requires approval for removal. The simple board and batten cladding and construction are similar to many other accessory structures throughout the district and the City as a whole. Its visual appearance and rear location is not significant enough to be considered an important structure to the neighborhood. The proposed demolition will have no adverse impact on the area and is being conducted to make way for new construction. Therefore, Staff does not recommend the garage be found historically significant.

Recommended Motion:

Motion to find the 2-car garage in the rear of 912 South 4th Street to be historically significant. (Staff believes the garage is not historically significant and should be allowed to be removed.)



Figure 2: Subject structure seen from rear alley.



Figure 3: Subject structure seen from rear yard on the property.

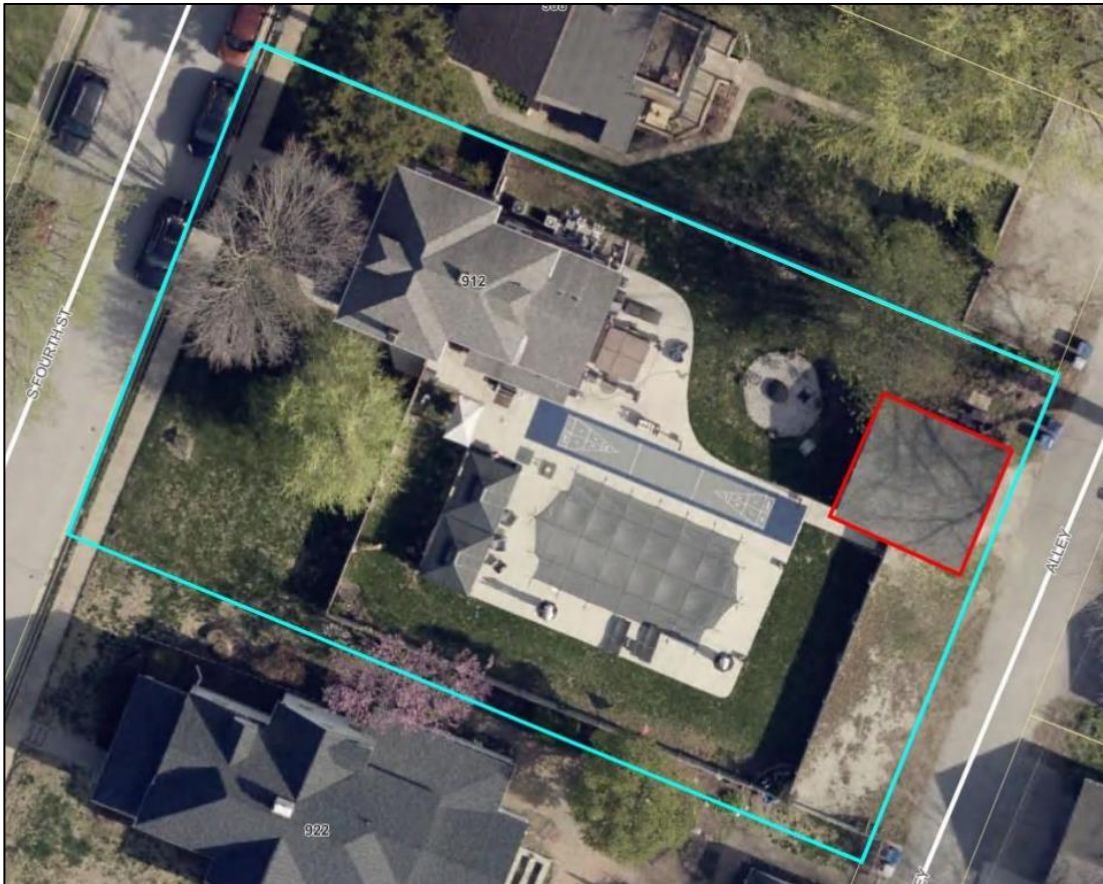


Figure 4: Subject structure seen on property outlined in red.



Figure 5: Subject property's location.



AGENDA ITEM #6G

**STAFF REPORT
DEMOLISH STRUCTURE
201 SOUTH 7TH STREET
CASE NO. SP-2026-8 (DEMO)**

BY TAYLOR MOORE

APPLICANT: Carl Drafall
Mission Architects
11777 Gravois Road
St. Louis, MO 63127

OWNER: Immanuel Lutheran Church
115 S. Sixth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 201 First Capitol Drive

ZONING: R-1E—Single-Family Residential District
EHP—Extended Historic Preservation District

USE: Two-Family Duplex

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is a brick, Missouri-Vernacular with Federal style influences, dwelling located at 201 South 7th Street in the Extended Historic Preservation District. Constructed circa 1880, the structure was built as a single-family dwelling and was later converted into a duplex. The property also features a rear detached garage that is not historic. This block of South 7th Street was intentionally excluded from the Midtown Neighborhood National Register survey conducted in 2014 (Figure 6, Page 11). As noted in the summary section of the National Register of Historic Places registration form, properties located closer to First Capitol Drive were omitted from the district boundaries due to the presence of numerous modern intrusions and alterations. The applicant is requesting approval to demolish the existing structure for the future development of Immanuel Lutheran Church and School ministries. The ministry's campus master plan proposes the construction of a new Early Childhood Development Center, including a large multipurpose room. The project is intended to consolidate early childhood education services, which are currently dispersed among several structures, into a single, centralized facility.

Historically, the Church Campus has evolved over time through incremental expansion. Previous development phases included construction of Immanuel Lutheran School and a Fellowship Hall Facility, during which earlier structures on surrounding properties were removed. This pattern of redevelopment is illustrated in Figure 1, which compares the

historic 1909 Sanborn Map with current site conditions. Accompanying the application is the required Historical/Architectural Report for the subject structure and existing photographs of the property.

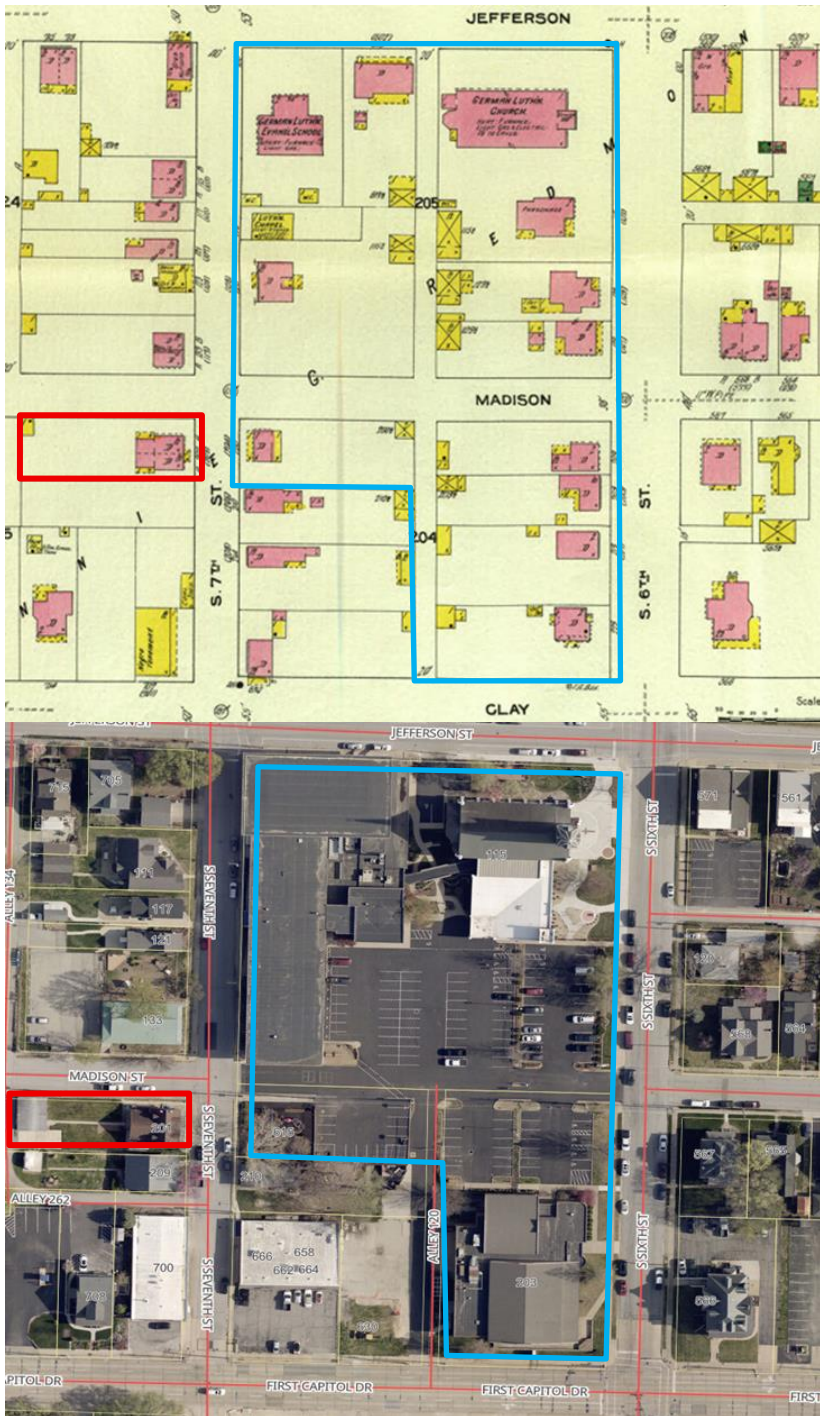


Figure 1: 1909 Sanborn Map compared to present site. Subject property seen in red, Campus expansion in blue.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "From review of Sanborn maps and other records, the structure appears to have been constructed in the 1880's. Over the years, it was addressed as 2303, 203, 207, and 201-203 S. 7th Street. Records indicate that it was constructed as a single-family home without front porch or rear addition. At sometime around 1909 the structure was converted to a duplex and the rear els were added. Immanuel Lutheran Church recently acquired the property and is leasing the home to residential tenants as the Church advances its campus improvement plans. It does not appear to be a significant part of the community's history or heritage.
- **Staff:** *Staff concurs with this analysis. While the structure features architectural characteristics of Federal style and vernacular Missouri detailing, the structure itself is not of interest or value to the community. Furthermore, the structure was excluded from the Midtown Neighborhood National Register survey conducted in 2014. Essentially stating it does not contribute to the district or overall cultural characteristics of the community.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "The building is not known as a location for a significant local, County, State, or national event."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** “The structure is a common example of a vernacular masonry structure, without especially unique features or historically significant characteristics. The non-historic alterations undermine the structures historic characteristics.”
- **Staff:** *Staff concurs with this analysis. The structure has a noticeable lack of ornamentation that similar buildings typically retain. This could indicate removal or simplification over time. The structure has no distinguishing characteristics of architectural style that make it valuable for study.*

Criterion 5: The property’s identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant:** “The structure is not known to be the work of a historically significant master builder or architect.”
- **Staff:** *Staff concurs with this analysis. No record of the structure’s designer is noted.*

Criterion 6: The property’s embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant:** “The structure is a common example of a vernacular masonry structure, without especially unique historically significant features or characteristics. There is an apparently non-historic concrete front porch that undermines the structures historic characteristics.”
- **Staff:** *Staff concurs with this analysis. The front porch on the structure is in fact non-historic and would not have been a feature on a building such as this. Furthermore, changes to the façade and the covering of transoms have adversely impacted the structure’s ability to convey architectural significance. This was more than likely a primary reason the structure was not included in the boundaries of the Midtown Neighborhood Historic District.*

Criterion 7: The property’s embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** “The structure is a common example of a vernacular masonry structure, without especially unique or innovative design elements or historically significant characteristics. The non-historic alteration undermines the structures’ historic characteristics.”
- **Staff:** *Staff concurs with this evaluation. The structure seems to have lost many of its architectural detailing over time.*

Criterion 8: The property’s unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** “The structure is located among much more recent commercial development and is not known as a historically significant feature of the neighborhood or community.”
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on*

the property for over 100 years, it is not significant or visible enough to become a familiar visual feature to the community.

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** “The structure is a common example of a vernacular masonry structure without especially unique or innovative design elements or historically significant characteristics. There is an apparently non-historic concrete front porch that undermines the structure’s historic characteristics.”
- **Staff:** *Staff concurs with this analysis. The building itself is a primary structure and not utilized for utilitarian use.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** “The structure is a common example of a vernacular masonry structure, unlikely to yield historically significant information.”
- **Staff:** *Staff concurs with this analysis. While the structure has been on the property since the 19th Century, it does not portray any historically significant information that has not already been gathered.*

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

B. *Certificate of Demolition or Removal.* No person shall be permitted to remove or demolish any building in the Extended Historic Preservation District without the issuance of a certificate of demolition or removal by the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The HLPARB shall base its decision upon the review criteria set forth in Section 400.1280; further, the HLPARB shall process all requests for certificates of demolition and removal in accordance with the procedures set forth in the aforesaid Sections of the Code. This provision shall not apply to accessory buildings which have less than five hundred (500) square feet nor to properties less than fifty (50) years old, unless the Director of Community Development determines that the building may have historical significance and refers the question to the HLPARB.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL.

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.

- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 2. Its location as a site of a significant local, county, state or national event;
 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 7. Its embodiment of design elements that make it structurally or architecturally innovative;

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
10. The fact that it has yielded, or may be likely to yield, information important in history.

G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:

1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
4. Assessed value of the property according to the two (2) most recent assessments;
5. Real estate taxes of the previous two (2) years;
6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – NOT HISTORICALLY SIGNIFICANT

The Board is tasked with deciding whether the subject property meets the criteria for historical significance. The City's criteria are derived from widely accepted historic preservation standards established by the Secretary of the Interior and administered through the National Park Service and State Historic Preservation Office and are incorporated into Section 400.1280(F) of the Zoning Ordinance. Employing the Standards for Review, Staff has concluded that the existing structure at 201 South 7th Street does not meet any of the ten criteria to be considered historically significant. The structure lacks significant requirements to ever be listed as on a National Register and furthermore was excluded from the Midtown Neighborhood National Register District boundary in 2014. While the structure is over 100 years old and is historic due to age, it does not portray any historical or architectural

significance for the community. Additionally, the rear, modern garage will also be removed along with the primary structure. If the Board agrees that the existing structure is not historically significant, the structure may be demolished. Staff recommends that the building is **not** considered historically significant.

Recommended Motion:

Motion to find the structure located at 201 South 7th Street to be historically significant. (Staff believes the structure is not historically significant and should be allowed to be removed.)



Figure 2: 201 South 7th Street seen from the roadway.



Figure 3: Subject structure seen from the corner of Madison and South 7th Streets.



Figure 4: Subject structure's rear seen from Madison Street.



Figure 5: Non-historic rear detached garage.

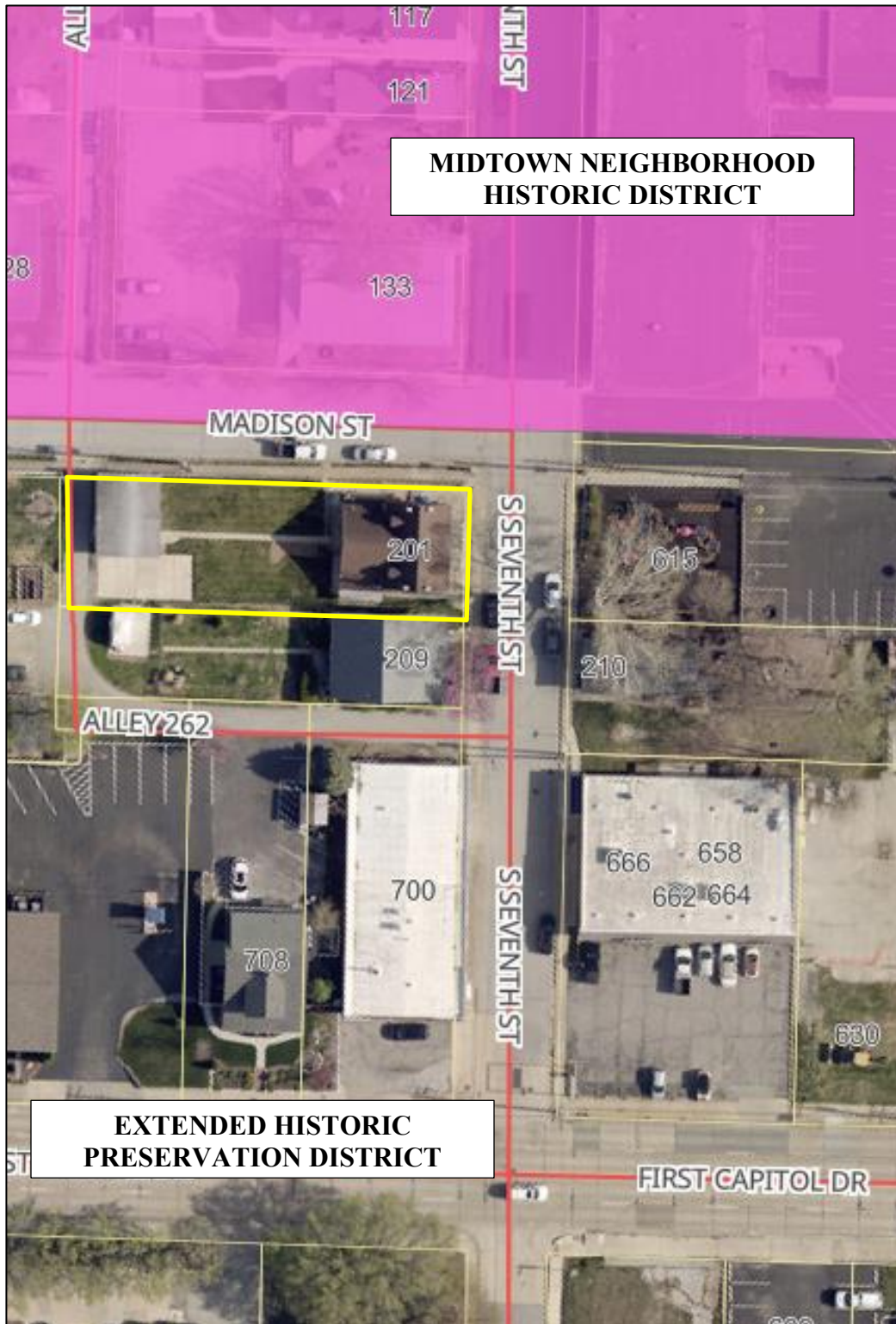


Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT:

(Name)

(Address)

(Phone & Email Address)

PROPERTY OWNER:

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:



Revised 04.13.26

GENERAL STANDARDS CRITERIA

APPLICATION FOR CERTIFICATE OF DEMOLITION OR REMOVAL

HPLARB

201 S. 7th STREET
ST. CHARLES, MO 63301

ADDRESS:

201 S. 7th Street
St. Charles, MO 63301
Extended Historic District

DESCRIPTION OF STRUCTURE

From review of Sanborn maps and other records, the structure appears to have been constructed in the 1880s. Over the years, it was addressed as 2303, 203, 207 and 201-203 S. 7th Street. Records indicate that it was constructed as a single family home without front porch or rear el addition. At sometime around 1909 the structure was converted to a duplex and the rear els were added.

The first occupants were listed as Chris Bull and Henry Hesskamp, followed by the Nolle family, noting laborers, carpenters, and electrician as the trades of residents over the years. Immanuel Lutheran Church recently acquired the property and is leasing the duplex to residential tenants as the Church advances its campus improvement plans.

The approximately 1,950 sf building is a common example of masonry residential construction from this period. The structure sets 5 steps above the sidewalk as a 1-1/2 story side masonry gabled bungalow form in contemporary siding. There is a low concrete retaining/garden wall at the sidewalk, with small landscape areas flanking the entry walks from the sidewalk to front porch. Each façade includes arched-top window and door openings with non-historic doors and windows. Twin slender dormers are located on the front and rear roof slopes. A 1-1/2 story (with very low ceilings) rear el addition includes wood frame wood porch ends that have been infilled with vinyl siding. There are unadorned masonry chimneys at the gable ends of the building. The roof is an architectural asphalt shingle.

There is an oversized 2-car detached rear garage. This accessory structure is in moderate condition, and appears to be more recently constructed than the main house. It is currently clad in vinyl dutch lap siding, with concrete masonry unit foundation (in need of repairs) and is not historically or architecturally significant.

The owner's recent purchase of the home after recent minor upgrades had been completed, and is currently leased to residential tenants.

The owners have maintained the structure in reasonable condition, but the building seems to be at the end of its life-cycle. The duplex floor plan and the attic level has low clearance minimize it's usefulness. Due to the non-historic alterations over the years,, we do not believe the building to be historically significant.



201 S. 7th Street – Front Elevation



201 S 7th Street – Rear Elevation



201 S 7th Street – Rear Detached Garage / Accessory Structure

section 400.1280 Certificates of Demolition or Removal

s. 400.1280-F.

Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country;

From review of Sanborn maps and other records, the structure appears to have been constructed in the 1880s. Over the years, it was addressed as 2303, 203, 207 and 201-203 S. 7th Street. Records indicate that it was constructed as a single family home without front porch or rear el addition. At sometime around 1909 the structure was converted to a duplex and the rear els were added.

Immanuel Lutheran Church recently acquired the property and is leasing the home to residential tenants as the Church advances its campus improvement plans.

It does not appear to be a significant part of the community's history or heritage.

2. Its location as a site of a significant local, County, State or national event;

The building is not known as a location for a significant local, County, State, or national event.

3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;

The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities.

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;

The structure is a common example of a vernacular masonry structure, without especially unique features or historically significant characteristics. The non-historic alterations undermines the structures historic characteristics.

5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;

The structure is not known to be the work of a historically significant master builder or architect.

6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;

The structure is a common example of a vernacular masonry structure, without especially unique historically significant features or characteristics. There is an apparently non-historic concrete front porch that undermines the structures historic characteristics.

7. Its embodiment of design elements that make it structurally or architecturally innovative;

The structure is a common example of a vernacular masonry structure, without especially unique or innovative design elements or historically significant characteristics. The non-historic alteration undermines the structures historic characteristics.

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;

The structure is located among much more recent commercial development, and is not known as a historically significant feature of the neighborhood or community.

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or

The structure is a common example of a vernacular masonry structure, without especially unique or innovative design elements or historically significant characteristics. There is an apparently non-historic concrete front porch that undermines the structures historic characteristics.

10. The fact that it has yielded, or may be likely to yield, information important in history.

The structure is a common example of a vernacular masonry structure, unlikely to yield historically significant information.

Thank you for your consideration of this application. Should you have any questions or would like additional information please contact me at the information provided below.

Sincerely,



Nathan A. Rauh
Architect, LEED-AP



NAISMITHALLEN
MAINSTREET PLANNING + DESIGN
130 A E. Lockwood Ave.
Webster Groves, MO 63119
314-556-0986
nathan.rauh@naismith-allen.com

BACKGROUND AND QUALIFICATIONS

Nathan Rauh is a registered architect with 30 years of experience in the architecture, design, real estate development, and construction industry.

He holds a M.Arch degree with a focus in Historic Preservation from Texas Tech University and has practiced architecture with a unique expertise in mixed-use, multi-family, and senior housing projects in urban and Main Street settings. His project work includes completed renovation of over 60 historic tax credit projects and work on many other historic buildings.

Currently Mr. Rauh leads Naismith-Allen, Inc., a boutique firm providing Planning, Development, Architecture, and Design services focused on infill, Main Street, Adaptive-use, and Historic Preservation projects.



AGENDA ITEM #6H

**STAFF REPORT
DEMOLISH STRUCTURE
209 SOUTH 7TH STREET
CASE NO. SP-2026-9 (DEMO)**

BY TAYLOR MOORE

APPLICANT: Carl Drafall
Mission Architects
11777 Gravois Road
St. Louis, MO 63127

OWNER: Immanuel Lutheran Church
115 S. Sixth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 209 South 7th Street

ZONING: R-1E—Single-Family Residential District
EHP—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is a bungalow structure located at 209 South 7th Street in the Extended Historic Preservation District. Constructed in 1927, the structure was built as a single-family dwelling and is a standard example of bungalows constructed during the early 20th century. This block of South 7th Street was intentionally excluded from the Midtown Neighborhood National Register survey conducted in 2014 (Figure 4, Page 10). As noted in the summary section of the National Register of Historic Places registration form, properties located closer to First Capitol Drive were omitted from the district boundaries due to the presence of numerous modern intrusions and alterations. The applicant is requesting approval to demolish the existing structure for future development plans of Immanuel Lutheran Church and School ministries. The ministry's campus master plan proposes the construction of a new Early Childhood Development Center, including a large multipurpose room. The project is intended to consolidate early childhood education services, which are currently dispersed among several structures, into a single, centralized facility.

Historically, the Church Campus has evolved over time through incremental expansion. Previous development phases included construction of Immanuel Lutheran School and a Fellowship Hall Facility, during which earlier structures on surrounding properties were removed. This pattern of redevelopment is illustrated in Figure 1, which compares the historic 1909 Sanborn Maps with current site conditions.

Accompanying the application is the required Historical/Architectural Report for the subject structure and existing photographs of the property.

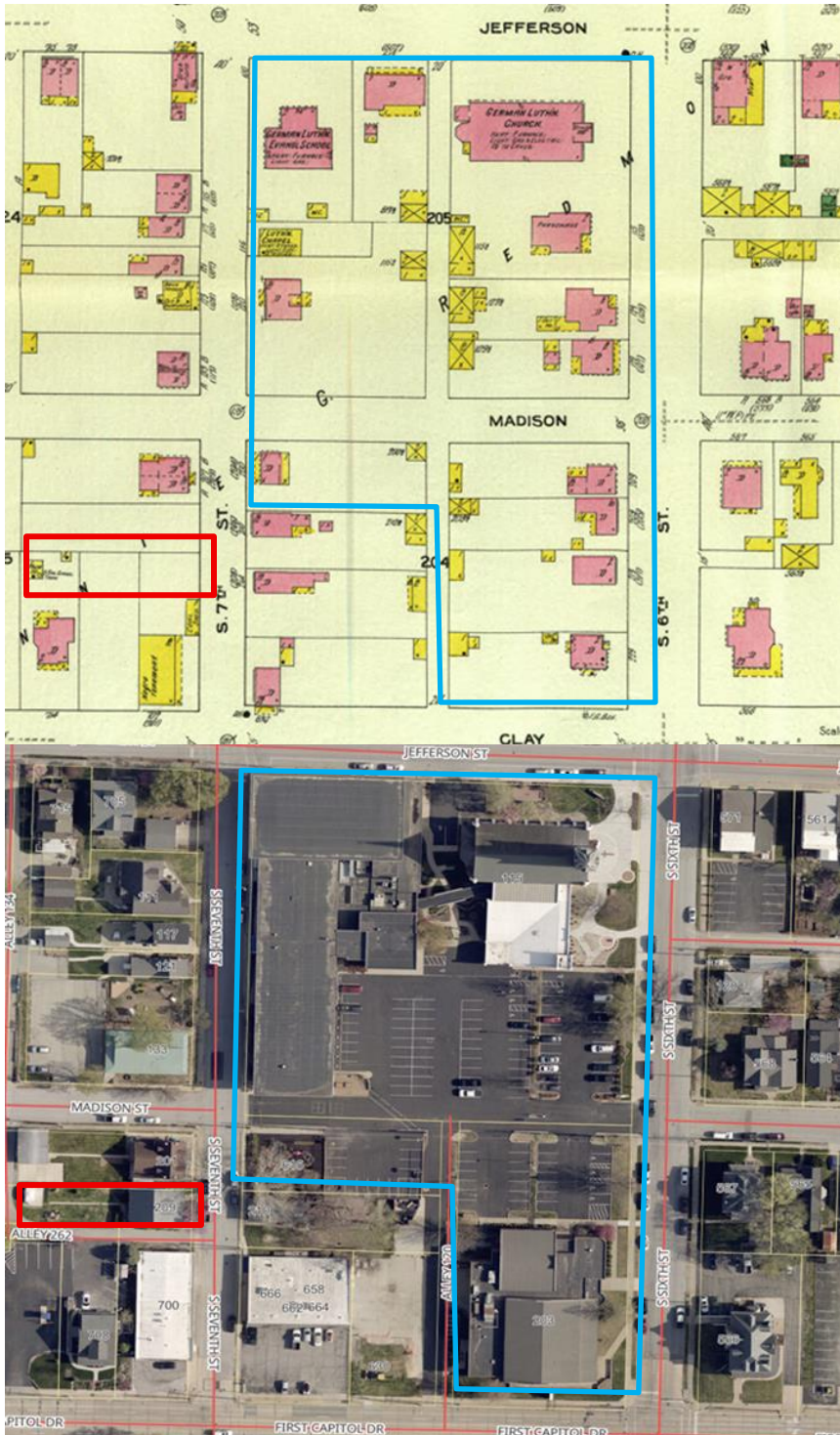


Figure 1: 1909 Sanborn Mao compared to present site. Subject property seen in red, Campus expansion in blue.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "From review of found city directory records, the structure appears to have been constructed sometime between 1922 and 1926 modest residential bungalow. There is a discrepancy with the assessor's records which note the year built as 1927. Immanuel Lutheran Church recently acquired the property and is leasing the home to a residential tenant as the Church advances its campus improvement plans. It does not appear to be significant part of the community's history or heritage."
- **Staff:** *Staff concurs with this analysis. The structure is an example of a standard early 20th century bungalow and does not embody any unique characteristics. Furthermore, the structure was excluded from the Midtown Neighborhood National Register survey conducted in 2014. Essentially stating it does not contribute to the district or overall cultural characteristics of the community.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "The building is not known as a location for a significant local, County, State, or national event."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** "The structure is a common example of a bungalow style residential structure, without especially unique features or historically significant characteristics. The enclosed porch undermines the structures historic characteristics."

- **Staff:** *Staff concurs with this analysis. Although the structure was originally constructed as a standard bungalow, it has experienced substantial alterations that diminish its historic integrity. Most notably, the open front porch, which is a defining feature of the style, has been completely enclosed with non-historic materials, significantly altering the primary façade. Additional changes such as window replacement, altered siding, and relocating the primary entrance from being central to offset largely impact the structure’s appearance. As a result, the structure no longer retains its original characteristics or architectural integrity.*

Criterion 5: *The property’s identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.*

- **Applicant:** **“The structure is not known to be the work of a historically significant master builder or architect.”**
- **Staff:** *Staff concurs with this analysis. No record of the structure’s designer is noted.*

Criterion 6: *The property’s embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.*

- **Applicant:** **“The structure is a common example of a bungalow style residential structure, without especially unique historically significant features or characteristics. The enclosed porch undermines the structures historic characteristics.”**
- **Staff:** *Staff concurs with this analysis. The front porch, being completely enclosed with solid wall infill and louvered windows, caused a major loss of architectural integrity. Bungalows typically have open porches and symmetrical columns. This was more than likely a primary reason the structure was not included in the boundaries of the Midtown Neighborhood Historic District.*

Criterion 7: *The property’s embodiment of design elements that make it structurally or architecturally innovative.*

- **Applicant:** **“The structure is a common example of a bungalow style residential structure, without especially unique or innovative design elements or historically significant characteristics. The enclosed porch undermines the structures historic characteristics.”**
- **Staff:** *Staff concurs with this evaluation. As stated above, the porch enclosure amongst other alterations resulted in the structure no longer retaining sufficient architectural integrity.*

Criterion 8: *The property’s unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.*

- **Applicant:** **“The structure is located mid-block among much more recent commercial development and is not known as a historically significant feature of the neighborhood or community.”**
- **Staff:** *Staff concurs with this evaluation. While the structure has been located on*

the property for nearly 100 years, its physical characteristics have been drastically altered from its original appearance. Furthermore, it is not significant or visible enough to become a familiar visual feature to the community.”

Criterion 9: The property’s character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** “The structure is a common example of a bungalow style residential structure without especially unique or innovative design elements or historically significant characteristics. The enclosed porch undermines the structures historic characteristics.”
- **Staff:** *Staff concurs with this analysis. The building itself is a primary structure and not utilized for utilitarian use.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** “The structure is a common example of a bungalow style residential structure, unlikely to yield historically significant information.”
- **Staff:** *Staff concurs with this analysis. While the structure has been on the property since the early 20th century, it has lost many of its original design and architectural integrity over time. It would not be able to yield information in its current state.*

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

B. *Certificate of Demolition or Removal.* No person shall be permitted to remove or demolish any building in the Extended Historic Preservation District without the issuance of a certificate of demolition or removal by the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The HLPARB shall base its decision upon the review criteria set forth in Section 400.1280; further, the HLPARB shall process all requests for certificates of demolition and removal in accordance with the procedures set forth in the aforesaid Sections of the Code. This provision shall not apply to accessory buildings which have less than five hundred (500) square feet nor to properties less than fifty (50) years old, unless the Director of Community Development determines that the building may have historical significance and refers the question to the HLPARB.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL.

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance

and refers the question to the HLPARB.

- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 - 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 - 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 - 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 - 7. Its embodiment of design elements that make it structurally or architecturally innovative;

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
10. The fact that it has yielded, or may be likely to yield, information important in history.

G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:

1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
4. Assessed value of the property according to the two (2) most recent assessments;
5. Real estate taxes of the previous two (2) years;
6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – NOT HISTORICALLY SIGNIFICANT

The Board is tasked with deciding whether the subject property meets the criteria for historical significance. The City's criteria are derived from widely accepted historic preservation standards established by the Secretary of the Interior and administered through the National Park Service and State Historic Preservation Office and are incorporated into Section 400.1280(F) of the Zoning Ordinance. Employing the Standards for Review, Staff has concluded that the existing structure at 209 South 7th Street is not historically significant. The structure has been heavily altered, most notably the front porch being enclosed by non-historic materials. The structure therefore does not meet significant requirements to ever be listed as on a National Register and furthermore was excluded from the Midtown

Neighborhood National Register District boundary in 2014. While the structure is close to 100 years old, it does not portray any historical or architectural significance for the community. If the Board agrees that the existing structure is not historically significant, the structure may be demolished. Staff recommends that the building is **not** considered historically significant.

Recommended Motion:

Motion to find the structure located at 209 South 7th Street to be historically significant. (Staff believes the structure is not historically significant and should be allowed to be removed.)



Figure 2: 209 South 7th Street seen from the roadway.



Figure 3: Rear/side elevation of subject structure.



Figure 4: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT:

(Name)

(Address)

(Phone & Email Address)

PROPERTY OWNER:

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:



GENERAL STANDARDS CRITERIA

APPLICATION FOR CERTIFICATE OF DEMOLITION OR REMOVAL

HPLARB

209 S. 7th STREET
ST. CHARLES, MO 63301

ADDRESS:

209 S. 7th Street
St. Charles, MO 63301
Extended Historic District

DESCRIPTION OF STRUCTURE

From review of found city directory records, the structure appears to have been constructed sometime between 1922 and 1926 modest residential bungalow. There is a discrepancy with the assessor's records which note the year built as 1927. Immanuel Lutheran Church recently acquired the property and is leasing the home to a residential tenant as the Church advances its campus improvement plans.

The approximately 1,300 sf building is a common example of a residential construction from this period. The structure sets 5 steps above the sidewalk as a 1-1/2 story side gabled bungalow clad in contemporary siding. There is a low concrete retaining/garden wall at the sidewalk, with sloped landscape area flanking the off-set entry walk from the sidewalk to front porch. The front façade includes a typical deep front porch spanning the full width of the home. The porch has been enclosed with non-historic large. The gable ends have wide eaves and triangular knee braces as ornamentation. is a common example of a vernacular residential masonry construction from this period. A centered front dormer clad in narrow reveal siding includes 2 windows and similar knee brace ornamentation.

The owners recent purchase of the home was as-is, needing significant repair and upgrades, making leasing it not financially viable. The structure is currently vacant. Due to the poor condition of the structure and the enclosed porch, we do not believe the building to be historically significant.



209 S. 7th Street – Front Elevation



209 S 7th Street – Rear / Side Elevation

section 400.1280 Certificates of Demolition or Removal

s. 400.1280-F.

Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country;

From review of found city directory records, the structure appears to have been constructed sometime between 1922 and 1926 modest residential bungalow. There is a discrepancy with the assessor's records which note the year built as 1927. Immanuel Lutheran Church recently acquired the property and is leasing the home to a residential tenant as the Church advances its campus improvement plans.

It does not appear to be a significant part of the community's history or heritage.

2. Its location as a site of a significant local, County, State or national event;

The building is not known as a location for a significant local, County, State, or national event.

3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;

The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities.

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;

The structure is a common example of a bungalow style residential structure, without especially unique features or historically significant characteristics. The enclosed porch undermines the structures historic characteristics.

5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;

The structure is not known to be the work of a historically significant master builder or architect.

6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;

The structure is a common example of a bungalow style residential structure, without especially unique historically significant features or characteristics. The enclosed porch undermines the structures historic characteristics.

7. Its embodiment of design elements that make it structurally or architecturally innovative;

The structure is a common example of a bungalow style residential structure, without especially unique or innovative design elements or historically significant characteristics. The enclosed porch undermines the structures historic characteristics.

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;

The structure is located mid-block among much more recent commercial development, and is not known as a historically significant feature of the neighborhood or community.

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or

The structure is a common example of a bungalow style residential structure, without especially unique or innovative design elements or historically significant characteristics. The enclosed porch undermines the structures historic characteristics.

10. The fact that it has yielded, or may be likely to yield, information important in history.

The structure is a common example of a bungalow style residential structure, unlikely to yield historically significant information.

Thank you for your consideration of this application. Should you have any questions or would like additional information please contact me at the information provided below.

Sincerely,



Nathan A. Rauh
Architect, LEED-AP



NAISMITHALLEN
MAINSTREET PLANNING + DESIGN
130 A E. Lockwood Ave.
Webster Groves, MO 63119
314-556-0986
nathan.rauh@naismith-allen.com

BACKGROUND AND QUALIFICATIONS

Nathan Rauh is a registered architect with 30 years of experience in the architecture, design, real estate development, and construction industry.

He holds a M.Arch degree with a focus in Historic Preservation from Texas Tech University and has practiced architecture with a unique expertise in mixed-use, multi-family, and senior housing projects in urban and Main Street settings. His project work includes completed renovation of over 60 historic tax credit projects and work on many other historic buildings.

Currently Mr. Rauh leads Naismith-Allen, Inc., a boutique firm providing Planning, Development, Architecture, and Design services focused on infill, Main Street, Adaptive-use, and Historic Preservation projects.



AGENDA ITEM #6I

**STAFF REPORT
DEMOLISH STRUCTURE
210 SOUTH 7TH STREET
CASE NO. SP-2026-10 (DEMO)**

BY TAYLOR MOORE

APPLICANT: Carl Drafall
Mission Architects
11777 Gravois Road
St. Louis, MO 63127

OWNER: Immanuel Lutheran Church
115 S. Sixth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 210 South 7th Street

ZONING: CBD—Central Business District
EHP—Extended Historic Preservation District

USE: Immanuel Lutheran Ministry Offices

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is an example of a vernacular brick cottage. Constructed circa 1850, the 1½-story building is located at 210 South 7th Street in the Extended Historic Preservation District. The structure was constructed as a two-room single-family dwelling and was acquired by Immanuel Lutheran Church in 2011. The property has since been utilized as an office for ministry services. This block of South 7th Street was intentionally excluded from the Midtown Neighborhood National Register survey in 2014 (Figure 4, Page 10). As noted in the summary section of the National Register of Historic Places registration form, properties located closer to First Capitol Drive were omitted from the district boundaries due to the presence of numerous modern intrusions and alterations. The applicant is requesting approval to demolish the existing structure for future development of Immanuel Lutheran Church and School ministries. The ministry's campus master plan proposes the construction of a new Early Childhood Development Center, including a large multipurpose room. The project is intended to consolidate early childhood education services, which are currently dispersed among several structures, into a single, centralized facility.

Historically, the Church Campus has evolved over time through incremental expansion. Previous development phases included construction of Immanuel Lutheran School and a Fellowship Hall Facility, during which earlier structures on surrounding properties were removed. This pattern of redevelopment is illustrated in Figure 1, which compares the

historic 1909 Sanborn Map with current site conditions. Accompanying the application is the required Historical/Architectural Report for the subject structure and existing photographs of the property.

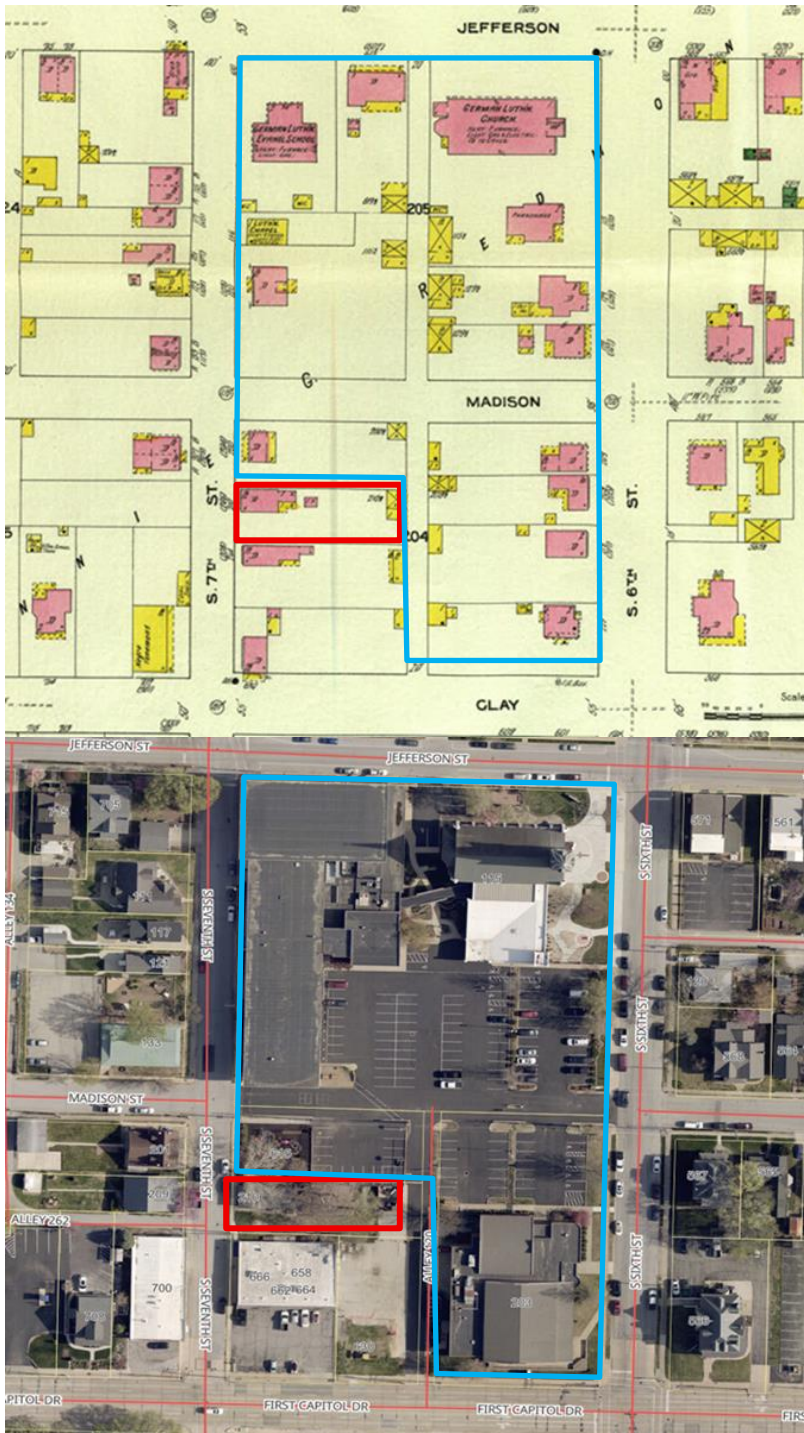


Figure 1: 1909 Sanborn Map compared to present site. Subject property seen in red, Campus expansion in blue.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "From review of found records, the structure appears to have been constructed in about 1850 and was occupied as a single-family residence for many decades. Immanuel Lutheran Church acquired the property in 2011 and used the property as an office for ministry services. Currently the building is essentially unoccupied, used for ad-hoc storage. It does not appear to be a significant part of the community's history or heritage."
- **Staff:** *Staff concurs with this analysis. Despite its age, the structure does not embody specific interest or value to the community. Furthermore, the structure was excluded from the Midtown Neighborhood National Register survey conducted in 2014, more than likely due to alterations over the years. Essentially stating it does not contribute to the district or overall cultural characteristics of the community.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "The building is not known as a location for a significant local, County, State, or national event."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** "The structure is a common example of a vernacular masonry structure, without especially unique features or historically significant characteristics."
- **Staff:** *Staff does not concur with this analysis. While the structure does not exhibit*

the distinctive characteristics of high-style architecture, it is representative of a vernacular mid-19th Century brick cottage structure. The building conveys common construction methods of the period, including simple massing, masonry walls, and minimal ornamentation. It provides value in understanding typical residential building practices and patterns of development during the 1800's, rather than being considered a significant example of an architectural style. Staff would consider the period and method of construction to be noteworthy for this criterion.

Criterion 5: The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant:** "The structure is not known to be the work of a historically significant master builder or architect."
- **Staff:** *Staff concurs with this analysis. No record of the structure's designer is noted.*

Criterion 6: The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant:** "The structure is a common example of a vernacular masonry structure, without especially unique historically significant features or characteristics."
- **Staff:** *Staff concurs with this analysis. Despite the materials and possibly craftsmanship, the property does not embody any elements that would make it considered architecturally significant.*

Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** "The structure is a common example of a vernacular masonry structure, without especially unique historically significant features or characteristics."
- **Staff:** *Staff concurs with this evaluation. The design is very simple and does not feature any unique architectural details to make it innovative.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** "The structure is located mid-block among much more recent commercial development and is not known as a historically significant feature of the neighborhood or community."
- **Staff:** *Staff concurs with this evaluation. The structure has remained in its current location for over 150 years and may be a familiar feature within the immediate block. However, due to its mid-block location and lack of distinctive visual characteristics, it does not function as a prominent or widely recognized feature of the broader community. Additionally, surrounding modern construction further limits its visibility and presence within the larger context.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** “The structure is a common example of a vernacular residential masonry structure without especially unique or innovative design elements or historically significant characteristics.”
- **Staff:** *Staff concurs with this analysis. The building itself is a primary structure and not utilized for utilitarian use.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** “The structure is a common example of a vernacular residential masonry structure, unlikely to yield historically significant information.”
- **Staff:** *Staff concurs with this analysis. Any information regarding historic significance has already been gathered.*

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

B. *Certificate of Demolition or Removal.* No person shall be permitted to remove or demolish any building in the Extended Historic Preservation District without the issuance of a certificate of demolition or removal by the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The HLPARB shall base its decision upon the review criteria set forth in Section 400.1280; further, the HLPARB shall process all requests for certificates of demolition and removal in accordance with the procedures set forth in the aforesaid Sections of the Code. This provision shall not apply to accessory buildings which have less than five hundred (500) square feet nor to properties less than fifty (50) years old, unless the Director of Community Development determines that the building may have historical significance and refers the question to the HLPARB.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL.

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or

structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.

- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 - 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 - 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 - 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 - 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 - 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 - 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings;

- institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should HLPARB determine that the structure is historically significant, then HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:
1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
 2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
 3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
 4. Assessed value of the property according to the two (2) most recent assessments;
 5. Real estate taxes of the previous two (2) years;
 6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
 7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – NOT HISTORICALLY SIGNIFICANT

The Board is tasked with deciding whether the subject property meets the criteria for historical significance. The City's criteria are derived from widely accepted historic preservation standards established by the Secretary of the Interior and administered through the National Park Service and State Historic Preservation Office and are incorporated into Section 400.1280(F) of the Zoning Ordinance. Employing the Standards for Review, Staff has concluded that the existing structure at 210 South 7th Street meets 1 out of 10 criteria to be historically significant. The building conveys common construction methods of the period it was built, providing value in understanding typical building practices and patterns of development during the mid-19th century. However, the structure does not meet other crucial criteria under this review, such as identification with an event or person, or unique architectural detailing. Furthermore, the structure was excluded from the Midtown Neighborhood National Register District boundary in 2014. While the structure is over 150 years in age and met one criterion, and is historic due to its age, the building would still not be considered historically or architecturally significant under these standards of review. If the Board agrees that the existing structure is not historically significant, the structure may be demolished. Staff recommends that the building is **not** considered historically significant.

Recommended Motion:

Motion to find the structure located at 210 South 7th Street to be historically significant. (Staff believes the structure is not historically significant and should be allowed to be removed.)



Figure 2: 210 South 7th Street seen from roadway.



Figure 3: Rear of subject structure.

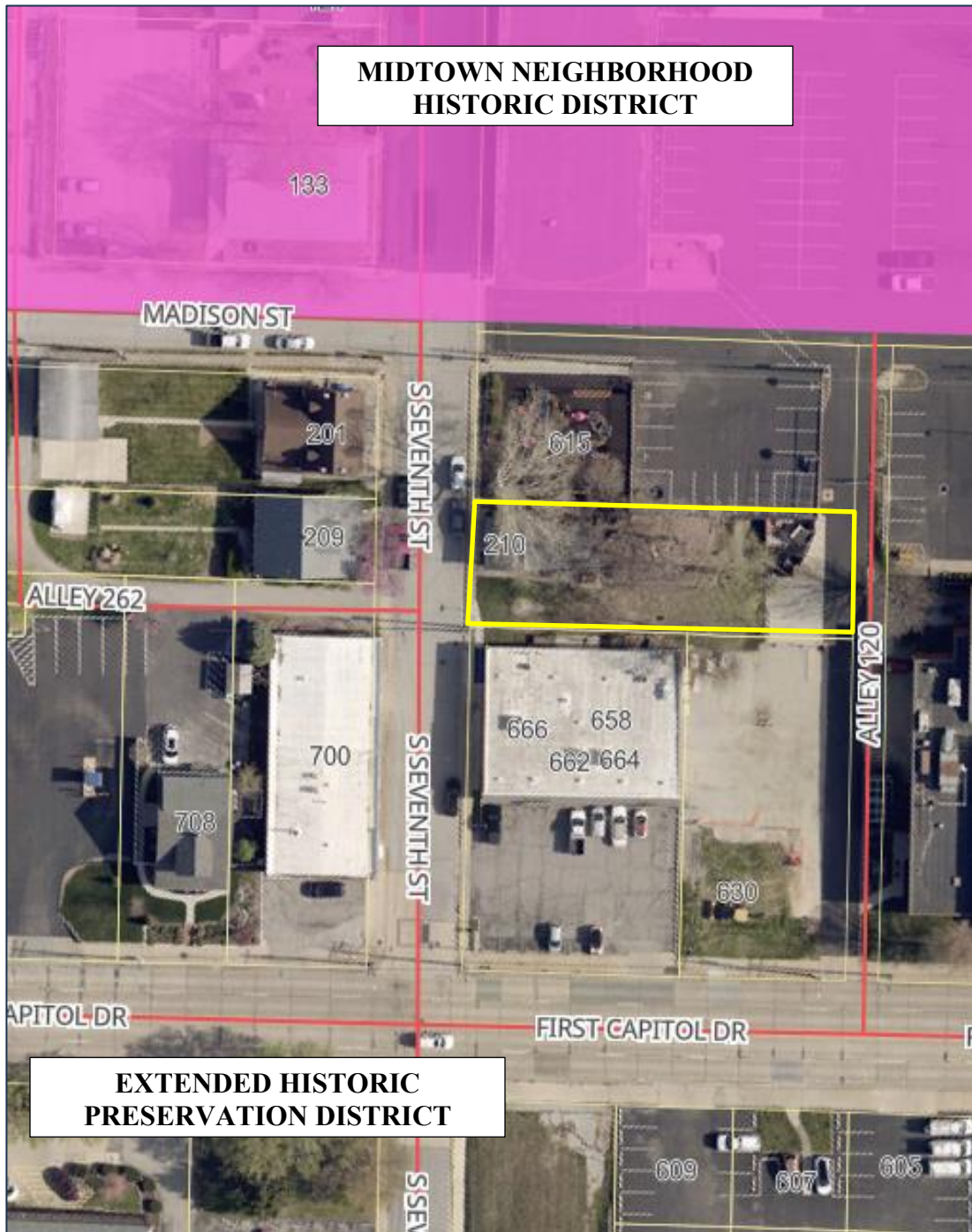


Figure 4: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT:

(Name)

(Address)

(Phone & Email Address)

PROPERTY OWNER:

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:



GENERAL STANDARDS CRITERIA

APPLICATION FOR CERTIFICATE OF DEMOLITION OR REMOVAL

HPLARB

210 S. 7th STREET
ST. CHARLES, MO 63301

ADDRESS:

210 S. 7th Street
St. Charles, MO 63301
Extended Historic District

DESCRIPTION OF STRUCTURE

From review of found records, the structure appears to have been constructed in about 1850 as a small 2 room brick structure and was occupied as a single family residence for many decades. Immanuel Lutheran Church acquired the property in 2011 and used the property as an office for ministry services. Currently the building is essentially unoccupied, used for ad-hoc storage. There is a discrepancy with the assessor's records which incorrectly note the year built as 1940. Records indicate that a rear kitchen and porch were added about 1900.

The approximately 900 sf building is a common example of a vernacular residential masonry construction from this period. The front façade includes 3 arched top masonry openings – 2 non-historic flat-top windows and a non-historic entry door. Other than a subtle corbel detail at the top brick courses and building corners, the façade is unadorned. The building massing is a 1-1/2 story form with a short attic area that includes arched-top masonry openings and non-historic windows at each gable end. The foundation is stone resulting in a low-clearance cellar. The rear includes an 'L' shaped porch and asymmetrical brick kitchen addition with unadorned chimney. There is an infilled masonry opening on the rear of the kitchen addition. The roof is an architectural asphalt shingle.

The owners have maintained the structure in good condition, but the building seems to be at the end of its life-cycle. The single front room and rear kitchen limit the livability of the home and the attic level has low clearance and is not reasonably used. The narrow and steep stair access to the cellar make updating systems difficult. Overall we do not believe the building to be historically significant.



210 S. 7th Street – Front / Side Elevation



210 S. 7th Street – Rear Elevation

section 400.1280 Certificates of Demolition or Removal

s. 400.1280-F.

Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country;

From review of found records, the structure appears to have been constructed in about 1850 and was occupied as a single family residence for many decades. Immanuel Lutheran Church acquired the property in 2011 and used the property as an office for ministry services. Currently the building is essentially unoccupied, used for ad-hoc storage. It does not appear to be a significant part of the community's history or heritage.

2. Its location as a site of a significant local, County, State or national event;

The building is not known as a location for a significant local, County, State, or national event.

3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;

The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities.

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;

The structure is a common example of a vernacular masonry structure, without especially unique features or historically significant characteristics.

5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;

The structure is not known to be the work of a historically significant master builder or architect.

6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;

The structure is a common example of a vernacular masonry structure, without especially unique historically significant features or characteristics.

7. Its embodiment of design elements that make it structurally or architecturally innovative;

The structure is a common example of a vernacular masonry structure, without especially unique or innovative design elements or historically significant characteristics.

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;

The structure is located mid-block among much more recent development, and is not known as a historically significant feature of the neighborhood or community.

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or

The structure is a common example of a vernacular residential masonry structure, without especially unique or innovative design elements or historically significant characteristics.

10. The fact that it has yielded, or may be likely to yield, information important in history.

The structure is a common example of a vernacular residential masonry structure, unlikely to yield historically significant information.

Thank you for your consideration of this application. Should you have any questions or would like additional information please contact me at the information provided below.

Sincerely,



Nathan A. Rauh
Architect, LEED-AP



NAISMITHALLEN
MAINSTREET PLANNING + DESIGN
130 A E. Lockwood Ave.
Webster Groves, MO 63119
314-556-0986
nathan.rauh@naismith-allen.com

BACKGROUND AND QUALIFICATIONS

Nathan Rauh is a registered architect with 30 years of experience in the architecture, design, real estate development, and construction industry.

He holds a M.Arch degree with a focus in Historic Preservation from Texas Tech University and has practiced architecture with a unique expertise in mixed-use, multi-family, and senior housing projects in urban and Main Street settings. His project work includes completed renovation of over 60 historic tax credit projects and work on many other historic buildings.

Currently Mr. Rauh leads Naismith-Allen, Inc., a boutique firm providing Planning, Development, Architecture, and Design services focused on infill, Main Street, Adaptive-use, and Historic Preservation projects.



AGENDA ITEM #6J

**STAFF REPORT
DEMOLISH STRUCTURE
664 FIRST CAPITOL DRIVE (DEMO)
CASE NO. SP-2026-12**

BY TAYLOR MOORE

APPLICANT: Carl Drafall
Mission Architects
11777 Gravois Road
St. Louis, MO 63127

OWNER: Immanuel Lutheran Church
115 S. Sixth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 664 First Capitol Drive

ZONING: CBD—Central Business District
EHP—Extended Historic Preservation District

USE: Multi-Tenant Strip Mall

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is a strip mall located at 664 First Capitol Drive in the Extended Historic Preservation District. Constructed in 1969, this 5,100 square foot commercial building features a simple shed awning with asphalt shingle roof and contained four (4) tenant spaces oriented towards First Capitol Drive. Immanuel Lutheran Church acquired the building in 2018 and uses the property for ministry services as well as renting one tenant space to the business Doughnut King. The applicant is requesting approval to demolish the existing structure for future development of Immanuel Lutheran Church and School ministries. The ministry's campus master plan proposes the construction of a new Early Childhood Development Center, including a large multipurpose room. The project is intended to consolidate early childhood education services, which are currently dispersed among several structures, into a single, centralized facility.

Historically, the Church Campus has evolved over time through incremental expansion. Previous development phases included construction of Immanuel Lutheran School and a Fellowship Hall Facility, during which earlier structures on surrounding properties were removed. This pattern of redevelopment is illustrated in Figure 1, which compares the historic 1909 Sanborn Map with current site conditions.

Accompanying the application is the required Historical/Architectural Report for the subject structure and existing photographs of the property.

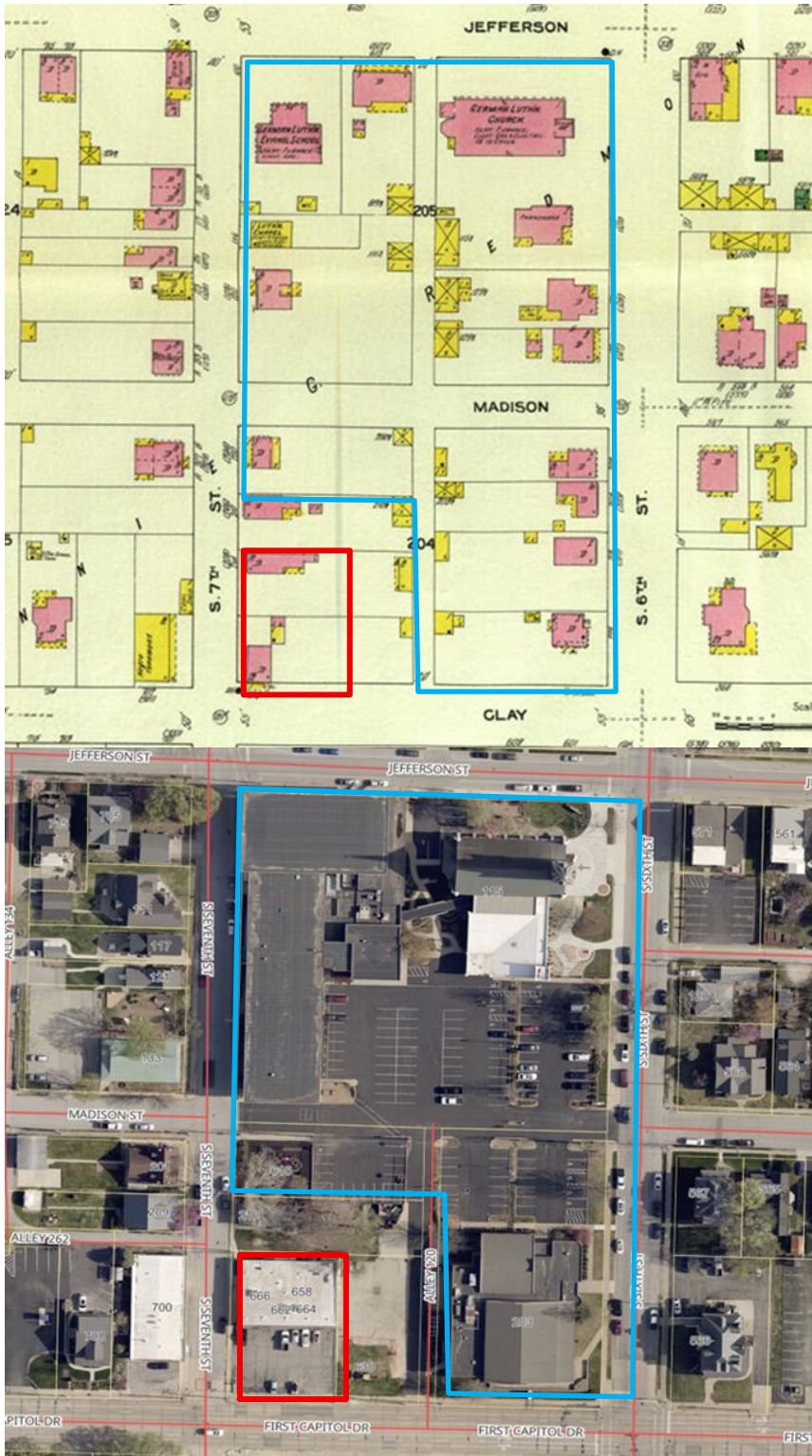


Figure 1: 1909 Sanborn Map compared to present site. Subject property seen in red, Campus expansion in blue.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "From review of found records, the structure appears to have been constructed in 1969 and has been occupied by light commercial/retail building. Immanuel Lutheran acquired the property in 2018 and uses the property for ministry services along with the remaining Doughnut King tenant. It does not appear to be significant part of the community's history or heritage."
- **Staff:** *Staff concurs with this analysis. The structure is an example of standard commercial strip centers from the mid-1900's. Furthermore, the structure was excluded from the Midtown Neighborhood National Register survey conducted in 2014. Essentially stating it does not contribute to the district or overall cultural characteristics of the community.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "The 1969 building is not known as a location for a significant local, County, State, or national event."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "The 1969 building is not known to be identified with any specific person or persons or significant community, County, State, or national activities."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** "The 1969 structure is a common example of a light commercial construction, without especially unique features or historically significant characteristics."
- **Staff:** *Staff concurs with this analysis. The structure was constructed for use*

rather than aesthetics. It is contemporary in appearance and does not embody any distinguishing characteristics of an architectural style valuable for study.

Criterion 5: The property's identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant:** "The 1969 structure is not known to be the work of a historically significant master builder or architect."
- **Staff:** *Staff concurs with this analysis. No record of the structure's designer is noted.*

Criterion 6: The property's embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant:** "The 1969 structure is a common example of a light commercial construction, without especially unique historically significant features or characteristics."
- **Staff:** *Staff concurs with this analysis. The structure does not embody any elements of design, detailing, materials, or craftsmanship that would be believed as architecturally significant.*

Criterion 7: The property's embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** "The 1969 structure is a common example of a light commercial construction, without especially unique historically significant features or characteristics."
- **Staff:** *Staff concurs with this evaluation.*

Criterion 8: The property's unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** "The 1-story modest structure is set back from First Capitol Drive without much of a prominent presence and is not known as a historically significant feature of the neighborhood or community."
- **Staff:** *Staff concurs with this evaluation. The structure would not be considered unique and is typical example of contemporary commercial structures seen throughout the City.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** "The 1969 structure is a common example of a light commercial construction, without especially unique historically significant features or characteristics."
- **Staff:** *Staff concurs with this analysis. The building itself is a primary structure and not utilized for utilitarian use.*

Criterion 10: *The fact that it has yielded, or may be likely to yield, information important in history.*

- **Applicant**: “The 1969 structure is a common example of a light commercial construction, unlikely to yield historically significant information.”
- **Staff**: *Staff concurs with this analysis. The structure would not be considered historically significant at all, and therefore unable to yield any information.*

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

B. *Certificate of Demolition or Removal.* No person shall be permitted to remove or demolish any building in the Extended Historic Preservation District without the issuance of a certificate of demolition or removal by the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The HLPARB shall base its decision upon the review criteria set forth in Section 400.1280; further, the HLPARB shall process all requests for certificates of demolition and removal in accordance with the procedures set forth in the aforesaid Sections of the Code. This provision shall not apply to accessory buildings which have less than five hundred (500) square feet nor to properties less than fifty (50) years old, unless the Director of Community Development determines that the building may have historical significance and refers the question to the HLPARB.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL.

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application

for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.

- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 2. Its location as a site of a significant local, county, state or national event;
 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
 10. The fact that it has yielded, or may be likely to yield, information important in history.
- G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:

1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
4. Assessed value of the property according to the two (2) most recent assessments;
5. Real estate taxes of the previous two (2) years;
6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – NOT HISTORICALLY SIGNIFICANT

The Board is tasked with deciding whether the subject property meets the criteria for historical significance. The City's criteria are derived from widely accepted historic preservation standards established by the Secretary of the Interior and administered through the National Park Service and State Historic Preservation Office and are incorporated into Section 400.1280(F) of the Zoning Ordinance. Employing the Standards for Review, Staff has concluded that the existing structure at 644 First Capitol is not historically significant. The structure is quite contemporary in appearance and is standard for strip mall construction in the mid to late 20th century. The structure due to age and appearance would not meet significant requirements to ever be listed as on a National Register and furthermore was excluded from the Midtown Neighborhood National Register District boundary in 2014 (Figure 5, Page 10). If the Board agrees that the existing structure is not historically significant, the structure may be demolished. Staff recommends that the building not be considered historically significant.

Recommended Motion:

Motion to find the structure located at 664 First Capitol to be historically significant. (Staff believes the structure is not historically significant and should be allowed to be removed.)



Figure 2: 664 First Capitol seen from the roadway.



Figure 3: Subject structure seen looking west.



Figure 4: Subject structure looking east.

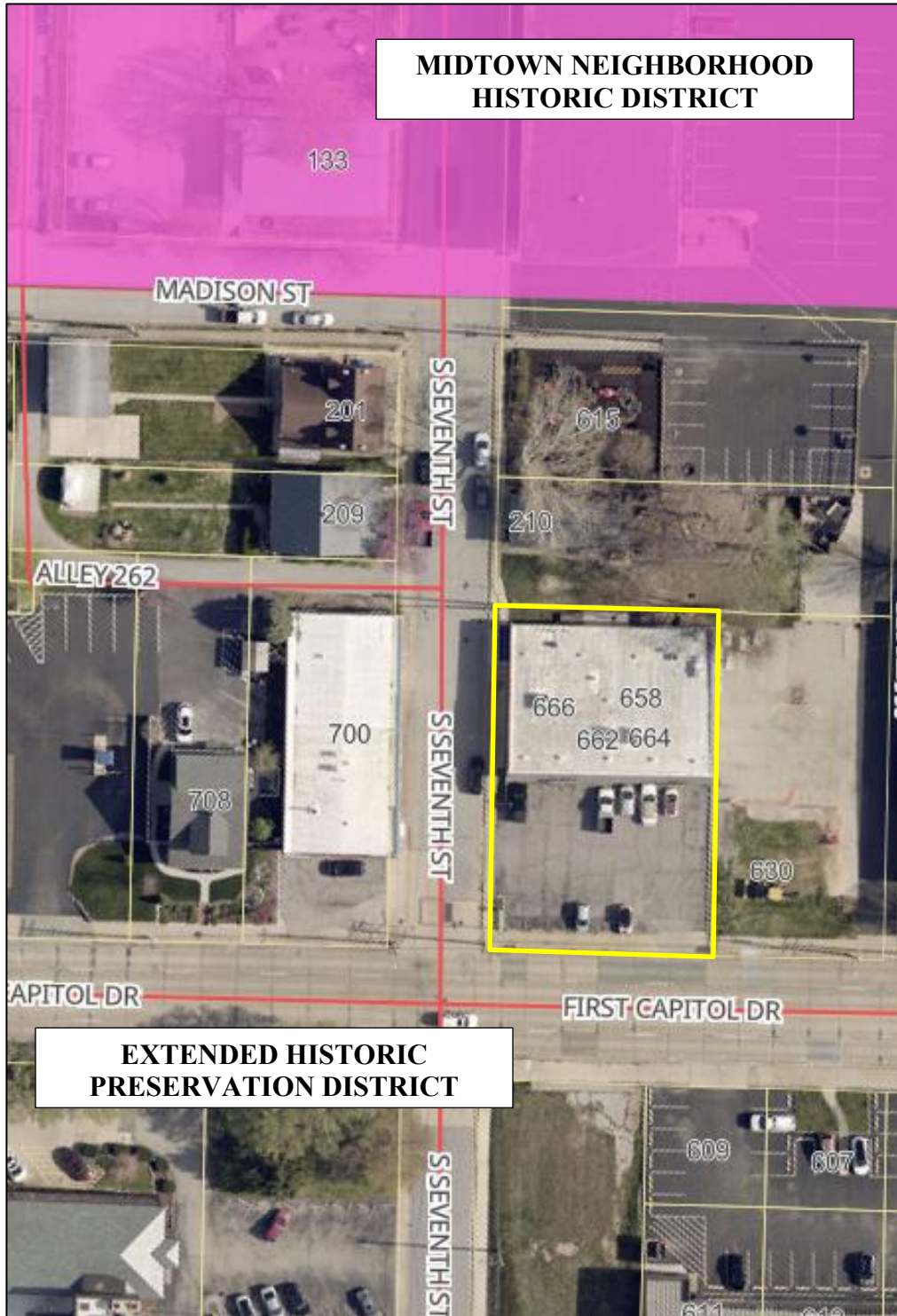


Figure 5: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT:

(Name)

(Address)

(Phone & Email Address)

PROPERTY OWNER:

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:



GENERAL STANDARDS CRITERIA

APPLICATION FOR CERTIFICATE OF DEMOLITION OR REMOVAL

HPLARB

664 FIRST CAPITAL DR.
ST. CHARLES, MO 63301

ADDRESS:

664 First Capital Dr.
St. Charles, MO 63301
Extended Historic District

DESCRIPTION OF STRUCTURE

From review of found records, the structure was constructed in 1969 as a 5,100 sf 1-story commercial retail structure. The masonry building with simple shed awning with asphalt shingle roof has 4 tenant bays with residential style entry doors and picture windows facing First Capital Drive. Immanuel Lutheran Church acquired the property in 2018 and uses the property for ministry services along with the remaining Donut King tenant.

The approximately 5,100 sf building is a non-historic common example of light commercial construction with little ornamentation, architectural, or historic, features.

The owners have maintained the structure in good condition, but the current campus master plan proposes needed additional parking in this location and is accordingly seeking to demolish the subject structure.

We do not believe the building to be historically significant.



664 First Capital Drive – Front Elevation



664 First Capital Drive – Front / Side Elevation

section 400.1280 Certificates of Demolition or Removal

s. 400.1280-F.

Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country;

From review of found records, the structure appears to have been constructed in 1969 and has been occupied light commercial/retail building. Immanuel Lutheran Church acquired the property in 2018 and uses the property for ministry services along with the remaining Donut King tenant. It does not appear to be a significant part of the community's history or heritage.

2. Its location as a site of a significant local, County, State or national event;

The 1969 building is not known as a location for a significant local, County, State, or national event.

3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;

The 1969 building is not known to be identified with any specific person or persons or significant community, County, State, or national activities.

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;

The 1969 structure is a common example of a light commercial construction, without especially unique features or historically significant characteristics.

5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;

The 1969 structure is not known to be the work of a historically significant master builder or architect.

6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;

The 1969 structure is a common example of a light commercial construction, without especially unique historically significant features or characteristics.

7. Its embodiment of design elements that make it structurally or architecturally innovative;

The 1969 structure is a common example of a light commercial construction, without especially unique or innovative design elements or historically significant characteristics.

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;

The 1-story modest structure is set back from First Capital drive without much of a prominent presence, and is not known as a historically significant feature of the neighborhood or community.

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or

The 1969 structure is a common example of light commercial construction, without especially unique or innovative design elements or historically significant characteristics.

10. The fact that it has yielded, or may be likely to yield, information important in history.

The 1969 structure is a common example of a light commercial construction, unlikely to yield historically significant information.

Thank you for your consideration of this application. Should you have any questions or would like additional information please contact me at the information provided below.

Sincerely,



Nathan A. Rauh
Architect, LEED-AP



NAISMITHALLEN
MAINSTREET PLANNING + DESIGN
130 A E. Lockwood Ave.
Webster Groves, MO 63119
314-556-0986
nathan.rauh@naismith-allen.com

BACKGROUND AND QUALIFICATIONS

Nathan Rauh is a registered architect with 30 years of experience in the architecture, design, real estate development, and construction industry.

He holds a M.Arch degree with a focus in Historic Preservation from Texas Tech University and has practiced architecture with a unique expertise in mixed-use, multi-family, and senior housing projects in urban and Main Street settings. His project work includes completed renovation of over 60 historic tax credit projects and work on many other historic buildings.

Currently Mr. Rauh leads Naismith-Allen, Inc., a boutique firm providing Planning, Development, Architecture, and Design services focused on infill, Main Street, Adaptive-use, and Historic Preservation projects.



AGENDA ITEM #6K

**STAFF REPORT
DEMOLISH STRUCTURE
700 FIRST CAPITOL DRIVE (DEMO)
CASE NO. SP-2026-13**

BY TAYLOR MOORE

APPLICANT: Carl Drafall
Mission Architects
11777 Gravois Road
St. Louis, MO 63127

OWNER: Immanuel Lutheran Church
115 S. Sixth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 700 First Capitol Drive

ZONING: C-2—General Business District
EHP—Extended Historic Preservation District

USE: Commercial

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is 1-story commercial block structure located at 700 First Capitol Drive in the Extended Historic Preservation District. Constructed in 1927, this approximately 5,000 square foot commercial building historically operated as an auto repair center and covers nearly the entire property. The building features a segmented front parapet and features modest ornamentation. Immanuel Lutheran Church acquired the building in 2022 and uses the property for ministry services as well as ad hoc congregational storage. This portion of First Capitol Drive was intentionally excluded from the Midtown Neighborhood National Register survey in 2014 (Figure 4, Page 10). The applicant is requesting approval to demolish the existing structure for future development of Immanuel Lutheran Church and School ministries. The ministry's campus master plan proposes the construction of a new Early Childhood Development Center, including a large multipurpose room. The project is intended to consolidate early childhood education services, which are currently dispersed among several structures, into a single, centralized facility.

Historically, the Church Campus has evolved over time through incremental expansion. Previous development phases included construction of Immanuel Lutheran School and a Fellowship Hall Facility, during which earlier structures on surrounding properties were removed. This pattern of redevelopment is illustrated in Figure 1, which compares the historic 1909 Sanborn Map with current site conditions.

Accompanying the application is the required Historical/Architectural Report for the subject structure and existing photographs of the property.

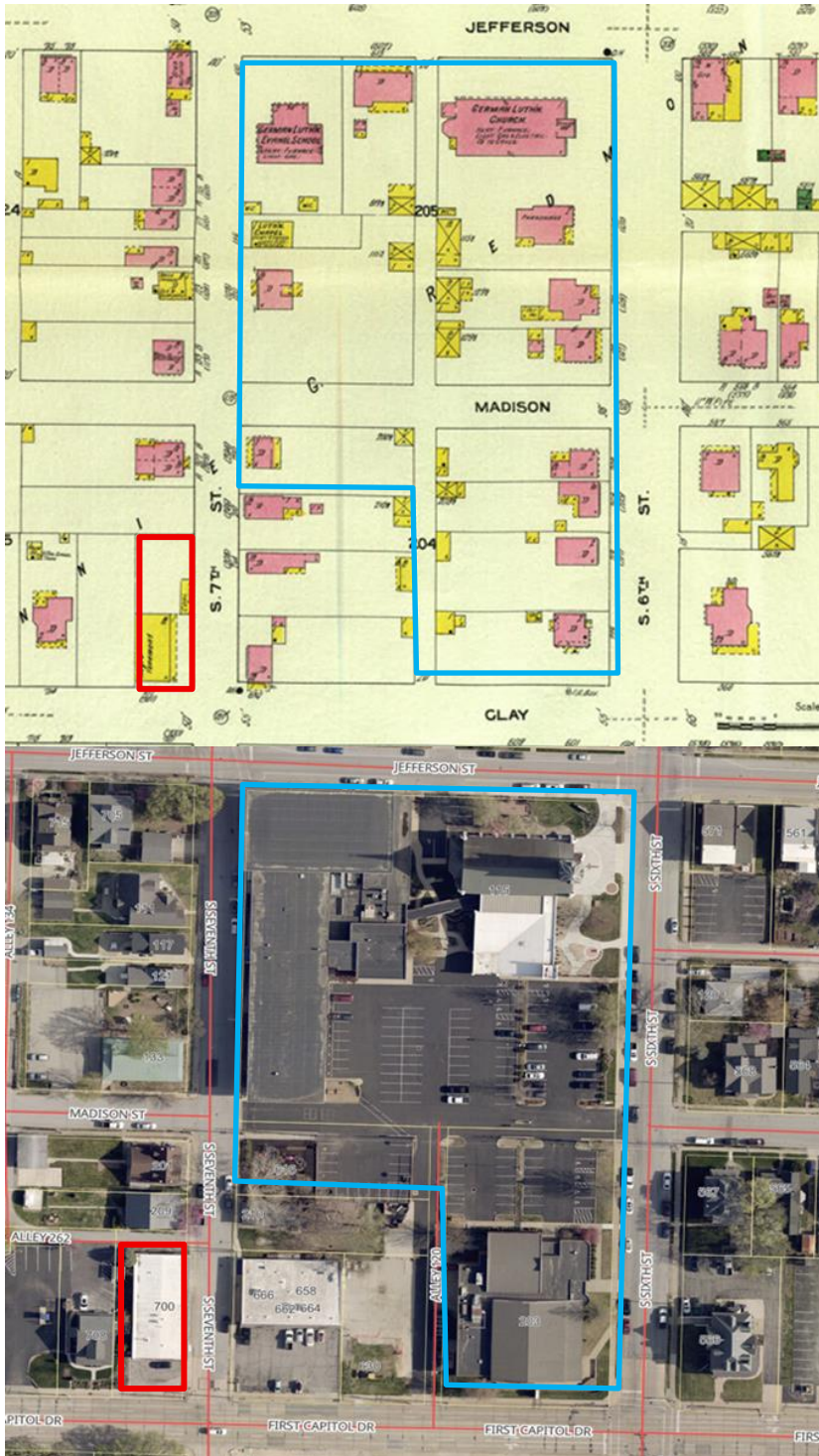


Figure 1: 1909 Sanborn Map compared to propose site. Subject property seen in red, Campus expansion n blue.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "From review of found records, the structure appears to have been constructed in 1927, operating until 1961 as Boenker's Garage, owned by Oscar Boenker. Located at the corner of S. 7th Street and First Capitol Drive, this single story auto repair building covers nearly the entire parcel, with little or no green space. Immanuel Lutheran acquired the property in 2022 and uses the property an office for ministry services and ad hoc congregational storage. It does not appear to be a significant part of the community's history or heritage."
- **Staff:** *Staff concurs with this analysis. While the property dates back to 1927 and retains some connection to the community's early development, its character and history do not demonstrate a level of significance that would be considered impactful or valuable beyond the immediate local context. Furthermore, the structure was excluded from the Midtown Neighborhood National Register survey conducted in 2014. Essentially stating it does not contribute to the district or overall cultural characteristics of the community.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "The building is not known as a location for a significant local, County, State, or national event."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** "The building is an example of a 1920's warehouse structure, without especially unique features or historically significant characteristics. The

lost front awning and other interior alterations undermine its potential distinguishing characteristics.”

- **Staff:** *Staff does not concur with the applicant’s assessment. While the building is described as a modest example of a 1920’s warehouse structure, the retained exterior façade continues to convey the defining characteristics of its period. Alterations to the interior do not substantially impact the buildings’ ability to express its architectural character, as this criterion primarily considers exterior features. Additionally, the loss of a front awning, which is typically a non-permanent or accessory element, does not significantly diminish the structure’s overall architectural integrity. Staff does believe the property as it sits today does embody distinguishing characteristics of an architectural style valuable for a period of construction.*

Criterion 5: The property’s identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant:** “The structure is not known to be the work of a historically significant master builder or architect.”
- **Staff:** *Staff concurs with this analysis. No record of the structure’s designer is noted.*

Criterion 6: The property’s embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant:** “The building is an example of a 1920s warehouse structure, without especially unique historically significant features or characteristics. The lost front awning and other interior alterations undermine its potential distinguishing characteristics.”
- **Staff:** *Staff concurs with this analysis. While the structure does embody elements of design, detailing, materials, or craftsmanship of the time period it was constructed, these details were typical of warehouse buildings constructed during that time. While these details are still visible, it would not be considered architecturally significant in a way that meets this criterion.*

Criterion 7: The property’s embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** “The building is an example of a 1920s warehouse structure, without especially unique historically significant features or characteristics.”
- **Staff:** *Staff concurs with this evaluation. Similarly to Criterion 6, this type of design was common for structures as these.*

Criterion 8: The property’s unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** “The structure is located among much more recent development, has had several varied uses in recent years, and is not known as an especially significant historic feature of the neighborhood or community.”

- **Staff:** *Staff concurs with this evaluation. While the structure has become a known feature in the direct neighborhood, it would not be considered unique or an established or familiar visual feature of the entire community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** **“The building is an example of a 1920s warehouse structure, without especially unique historically significant features or characteristics. The lost front awning and other interior alterations undermine its potential distinguishing characteristics.”**
- **Staff:** *Staff concurs with this analysis. The building itself is a primary structure and not utilized for utilitarian use.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** **“The building is an example of a 1920s warehouse structure, unlikely to yield historically significant information.”**
- **Staff:** *Staff concurs with this analysis. While the structure has been a part of the direct neighborhood for just under 100 years, any information crucial to its history has already been studied.*

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

B. *Certificate of Demolition or Removal.* No person shall be permitted to remove or demolish any building in the Extended Historic Preservation District without the issuance of a certificate of demolition or removal by the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The HLPARB shall base its decision upon the review criteria set forth in Section 400.1280; further, the HLPARB shall process all requests for certificates of demolition and removal in accordance with the procedures set forth in the aforesaid Sections of the Code. This provision shall not apply to accessory buildings which have less than five hundred (500) square feet nor to properties less than fifty (50) years old, unless the Director of Community Development determines that the building may have historical significance and refers the question to the HLPARB.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL.

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance

and refers the question to the HLPARB.

- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.
- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 - 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 - 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 - 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 - 7. Its embodiment of design elements that make it structurally or architecturally innovative;

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or
10. The fact that it has yielded, or may be likely to yield, information important in history.

G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:

1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
4. Assessed value of the property according to the two (2) most recent assessments;
5. Real estate taxes of the previous two (2) years;
6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – NOT HISTORICALLY SIGNIFICANT

The Board is tasked with deciding whether the subject property meets the criteria for historical significance. The City's criteria are derived from widely accepted historic preservation standards established by the Secretary of the Interior and administered through the National Park Service and State Historic Preservation Office and are incorporated into Section 400.1280(F) of the Zoning Ordinance. Employing the Standards for Review, Staff has concluded that the existing structure at 700 First Capitol meets 1 out of 10 criteria to be historically significant. The building conveys common construction designs for warehouse structures of its period. It provides value in understanding typical building practices and patterns of development during the early 20th century. While interior modifications have occurred, exterior characterizations, such as the parapet, have been retained. Other exterior

alterations over time, such as the enclosure of garage entrances and changes to doors and windows more than likely contributed to the structure being excluded from the Midtown Neighborhood National Register District boundary in 2014. While one criterion was met, the structure does not meet other crucial criteria under this review, such as identification with an event or person, or unique architectural detailing. The building would still not be considered historically or architecturally significant under these standards of review. If the Board agrees that the existing structure is not historically significant, the structure may be demolished. Staff recommends that the building is **not** considered historically significant.

Recommended Motion:

Motion to find the structure located at 700 First Capitol to be historically significant. (Staff believes the structure is not historically significant and should be allowed to be removed.)



Figure 2: 700 First Capitol seen from the roadway.



Figure 3: Side elevation of subject structure seen from South 7th.



Figure 4: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT:

(Name)

(Address)

(Phone & Email Address)

PROPERTY OWNER:

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:



GENERAL STANDARDS CRITERIA

APPLICATION FOR CERTIFICATE OF DEMOLITION OR REMOVAL

HPLARB

700 FIRST CAPITAL DR.
ST. CHARLES, MO 63301

ADDRESS:

700 First Capital Dr.
St. Charles, MO 63301
Extended Historic District

DESCRIPTION OF STRUCTURE

From review of found records, the structure appears to have been constructed c. 1927, operating until 1961 as Boenker's Garage, owned by Oscar Boenker. Located at the corner of S. 7th Street and First Capital Drive, this single story auto repair building covers nearly the entire parcel, with little or no green space. Immanuel Lutheran Church acquired the property in 2022 and uses the property as an office for ministry services and ad hoc congregational storage.

The approximately 5000 sf 1-story masonry building is an example of a 1920s warehouse structure, with overhead door and large windows at office area at front, and an additional overhead door and squared windows on the east (S. 7th Street) side. The rear alley is sloped from the west with a large overhead door at loading dock level.

The single story masonry building includes a segmented front parapet. The building has modest ornamentation with textured bricks on the front and portion of east façade, soldier coursing at headers and parapets. There is evidence of an original front awning, with blocking and joist pockets somewhat marring the front façade. The building structure is clear-span arched/bow-shaped steel trusses. Much of the interior has been altered over the years, with a mixed amount historic fabric remaining.

The structure is in fair condition, but the building seems to be at the end of its life-cycle. The building size, clear height, and configuration make it antiquated for its original auto repair use and inefficient for conversion to education or other similar uses. Overall we do not believe the building to be historically significant.



700 First Capital Dr. – Elevation



700 First Capital Dr – Side (East) Elevation

section 400.1280 Certificates of Demolition or Removal

s. 400.1280-F.

Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country;

From review of found records, the structure appears to have been constructed c. 1927, operating until 1961 as Boenker's Garage, owned by Oscar Boenker. Located at the corner of S. 7th Street and First Capital Drive, this single story auto repair building covers nearly the entire parcel, with little or no green space. Immanuel Lutheran Church acquired the property in 2022 and uses the property as an office for ministry services and ad hoc congregational storage.

It does not appear to be a significant part of the community's history or heritage.

2. Its location as a site of a significant local, County, State or national event;

The building is not known as a location for a significant local, County, State, or national event.

3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;

The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities.

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;

The building is an example of a 1920s warehouse structure, without especially unique features or historically significant characteristics. The lost front awning and other interior alterations undermine its potential distinguishing characteristics.

5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;

The structure is not known to be the work of a historically significant master builder or architect.

6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;

The building is an example of a 1920s warehouse structure, without especially unique historically significant features or characteristics. The lost front awning and other interior alterations undermine its potential distinguishing characteristics.

7. Its embodiment of design elements that make it structurally or architecturally innovative;

The building is an example of a 1920s warehouse structure, without especially unique or innovative design elements or historically significant characteristics.

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;

The structure is located among much more recent development, has had several varied uses in recent years, and is not known as an especially significant historic feature of the neighborhood or community.

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or

The building is an example of a 1920s warehouse structure, without especially unique or innovative design elements or historically significant characteristics. The lost front awning and other interior alterations undermine its potential distinguishing characteristics.

10. The fact that it has yielded, or may be likely to yield, information important in history.

The building is an example of a 1920s warehouse structure, unlikely to yield historically significant information.

Thank you for your consideration of this application. Should you have any questions or would like additional information please contact me at the information provided below.

Sincerely,



Nathan A. Rauh
Architect, LEED-AP



NAISMITHALLEN
MAINSTREET PLANNING + DESIGN
130 A E. Lockwood Ave.
Webster Groves, MO 63119
314-556-0986
nathan.rauh@naismith-allen.com

BACKGROUND AND QUALIFICATIONS

Nathan Rauh is a registered architect with 30 years of experience in the architecture, design, real estate development, and construction industry.

He holds a M.Arch degree with a focus in Historic Preservation from Texas Tech University and has practiced architecture with a unique expertise in mixed-use, multi-family, and senior housing projects in urban and Main Street settings. His project work includes completed renovation of over 60 historic tax credit projects and work on many other historic buildings.

Currently Mr. Rauh leads Naismith-Allen, Inc., a boutique firm providing Planning, Development, Architecture, and Design services focused on infill, Main Street, Adaptive-use, and Historic Preservation projects.



AGENDA ITEM #6L

**STAFF REPORT
DEMOLISH STRUCTURE
708 FIRST CAPITOL DRIVE (DEMO)
CASE NO. SP-2026-14**

BY TAYLOR MOORE

APPLICANT: Carl Drafall
Mission Architects
11777 Gravois Road
St. Louis, MO 63127

OWNER: Immanuel Lutheran Church
115 S. Sixth Street
St. Charles, MO 63301

ADDRESS/LOCATION: 708 First Capitol Drive

ZONING: CBD—Central Business District
EHP—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: April 20, 2026

BACKGROUND

The subject property is 1½-story Craftsman influenced Bungalow located at 708 First Capitol Drive in the Extended Historic Preservation District. Constructed in 1923, the structure sits above the street and features a deep front porch spanning the full width of the home, which is typical of bungalow styled dwellings. Other features such as wide overhanging eaves, a central front dormer, and symmetrical columns have been retained, all of which are also standard design features of this style. Immanuel Lutheran Church recently acquired the property, and the previous owner is leasing the home. The applicant is requesting approval to demolish the existing structure for future developments of Immanuel Lutheran Church and School ministries. The ministry’s campus master plan proposes the construction of a new Early Childhood Development Center, including a large multipurpose room. The project is intended to consolidate early childhood education services, which are currently dispersed among several structures, into a single, centralized facility.

Historically, the Church Campus has evolved over time through incremental expansion. Previous development phases included construction of Immanuel Lutheran School and a Fellowship Hall Facility, during which earlier structures on surrounding properties were removed. This pattern of redevelopment is illustrated in Figure 1, which compares historic Sanborn Maps with current site conditions.

Accompanying the application is the required Historical/Architectural Report for the subject structure and existing photographs of the property.

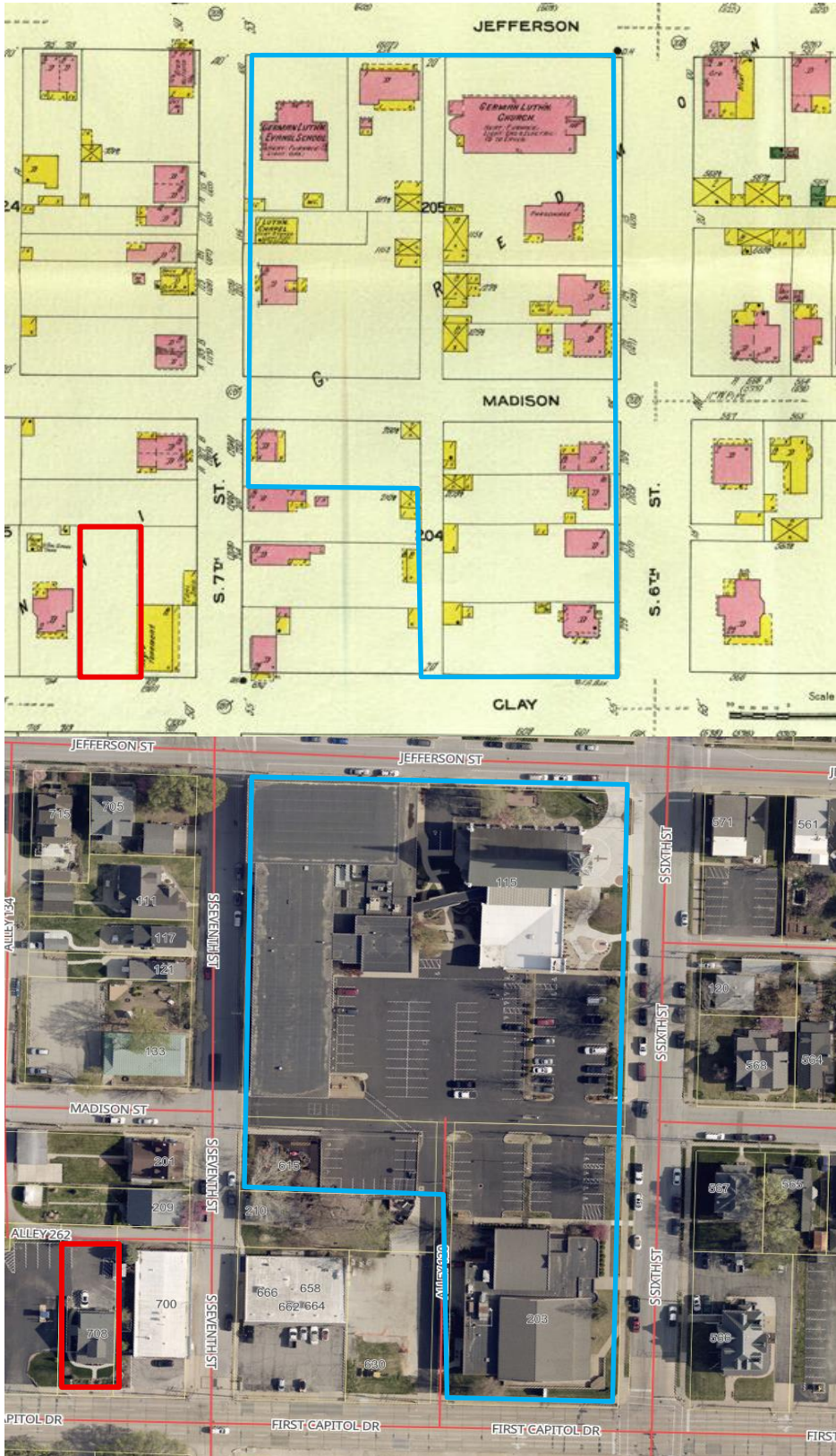


Figure 1: 1909 Sanborn Map compared to present site. Subject property seen in red, Campus expansion in blue.

The City's Zoning Ordinance requires that as part of an application for demolition, a report analyzing the historical and/or architectural significance of the property must be submitted to the Landmarks Board for review prior to demolition. The report must be written by a professional architect, architectural historian, historic preservation consultant, City planner, archaeologist or art historian. The ordinance requires that the property must be evaluated using the ten criteria provided in Section 400.1280(F), as outlined below. The applicant has provided the written report compliant with the above standard, which is provided with your packet for review.

Note: Each of the ten criteria's have both been evaluated by the Architectural Historian as well as Staff. Provided below are the evaluations of the criteria (applicant's response is in **bold** and staff's analysis is in ***bold italics***):

Criterion 1: The property's character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country.

- **Applicant:** "From review of found records, the structure appears to have been constructed in about 1923 as a modest residential bungalow, first appearing in City records in 1925 as the home of Adolph and Mary Hnerkamp. In the 1950s, an apartment was apparently created with additional individuals listed as residents of this address. Immanuel Lutheran Church recently acquired the property and the previous owner is leasing back the home as the Church advances its campus improvement plans. It does not appear to be a significant part of the community's history or heritage."
- **Staff:** *Staff concurs with this analysis. While the property dates back to 1923 and appears to retain many of its original architectural features, it would not be considered an interest or value as part of the development of the community. Furthermore, the structure was excluded from the Midtown Neighborhood National Register survey conducted in 2014. Essentially stating it does not contribute to the district or overall cultural characteristics of the community.*

Criterion 2: The property's location as a site of a significant local, county, state or national event.

- **Applicant:** "The building is not known as a location for a significant local, County, State, or national event."
- **Staff:** *Staff concurs with this analysis.*

Criterion 3: The property's identification with a person or persons who significantly contributed to the development of the community, county, state or country.

- **Applicant:** "The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities."
- **Staff:** *Staff concurs with this analysis.*

Criterion 4: The property's embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material.

- **Applicant:** "The building is an example of a bungalow style residential

structure, without especially unique features or historically significant characteristics.”

- **Staff:** *Staff does not concur with the applicant’s assessment. The structure embodies distinguishing characteristics of the bungalow form with Craftsman influences, retaining key exterior features such as its low-pitched roof, prominent front porch, and dormer configuration. These elements convey the architectural character and residential development patterns of the early 20th century. Staff believes the structure does embody distinguishing characteristics of an architectural style valuable for a period of construction.*

Criterion 5: The property’s identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country.

- **Applicant:** “The structure is not known to be the work of a historically significant master builder or architect.”
- **Staff:** *Staff concurs with this analysis. No record of the structure’s designer is noted.*

Criterion 6: The property’s embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant.

- **Applicant:** “The structure is a common example of a bungalow style residential structure, without especially unique historically significant features or characteristics.”
- **Staff:** *Staff concurs with this analysis. While the structure does embody elements of design, detailing, materials, or craftsmanship of the time period it was constructed and architecture style, these details were typical of bungalow dwellings constructed during that time. While these details are still visible, it would not be considered architecturally significant in a way that meets this criterion.*

Criterion 7: The property’s embodiment of design elements that make it structurally or architecturally innovative.

- **Applicant:** “The structure is a common example of a bungalow style residential structure, without especially unique historically significant features or characteristics.”
- **Staff:** *Staff concurs with this evaluation. Similarly to Criterion 6, this type of design was common for bungalow dwellings and would not be considered architecturally innovative.*

Criterion 8: The property’s unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city.

- **Applicant:** “The structure is mid-block among much more recent commercial development and is not known as a historically significant feature of the neighborhood or community.”
- **Staff:** *Staff concurs with this evaluation. While the structure has become a known feature in the direct neighborhood, it would not be considered unique or an established or familiar visual feature of the entire community.*

Criterion 9: The property's character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; public buildings; institutional offices; or other commercial structures, with a high level of integrity or architectural significance.

- **Applicant:** “The structure is a common example of a bungalow style residential structure, without especially unique historically significant features or characteristics.”
- **Staff:** *Staff concurs with this analysis. The building itself is a primary structure and not utilized for utilitarian use.*

Criterion 10: The fact that it has yielded, or may be likely to yield, information important in history.

- **Applicant:** “The structure is a common example of a bungalow style residential structure, unlikely to yield historically significant information.”
- **Staff:** *Staff concurs with this analysis. While the structure has been a part of the direct neighborhood for over 100 years, any information crucial to its history or architectural style has already been studied.*

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EHP” EXTENDED HISTORIC PRESERVATION DISTRICT.

B. *Certificate of Demolition or Removal.* No person shall be permitted to remove or demolish any building in the Extended Historic Preservation District without the issuance of a certificate of demolition or removal by the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The HLPARB shall base its decision upon the review criteria set forth in Section 400.1280; further, the HLPARB shall process all requests for certificates of demolition and removal in accordance with the procedures set forth in the aforesaid Sections of the Code. This provision shall not apply to accessory buildings which have less than five hundred (500) square feet nor to properties less than fifty (50) years old, unless the Director of Community Development determines that the building may have historical significance and refers the question to the HLPARB.

SECTION 400.1280: CERTIFICATES OF DEMOLITION OR REMOVAL.

- A. Except as otherwise provided in 400.1280(B), no permit for the demolition or removal of an historic landmark or any structure within an historic district shall be issued by the Department of Community Development until a certificate of demolition or removal has been issued by the HLPARB. Application forms for certificates of demolition or removal shall be prepared by the HLPARB.
- B. In the case of structures less than fifty (50) years old located within an historic district, applications for demolition or removal shall be issued a demolition permit without a certificate of appropriateness, unless the Director of Community Development determines that the property may have extraordinary significance and refers the question to the HLPARB.
- C. *Notices.* Where an application has been received for the demolition or removal of a structure, the Department of Community Development shall post a placard in a visible place upon the property at least seven (7) days prior to the meeting. Said placard shall describe the pending application for demolition of the building or

structure, and the date, time and place of the meeting wherein the application shall be considered by the HLPARB. In addition, the Councilmember of the ward where the site of the proposed demolition is located shall receive a copy of the application and accompanying documents. Posting of the placard and notice to the Councilmember shall be mandatory and shall be a condition precedent to HLPARB review of the application. If the placard has not been posted, or if the Councilmember has not been notified, then the application shall be held over to the next meeting of the HLPARB.

- D. The HLPARB shall review the application and either issue or deny the certificate of demolition or removal within 30 days of the meeting when the HLPARB receives the application. Written notice of the approval or denial of the application for a certificate of demolition or removal shall be provided the applicant within seven days following the determination, and shall be accompanied by a certificate of demolition or removal in the case of an approval.
- E. *Historical/architectural report.* As part of any application for demolition or removal, a report analyzing the historical and/or architectural significance of the property shall be submitted for review of the HLPARB. Submission of the report to the HLPARB shall be mandatory and shall be a condition precedent to HLPARB review of the application. The report shall address each of the ten criteria for historical architectural significance provided in Section 400.1280(F). The report shall be written by a professional architect, architectural historian, historic preservation consultant, city planner, archaeologist, or art historian.
- F. *Standards for review.* In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:
 - 1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;
 - 2. Its location as a site of a significant local, county, state or national event;
 - 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country;
 - 4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;
 - 5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, county, state or country;
 - 6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;
 - 7. Its embodiment of design elements that make it structurally or architecturally innovative;
 - 8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or city;
 - 9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses, or barns; schools; churches; public buildings;

institutional offices; or other commercial structures, with a high level of integrity or architectural significance; and/or

10. The fact that it has yielded, or may be likely to yield, information important in history.

G. Should the HLPARB determine that the structure is historically significant, then the HLPARB shall proceed to consider whether the preservation of the structure is technologically and economically feasible. In determining whether the preservation of the structure is technologically and economically feasible the HLPARB shall consider the following criteria:

1. A report from a registered professional engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
2. Estimated market value of the property in its current condition; after completion of the proposed demolition or removal; after any changes recommended by the HLPARB; and, in the case of a proposed demolition, after renovation of the existing property for continued use prepared by a licensed real estate appraiser;
3. A detailed cost estimate, broken down by category, of the cost to rehabilitate or reuse the existing structure. Such estimate shall be provided by a registered professional architect or engineer, architectural conservator, developer, real estate consultant, appraiser, or licensed building contractor experienced in rehabilitation;
4. Assessed value of the property according to the two (2) most recent assessments;
5. Real estate taxes of the previous two (2) years;
6. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit Corporation, limited partnership, joint venture, or other;
7. Any other information which may be reasonably obtained which is considered necessary by the HLPARB to make a determination as to whether the property does yield, or may yield, a reasonable return to the owners.

STAFF RECOMMENDATION – NOT HISTORICALLY SIGNIFICANT

The Board is tasked with deciding whether the subject property meets the criteria for historical significance. The City's criteria are derived from widely accepted historic preservation standards established by the Secretary of the Interior and administered through the National Park Service and State Historic Preservation Office and are incorporated into Section 400.1280(F) of the Zoning Ordinance. Employing the Standards for Review, Staff has concluded that the existing structure at 708 First Capitol meets 1 out of 10 criteria to be historically significant. The structure continues to embody the distinguishing characteristics of its architectural type through several design elements. It provides value in understanding typical building practices and patterns of development during the early 20th century. The structure was likely excluded from the Midtown Neighborhood National District boundary due to its location on First Capitol, which contains many modern developments. While one criterion was met, the building would still not be considered historically or architecturally significant under these standards of review. If the Board agrees that the existing structure is not historically significant, the structure may be demolished. Staff recommends that the building is **not** considered historically significant.

Recommended Motion:

Motion to find the structure located at 708 First Capitol to be historically significant. (Staff believes the structure is not historically significant and should be allowed to be removed.)



Figure 2: 708 First Capitol seen from the roadway.



Figure 3: Subject structure looking west from First Capitol.



Figure 4: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____

BUSINESS NAME (if applicable): _____

APPLICANT:

(Name)

(Address)

(Phone & Email Address)

PROPERTY OWNER:

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- | | |
|---|--|
| <input type="checkbox"/> Commons Preservation District | <input type="checkbox"/> Extended Historic Preservation District |
| <input type="checkbox"/> Frenchtown Preservation District | <input type="checkbox"/> Historic Downtown Preservation District |
| <input type="checkbox"/> South Main Preservation District | |

DATE OF ORIGINAL CONSTRUCTION: _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:



GENERAL STANDARDS CRITERIA

APPLICATION FOR CERTIFICATE OF DEMOLITION OR REMOVAL

HPLARB

708 FIRST CAPITAL DR.
ST. CHARLES, MO 63301

ADDRESS:

708 First Capital Dr.
St. Charles, MO 63301
Extended Historic District

DESCRIPTION OF STRUCTURE

From review of found records, the structure appears to have been constructed in about 1923 as a modest residential bungalow, first appearing in city records in 1925 as home to Adolph and Mary Honerkamp. In the 1950s, an apartment was apparently created with additional individuals listed as residents of this address. Immanuel Lutheran Church recently acquired the property and the previous owner is leasing back the home as the Church advances its campus improvement plans.

The approximately 1,700 sf building is a common example of a residential construction from this period. The structure sets high above the street as a 1-1/2 story side gabled stuccoed bungalow. There is a low stone retaining/garden wall at the sidewalk, with sloped garden beds flanking the centered entry walk from the sidewalk to front porch. The front façade includes a typical deep front porch spanning the full width of the home, with 2 stucco columns flanking the centered porch steps. The gable ends have wide eaves and triangular knee braces as ornamentation. is a common example of a vernacular residential masonry construction from this period. A centered front dormer clad in siding includes 4 windows and similar knee brace ornamentation.

The owners have maintained the structure in good condition, but the current campus master plan proposes a New Early Childhood building in this location and is accordingly seeking to demolish the subject structure. Overall we do not believe the building to be historically significant.



708 First Capital Dr. – Front / Side Elevation



708 First Capital Dr. – Front / Side Elevation

section 400.1280 Certificates of Demolition or Removal

s. 400.1280-F.

Standards For Review. In considering an application for a certificate of demolition or removal, the HLPARB shall be guided by the following criteria as general standards in determining if the structure is historically significant, in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. Its character, interest or value as part of the development, heritage or cultural characteristics of the community, County, State or country;

From review of found records, the structure appears to have been constructed in about 1923 as a modest residential bungalow, first appearing in city records in 1925 as home to Adolph and Mary Honerkamp. In the 1950s, an apartment was apparently created with additional individuals listed as residents of this address. Immanuel Lutheran Church recently acquired the property and the previous owner is leasing back the home as the Church advances its campus improvement plans.

It does not appear to be a significant part of the community's history or heritage.

2. Its location as a site of a significant local, County, State or national event;

The building is not known as a location for a significant local, County, State, or national event.

3. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;

The building is not known to be identified with any specific person or persons or significant community, County, State, or national activities.

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous material;

The structure is a common example of a bungalow style residential structure, without especially unique features or historically significant characteristics.

5. Its identification as the work of a master builder, designer, architect or landscape architect whose individual work has influenced the development of the community, County, State or country;

The structure is not known to be the work of a historically significant master builder or architect.

6. Its embodiment of elements of design, detailing, materials or craftsmanship which renders it architecturally significant;

The structure is a common example of a bungalow style residential structure, without especially unique historically significant features or characteristics.

7. Its embodiment of design elements that make it structurally or architecturally innovative;

The structure is a common example of a bungalow style residential structure, without especially unique or innovative design elements or historically significant characteristics.

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature of the neighborhood, community or City;

The structure is located mid-block among much more recent commercial development, and is not known as a historically significant feature of the neighborhood or community.

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses; accessory buildings such as summer kitchens, smokehouses or barns; schools; churches; public buildings; institutional offices; or other commercial structures with a high level of integrity or architectural significance; and/or

The structure is a common example of a bungalow style residential structure, without especially unique or innovative design elements or historically significant characteristics.

10. The fact that it has yielded, or may be likely to yield, information important in history.

The structure is a common example of a bungalow style residential structure, unlikely to yield historically significant information.

Thank you for your consideration of this application. Should you have any questions or would like additional information please contact me at the information provided below.

Sincerely,



Nathan A. Rauh
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BACKGROUND AND QUALIFICATIONS

Nathan Rauh is a registered architect with 30 years of experience in the architecture, design, real estate development, and construction industry.

He holds a M.Arch degree with a focus in Historic Preservation from Texas Tech University and has practiced architecture with a unique expertise in mixed-use, multi-family, and senior housing projects in urban and Main Street settings. His project work includes completed renovation of over 60 historic tax credit projects and work on many other historic buildings.

Currently Mr. Rauh leads Naismith-Allen, Inc., a boutique firm providing Planning, Development, Architecture, and Design services focused on infill, Main Street, Adaptive-use, and Historic Preservation projects.

LANDMARKS BOARD - MINUTES
March 23, 2026
City Council Chambers, Fourth Floor City Hall
200 North Second Street
St. Charles, MO 63301

MEMBERS PRESENT

Jill Ryan, Vice Chair
Michelle Beucke
Dave Settle
Steve Hollander, Council Liaison

STAFF PRESENT

Taylor Moore, Preservation Planner
John Boyer, Asst. Director of CD

Absent: Steve Martin, John Donnelly, Christi Tennyson

On Monday, March 23, 2026, at 6:00 p.m., the City of St. Charles Landmarks Board held its regular monthly meeting in the Council Chambers on the fourth floor of City Hall.

1. Call to order and call the roll.

Vice Chair Jill Ryan called the meeting to order at 6:00 p.m. Taylor Moore called the roll. Those in attendance are listed above.

2. The Pledge of Allegiance

3. Consent Agenda

(A) Case No. EC-2024-1 205 South Duchesne. Nate Droste. The applicant is requesting permission to removal a non-historic addition and revitalize the two-tier porch. [Individually Listed Landmark, Ward 10].

(B) Case No. EC-2026-11 105 North Main Street. Penny Pitman. The applicant is requesting permission to replace a railing on a rear deck [Historic Downtown District, Ward 1].

(C) Case No. EC-2026-13 701 South Riverside Drive. Jodi Devonshire. The applicant is requesting permission to replace four entry doors on the structure [South Main Preservation District, Ward 2].

This item was removed from the consent agenda.

(D) Case No. EC-2026-15 1101 North 3rd Street. Donna Delaney. The applicant is requesting permission to make repairs to the front porch of the building [Frenchtown Preservation District, Ward 1].

(E) Case No. EC-2026-20 519 South Benton Avenue. Katie Shereretz. The applicant is requesting permission to expand their fence in the rear yard of the property [Extended Historic Preservation District, Ward 2].

Michelle Beucke made a motion to approve the remaining consent agenda items. Steve Hollander seconded the motion. four were in favor, none were opposed (4-0). The motion passed.

4. Removed Consent Agenda Items

(A) Case No. EC-2026-13 701 South Riverside Drive. Jodi Devonshire. The applicant is requesting permission to replace four entry doors on the structure [South Main Preservation District, Ward 2]. *Item removed so Michelle Beucke can abstain. Steve Hollander made a motion to approve*

the application. Dave Settle seconded the motion. Three were in favor, none were opposed, one abstained (3-0-1). The motion passed.

5. Sign Permit Applications

- (A) Sign Permit No. 2026-826 140 North Main Street. Genevieve Kaufmann. The applicant is requesting permission to install a new projecting sign for the business “La Tia & Pancho’s Cantina & Grill” [Historic Downtown District, Ward 1]. *Genevieve Kaufman was present to answer questions from the Board. Michelle Beucke made a motion to approve the sign application as submitted, Dave Settle seconded the motion. Four were in favor, none were opposed (4-0). The motion passed.*

6. Structure Review

- (A) Case No. EC-2026-6 620 South 5th Street. Isam Mohammad. The applicant is requesting after-the-fact approval to install new light fixtures on the property [Extended Historic Preservation District, Ward 2]. *Khalil Sharawi with Miami Grill was present to answer questions from the Board. Steve Hollander made a motion to approve the application as submitted. Michelle Beucke seconded the motion. Four were in favor, none were opposed (4-0). The motion passed.*
- (B) Case No. EC-2026-12 305 Morgan Street. James Reed. The applicant is requesting permission to construct a new cupola structure on the roof of the dwelling [Frenchtown Preservation District, Ward 1]. *Michelle Beucke was present to answer questions from the Board. Steve Hollander made a motion to approve the application as submitted. Dave Settle seconded the motion. Three were in favor, none were opposed, one abstained (3-0-1). The motion passed.*
- (C) Case No. EC-2026-14 901 North 2nd Street. Mark Hicks. The applicant is requesting permission to replace the front balcony and rear deck on the structure [Frenchtown Preservation District, Ward 1]. *Shane Hicks and Jamie Wiechens were present to answer questions from the Board. Steve Hollander made a motion to approve the project, subject to the balcony railing posts align with the support posts below. Dave Settle seconded the motion. Four were in favor, none were opposed (4-0). The motion passed.*
- (D) Case No. EC-2026-16 825 South Main Street. Michelle Beucke. The applicant is requesting permission to make alterations to the rear garage and rear addition of the primary structure [South Main Preservation District, Ward 2]. *Michelle Beucke was present to answer questions for the Board. Steve Hollander made a motion to approve the project. Dave Settle seconded the motion. Three were in favor, none were opposed, one abstained (3-0-1). The motion passed.*
- (E) Case No. EC-2026-17 725 North 4th Street. Ace Kessler. The applicant is requesting permission to make alterations to the front porch and rear porch on the dwelling [Frenchtown Preservation District, Ward 1]. *Ace Kessler was present to answer questions from the Board. Michelle Beucke made a motion to approve the project subject to the condition the existing railing for the front porch is used. Steve Hollander seconded the motion. Four were in favor, none were opposed (4-0). The motion passed.*
- (F) Case No. EC-2026-18 1106 North 2nd Street. Marcia Randoll. The applicant is requesting permission to add an outdoor patio area and construct a rear addition to the existing structure [Frenchtown Preservation District, Ward 1]. *Drew Weber was present to answer questions for the Board. Michelle Beucke made a motion to approve the project as amended. Dave Settle seconded the motion. Three were in favor, none were opposed, one abstained (3-0-1). The motion passed.*
- (G) Case No. EC-2026-19 300 North 5th Street. Jamey Schmitt. The applicant is requesting after-the-fact approval to make exterior alterations to the dwelling [Extended Historic Preservation

District, Ward 2]. *Jamey Schmitt was present to answer questions for the Board. Steve Hollander made a motion to approve the project, subject to the condition the first-floor windows are modified to maintain original height. Dave Settle seconded the motion. Four were in favor, none were opposed (4-0). The motion passed.*

- (H) Case No. SP-2026-5 711 South Benton Avenue. Matt Barker. The applicant is requesting approval to demolish a rear garage and rear addition on the property [Extended Historic Preservation District, Ward 2]. *Steve Hollander made a motion to table the application to the April 20, 2026, Landmarks Meeting. Dave Settle seconded the motion. Three were in favor, none were opposed, one abstained (3-0-1). The application was tabled.*
- (I) Case No. SP-2026-6 912 South 4th Street. Mike Petrosino. The applicant is requesting approval to demolish an existing detached garage in the rear of the property [Extended Historic Preservation District, Ward 2]. *Steve Hollander made a motion to table the application to the April 20, 2026, Landmarks Meeting. Dave Settle seconded the motion. Three were in favor, none were opposed, one abstained (3-0-1). The application was tabled.*
- (J) Case No. SP-2026-7 912 South 4th Street. Mike Petrosino. The applicant is requesting approval to construct a new detached garage in the rear of the property [Extended Historic Preservation District, Ward 2]. *Michelle Beucke was present to answer questions for the Board. Steve Hollander made a motion to approve the project, subject to modifications being made for symmetrical appearance. Dave Settle seconded the motion. Three were in favor, none were opposed, one abstained (3-0-1). The motion passed.*

7. Announcements/Reports from Officers

No Reports.

8. Staff Reports

No Reports.

9. Approval of February 23, 2026, regular meeting minutes

Steve Hollander made a motion to approve the minutes, Michelle Beucke seconded the motion. Four were in favor, none were opposed (4-0).

10. Adjournment

Steve Hollander made a motion to adjourn. Michelle Beucke seconded the motion. All were in favor (4-0). The meeting adjourned at 7:14pm.

SECRETARY

DATE