



PLANNING AND ZONING COMMISSION

AGENDA FOR REGULAR MEETING

May 11, 2026

PLANNING AND ZONING COMMISSION:

Shawn Luesse, Chair
Julie Bartch, Vice-Chair
Missy Palitzsch, Secretary
Dan Borgmeyer, Mayor
Michael Galba, City Council Liaison

John Morgan
Chris DeGuentz
Tyson King
Adriana Perrone
Keith Liston

Commission Members:

A regular meeting of the St. Charles Planning and Zoning Commission will be held on **Monday, May 11, 2026**, beginning at 6:00 p.m. on the fourth floor of City Hall Chambers, 200 North Second Street, St. Charles, Missouri.

1. Call to order and the roll.
2. The Pledge of Allegiance.
3. Approve the minutes of the April 13, 2026 Planning and Zoning Commission meeting.

CONSENT AGENDA

4. Case No. SP-2025-04. (Justin Coffman – PM Design) An application to amend the Site Plan for a proposed site improvement (a stand-alone canopy) associated with a Secondhand Sales (thrift store) use within the C-2 General Business District located at 1690 Country Club Plaza Drive. The subject property is located in Ward 4.

PUBLIC HEARING: Conditional Use

5. Case No. CU-2026-11. (SuperTarget Liquor of Missouri, Inc.) An application for a Conditional Use Permit per §400.230(C)(1)(a) for Liquor Sales associated with a retail use within the “C-3” Highway Business District, located at 3881 Mexico Road. The subject property is located in Ward 6.

PUBLIC HEARING: Rezoning

6. Case No. Z-2026-10. (Fox Investors, LLC) An application to rezone an approximately 2.61 acres tract of land, known as 1360 S 5th Street from C-2 General Business District to C-3 Highway Business District. The subject property is located in Ward 2. *The applicant has requested that this item be **TABLED** until the June 8, 2026 Planning and Zoning Commission meeting.*

PUBLIC HEARING: Conditional Use

7. Case No. CU-2026-12. (Tiffany Ruby – Truth Be Told Tattoos & Cosmetics) An application for a Conditional Use Permit from §400.230(C)(1)(i) for a proposed Tattoo Establishment within a proposed C-3 Highway Business District (application Z-2026-10). The property is currently zoned C-2 General Business District located at 1360 S. 5th Street. The subject property is located in Ward 2. *The applicant has requested that this item be **TABLED** until the June 8, 2026 Planning and Zoning Commission meeting.*

PUBLIC HEARING: Rezoning

8. Case No. Z-2026-09. (Scott Runde – SWT Design) An application to establish the zoning for a 97.38 acre tract of land located at 2451 Hwy B, to the City of St. Charles “A” Agricultural District. The subject property is located in Ward 8.

SITE PLAN

9. Case No. SP-2026-06. (Scott Runde – SWT Design) A Site Plan application for the first phase of a new City park (Legacy Farms Park). The subject property is located at 2451 Hwy B, within the proposed City of St. Charles “A” Agricultural District. The subject property is located in Ward 8.

PUBLIC HEARING: Conditional Use

10. Case No. CU-2026-10. (Bob Byrne – Truman Blvd. Investments, LLC) An application for a Conditional Use Permit per §400.240(C)(1)(a) for an outdoor storage use (trailer and container storage) within the “I-1” Light Industrial District, located at 3150 Harry S Truman Blvd and 3200 Truman Industrial Blvd. The subject property is located in Ward 6.

SITE PLAN

11. Case No. SP-2026-05. (Bob Byrne – Truman Blvd. Investments, LLC) A Site Plan application for an outdoor storage facility for trailers and containers, including an associated office building, located at 3150 Harry S Truman Blvd and 3200 Truman Industrial Blvd. The property is zoned I-1 Light Industrial District and is located in Ward 6.

SITE PLAN

12. Case No. SP-2025-09. (Larry Walker – Bax Engineering) An application to amend a previously approved site plan for a manufacturing building from 23,800 square feet to 65,000 square feet (more or less) for Trinity Products, located at 2001 Truman Industrial Boulevard. The subject property is located in Ward 6.

CONDITIONAL USE EXTENSION

13. Case No. CU-2025-09. (Side Project Brewing - Cory King) A request to grant a twelve (12) month extension for a Conditional Use approval for liquor sales and a microbrewery use. The subject property is located at 1001 and 1005 N 2nd Street, in Ward 1.

ADMINISTRATIVE ITEMS:

14. Recreational Vehicle Text Amendment Discussion.

Adjourn

The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY - for the hearing impaired). The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk’s Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.

INCLEMENT WEATHER: In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

Posted on 4/8/2026 at 5:00 PM MPB



**PLANNING AND ZONING COMMISSION
MEETING MINUTES
April 13, 2026
City Hall – Council Chambers
200 N Second Street, 4th Floor
St. Charles, MO 63301**

MEMBERS PRESENT:

Shawn Luesse, Chairperson
Julie Barch, Vice-Chair
Missy Palitzsch, Secretary
Chris DeGuentz
Adriana Perrone
Tyson King
Keith Liston
John Morgan
Mayor Dan Borgmeyer
Michael Galba, City Council Liaison

STAFF PRESENT:

John Boyer, Director of C.D.
Lara Berry, Planner
Madelyn Brown, Planner

A regular meeting of the St. Charles Planning and Zoning Commission was held on **Monday, April 13, 2026**, beginning at 6:00 p.m. on the fourth floor of City Hall Chambers, 200 North Second Street, St. Charles, Missouri.

The meeting was called to order by Chair, Sean Luesse, at 6:00 p.m. Secretary took roll. Those in attendance are noted above.

1. Call to order and the roll.
2. The Pledge of Allegiance.
3. Approve the minutes of the March 9, 2025 Planning and Zoning Commission meeting.

Commissioner Palitzsch made a motion to approve the minutes. Commissioner Morgan seconded the motion. All were in favor. The minutes were approved.

PUBLIC HEARING: Text Amendment

4. Case No. TA-2026-01. (City of St. Charles) An application to amend Chapter 400 of the Code of Ordinances specifically concerning Data Centers. ***This item was TABLED at the February 9, 2026 Planning and Zoning Commission meeting, and the Public Hearing was closed at that time.***

Director Boyer provided the Commission with an overview of the Text Amendment request.

Commissioner Morgan motioned to forward the application with a favorable recommendation, as submitted. Commissioner Palitzsch seconded the motion.

*A roll call vote was taken with the following results: **Aye:** Barch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Galba; **No:** Luesse, Liston, Palitzsch; **Abstain:** None; **Absent:** none.*

The application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

PRELIMINARY PLAT

5. Case No. SUB-2026-01. (Deerfield Village Titleholder, LLC) An application for a Preliminary Plat for five (5) lots for manufactured/modular homes at the existing Deerfield Village Mobile Home Park, within the R-M/WHP

Manufactured/Modular Residential District within the Wellhead Protection District. The property is approximately sixty (60) acres overall, located on the north side of Elm Point Road. This property is located in Ward 7.

Planner Brown provided the Commission with an overview of the Preliminary Plat request. The applicant addressed the Commission.

Commissioner Palitzsch motioned to forward the Preliminary Plat with a favorable recommendation, as submitted. Commissioner Bartch seconded the motion.

*A roll call vote was taken with the following results: **Aye:** Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; **No:** None; **Abstain:** None; **Absent:** none.*

The Preliminary Plat application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

PUBLIC HEARING: Rezoning

6. Case No. Z-2026-07. (Common Pathway Holding LLC – Paul Dinkins) An application to rezone an approximately 33,155 square feet tract of land located at 3516 Shire Lane within The New Town at St. Charles development from “CS/PD-MU” Civic Space within the Planned Development Mixed- Use District to “T-2/PD-MU” Transect Zone 2 within the Planned Development Mixed-Use District for a proposed Inn. The subject property is located in Ward 8.

Planner Brown provided the Commission with an overview of rezoning request. The applicant addressed the Commission. The public hearing for the application opened with no speakers from the public. Commissioner Bartch made a motion to close the public hearing. Mayor Borgmeyer seconded the motion. All were in favor and the public hearing closed.

Commissioner Palitzsch motioned to forward the Rezoning application, as submitted. Commissioner Bartch seconded the motion.

*A roll call vote was taken with the following results: **Aye:** Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; **No:** None; **Abstain:** None; **Absent:** none.*

The Rezoning application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

PUBLIC HEARING: Conditional Use

7. Case No. CU-2025-30. (Lynette Agnew – 15 Brunch Bar). An application for a Conditional Use Permit per §400.230(C)(1)(a) for Liquor Sales associated with a Restaurant use within the “C-3” General Business District, located at 1456 Bass Pro Drive. The subject property is located in Ward 2.

Planner Berry provided the Commission with an overview of the Conditional Use request. The applicant addressed the Commission. The public hearing for the application opened with no speakers from the public. Mayor Borgmeyer made a motion to close the public hearing. Commissioner Palitzsch seconded the motion. All were in favor and the public hearing closed.

Councilmember Galba motioned to forward the Conditional Use application, with the following conditions:

1. **This conditional use permit for liquor sales associated with a restaurant use shall be issued to the applicant (Lynette Agnew) with 15 Brunch Bar restaurant located at 1456 Bass Pro Drive and shall not be transferable to another location and/or tenant/business.**
2. **Any significant changes to the approved proposal, including expansion of the tenant space, addition of an outdoor patio, or changes in event operations, may require further City review.**
3. **Private events shall remain accessory to the primary restaurant use and shall not materially change the character or intensity of the approved use.**

4. **Approval of this Conditional Use is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.**
5. **Liquor sales shall not occur independently of the primary business use and shall only be accessory to the operation of the restaurant use.**
6. **Non-compliance with any building codes, property maintenance codes, fire codes, noise control ordinances, or conditions of this approval is grounds for revocation of the conditional use approval.**
7. **Violations of Chapter 600 (Liquor/Alcoholic Beverages) may be grounds for revocation of this Conditional Use.**

Commissioner DeGuentz seconded the motion.

*A roll call vote was taken with the following results: **Aye:** Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; **No:** None; **Abstain:** None; **Absent:** none.*

The Conditional Use application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

PUBLIC HEARING: Conditional Use

8. **Case No. CU-2026-06.** (L & Y LLC) An application for a Conditional Use Permit per §400.220(C)(1)(a) for Liquor Sales associated with a Restaurant use within the “C-2” General Business District, located at 1610 Country Club Plaza. The subject property is located in Ward 4.

Planner Brown provided the Commission with an overview of the Conditional Use request. The applicant addressed the Commission. The public hearing for the application opened with no speakers from the public. Councilmember Bartch made a motion to close the public hearing. Commissioner Palitzsch seconded the motion. All were in favor and the public hearing closed.

Councilmember Palitzsch motioned to forward the Conditional Use application, with the following conditions:

1. **This conditional use permit for a liquor sales associated with a restaurant use is issued to the applicant (L & Y LLC) and business (Yummy House) only for the property located at 1610 Country Club Plaza Drive and is not transferable to another location and/or tenant/business.**
2. **Approval of this Conditional Use is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.**
3. **Liquor sales shall not occur independent of the primary business use and shall only be accessory to the submitted restaurant.**
4. **Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.**
5. **Violations of Chapter 600 dealing with Liquor/Alcoholic Beverages may be grounds for revocation of this Conditional Use.**

Commissioner Bartch seconded the motion.

*A roll call vote was taken with the following results: **Aye:** Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; **No:** None; **Abstain:** None; **Absent:** none.*

The Conditional Use application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

PUBLIC HEARING: Conditional Use

9. **Case No. CU-2026-07.** (Michael L. Warspir – OASIS Executive Direction) An application to amend a previously

approved Conditional Use Permit per §400.230(C)(1)(a) for the expansion of a Community Service Establishment (free food distribution), for the installation of an additional outdoor refrigeration unit. The subject property is located at 1814 Boones Lick Road, within the “C-3” Highway Business District, and located in Ward 2.

Planner Berry provided the Commission with an overview of the Conditional Use Permit and associated Site Plan (Item #10). The applicant addressed the Commission. The public hearing for the application opened with no speakers from the public. Councilmember Palitzsch made a motion to close the public hearing. Commissioner Bartch seconded the motion. All were in favor and the public hearing closed.

Councilmember Galba motioned to amend the hours of operation of the business, based upon the applicant’s testimony. Commissioner Morgan seconded the motion. All were in favor and the motion passed.

Councilmember Palitzsch motioned to forward the Conditional Use application, with the following conditions:

- 1. The Conditional Use Permit is issued for the subject property for operation of a Community Service Establishment, including a food pantry, thrift store, and foster/adoption support services, as well as the installation of one outdoor freezer unit, as depicted in the submitted materials.**
- 2. Upon approval, this Conditional Use Permit shall supersede and replace all previous Conditional Use approvals for the subject property. Only those conditions expressly included in this approval shall remain in effect.**
- 3. If this Conditional Use Permit is not approved, all prior Conditional Use approvals shall remain in effect.**
- 4. No temporary or permanent residential use shall be permitted on the property.**
- 5. Hours of operation shall be limited to 9:00 a.m. to 4:00 p.m. on Monday, Wednesday and Friday, 9:00 a.m. to 8:30 p.m. on Tuesday and Thursday, and 10:00 a.m. to 3:00 p.m. on Saturday. The Foster Adoption Support Team (FAST) services may operate on Saturdays, 12:00 p.m. to 3:00 p.m.**
- 6. All existing buffering, fencing, landscaping, and screening requirements established through prior approvals shall be maintained.**
- 7. Non-compliance with any of the building codes, property maintenance codes, fire codes, conditions of this approval, or any other city ordinances is grounds for revocation of the conditional use approval.**

Commissioner Bartch seconded the motion.

A roll call vote was taken with the following results: Aye: Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; No: None; Abstain: None; Absent: none.

The Conditional Use application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

SITE PLAN

10. Case No. SP-2026-03. (Michael L. Warspir – OASIS Executive Direction) A Site Plan application for the installation of one (1) additional outdoor refrigeration unit. The subject property is located at 1814 Boones Lick Road, within the “C-3” Highway Business District, and located in Ward 2.

Commissioner Palitzsch motioned to approve the site plan application, as submitted. Commissioner Bartch seconded the motion.

A roll call vote was taken with the following results: Aye: Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; No: None; Abstain: None; Absent: none.

The Site Plan application was approved (10 in favor, 0 opposed).

PUBLIC HEARING: Conditional Use

11. Case No. CU-2026-08. (Jane Munyambo – Capitol Bar and Grill, LLC) An application for a Conditional Use Permit per §400.230(C)(1)(a) for Liquor Sales associated with a Restaurant use within the “C-3” Highway Business District, located at 2198 1st Capitol Drive. The subject property is located in Ward 2.

Planner Berry provided the Commission with an overview of the Conditional Use request. The applicant addressed the Commission. The public hearing for the application opened with no speakers from the public. Councilmember Palitzsch made a motion to close the public hearing. Commissioner Bartch seconded the motion. All were in favor and the public hearing closed.

Councilmember Palitzsch motioned to forward the Conditional Use application, with the following conditions:

- 1. This conditional use permit for liquor sales associated with a restaurant use is issued to the applicant (Jane Munyambo) and business (Capitol Bar and Grill) only for the property located at 2198 First Capitol Drive and is not transferable to another location and/or tenant/business.**
- 2. Any significant change in the operation of the business, including but not limited to expansion of the use, changes in hours, or alterations to the site, may require additional review and approval by the City.**
- 3. Approval of this Conditional Use is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.**
- 4. Liquor sales shall not occur independently of the primary business use and shall only be accessory to the submitted restaurant use.**
- 5. Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.**
- 6. Violations of Chapter 600 dealing with Liquor/Alcoholic Beverages may be grounds for revocation of this Conditional Use.**

Commissioner Bartch seconded the motion.

*A roll call vote was taken with the following results: **Aye:** Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; **No:** None; **Abstain:** None; **Absent:** none.*

The Conditional Use application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

PUBLIC HEARING: Conditional Use

12. Case No. CU-2026-09. (Travis Miller – Brazen Auto LLC) An application for a Conditional Use Permit per § 400.220(C)(1)(c) for Motor Vehicle Sales within the “C-2” General Business District, located at 2600 S Old Highway 94. The subject property is located in Ward 5.

Planner Berry provided the Commission with an overview of the Conditional Use request. The applicant addressed the Commission. The public hearing for the application opened with no speakers from the public. Councilmember Palitzsch made a motion to close the public hearing. Commissioner Bartch seconded the motion. All were in favor and the public hearing closed.

Councilmember Palitzsch motioned to forward the Conditional Use application, with the following conditions:

- 1. This Conditional Use Permit shall be issued to the applicant (Travis Miller) for Brazen Auto located at 2600 S. Old Highway 94 and shall not be transferable to another location or tenant.**

2. The business shall remain consistent with the operation as presented in the application materials. Any expansion, change in ownership, or operation shall be subject to City review to determine whether further approvals are required.
3. Inventory/display vehicles shall be limited to striped and designated parking spaces on the subject property and shall not exceed the number of available striped spaces after required employee and customer parking spaces are maintained.
4. There shall be a minimum of eight (8) parking spaces maintained for employee and customer use, independent of the inventory/display vehicle spaces.
5. All vehicles on site must be in operable condition. The parking or storage of derelict, inoperable, or dismantled vehicles is prohibited.
6. All vehicles, whether inventory, employee, or customer vehicles, shall be parked within striped parking spaces. Drive aisles shall be maintained with a minimum width of fifteen (15) feet and kept clear at all times to support safe and functional one-way traffic circulation.
7. Outdoor storage of tires, automotive parts, used oil, or other materials associated with vehicle maintenance or cleaning is prohibited.
8. No balloons, pennants, streamers, flags, inflatable figures, or banners may be used on the property unless specifically permitted by the City's Sign Code. All signage shall comply with the City's Sign Code and be installed with the appropriate permits.
9. Non-compliance with applicable building codes, property maintenance codes, fire codes, or conditions of approval may result in enforcement action, including revocation of the Conditional Use Permit.

Commissioner Morgan seconded the motion.

A roll call vote was taken with the following results: Aye: Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; No: None; Abstain: None; Absent: none.

The Conditional Use application will be forwarded to the City Council with a favorable recommendation at their May 5, 2026 meeting.

SITE PLAN

13. Case No. SP-2025-10. (S.J. Hollander Architect) A Site Plan application to amend the elevations for a new office & workshop with outdoor storage located at 2040 Exchange Drive. The property is zoned -I Light Industrial District and is located in Ward 4.

Planner Berry provided the Commission with an overview of the Site Plan request. The applicant addressed the Commission.

Commissioner Palitzsch motioned to approve the site plan application, as submitted. Commissioner Bartch seconded the motion.

A roll call vote was taken with the following results: Aye: Luesse, Bartch, Palitzsch, Borgmeyer, Morgan, DeGuentz, King, Perrone, Liston, Galba; No: None; Abstain: None; Absent: none.

The Site Plan application was approved (10 in favor, 0 opposed).

PUBLIC HEARING: Rezoning

14. Case No. Z-2026-08. (Mike Burkhart – VE Design Management) An application to rezone an 11.72-acre (more or less) tract of land located on the north and south side of Lynnbrook Drive at the intersection of S. Old Highway 94, from “C-2” General Business District to “R-3A” Multiple-Family Residential District for a proposed apartment complex. The subject property is located in Ward 4. ***This item was WITHDRAWN by the applicant.***

No further action was required by the Commission.

Adjournment

*The next regular meeting of the Planning and Zoning Commission is scheduled for **May 11, 2026.***

Commissioner Bartch made a motion to adjourn the meeting. Councilmember Palitzsch seconded the motion. All were in favor. The meeting adjourned at 7:03 p.m.

SECRETARY

DATE



Memorandum

To: Planning & Zoning Commission

From: Lara Berry, Planner

Date: May 11, 2026

Subject: SP-2025-04 – Amended Site Plan (Canopy)

BACKGROUND

At April 14, 2025 Planning and Zoning Commission meeting, site improvements were approved in association with Site Plan application SP-2025-04 and Conditional Use Permit application CU-2025-05 for Savers thrift store at 1690 Country Club Plaza Drive. The proposal consisted of a donation drop-off area, parking for donation drop-off, landscaping, and a trash (cardboard) compactor enclosure.

Discussion at that time identified the potential of using temporary pop-up style tents for cover at the donation drop-off area; however, the Zoning Code does not allow for permanent use of temporary tents in this way. The applicant was informed that future review and approval may be required to construct a permanent canopy to protect the donation drop-off area from weather elements.

PROPOSED REVISION

The applicant has submitted a revised site plan and canopy elevation reflecting these modifications. The proposed canopy will be constructed with brick and steel columns and a steel frame roof with metal decking.

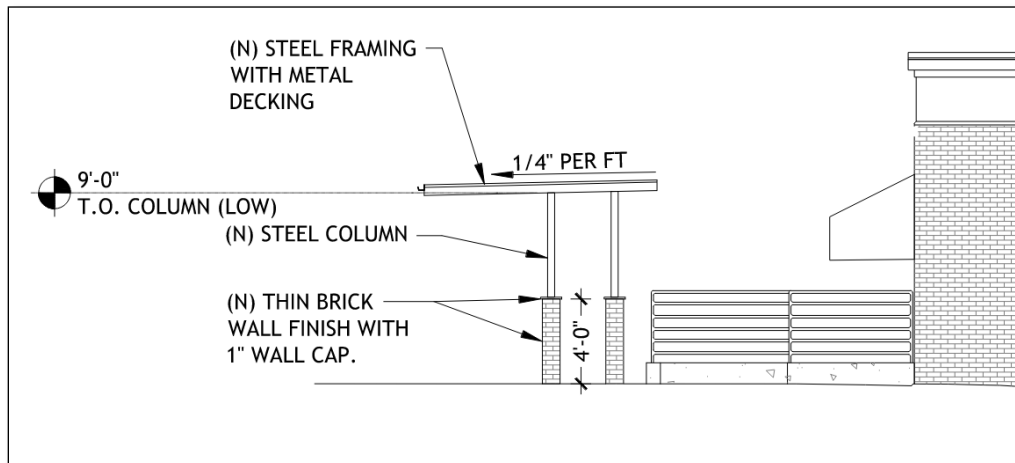


Figure 1: Proposed Elevation.

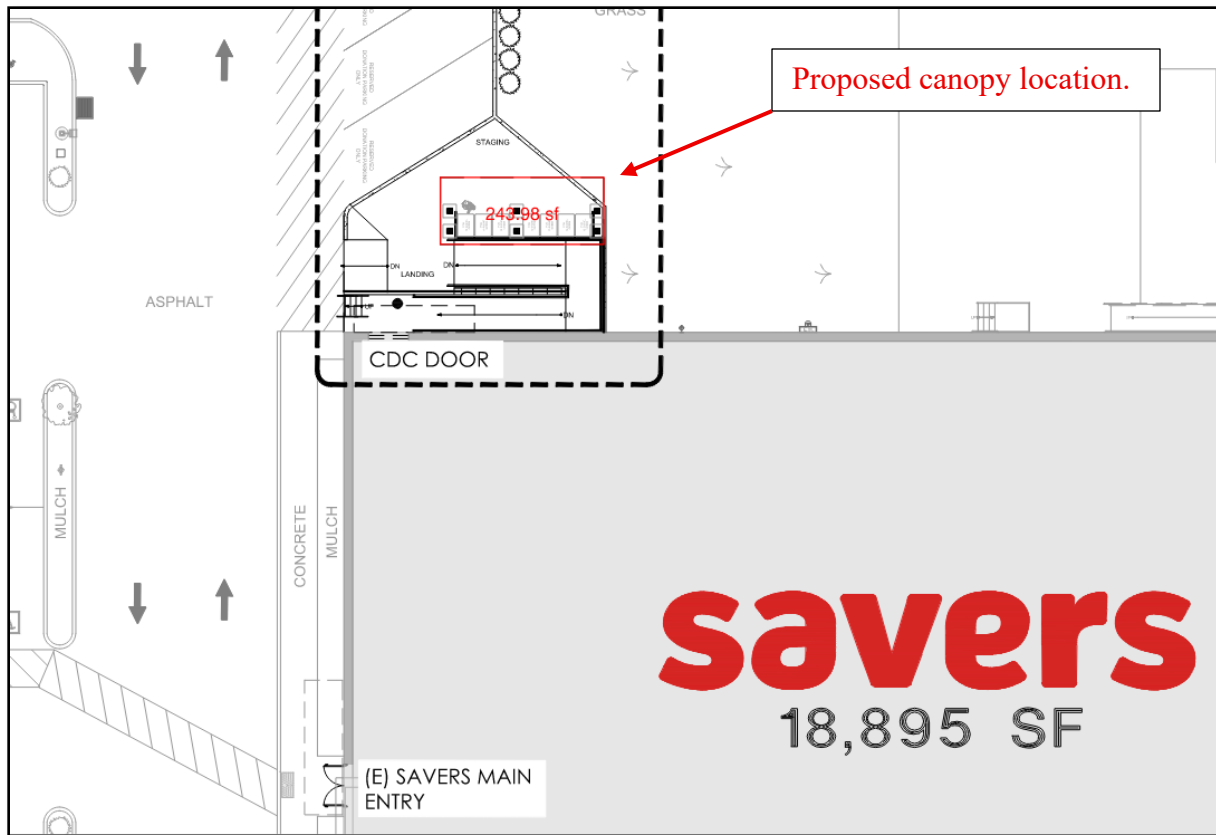


Figure 2: Proposed canopy location.

STAFF ANALYSIS

Per the Zoning Ordinance, the Planning and Zoning Commission is tasked with reviewing applications for new structures and substantial exterior improvements outside of historic districts when associated with Conditional Use Permit (CUP) requests. Specifically, the Code states that the Commission shall review such applications utilizing the adopted appearance criteria and render a determination on site plan and architectural review when new construction or exterior improvements are tied to a CUP.

While the proposed canopy, at approximately 245 square feet, would not typically rise to the level of a substantial exterior improvement on its own, it is directly associated with an approved Conditional Use Permit (CU-2025-05). As such, the request is subject to Planning and Zoning Commission review in accordance with the Zoning Ordinance.

From a design standpoint, the applicant has made a deliberate effort to align the proposed canopy with the character of the existing development. The use of brick columns and complementary materials reflects the spirit and intent of the masonry requirements typically applied to principal structures, even though this is an accessory feature. This approach helps maintain visual cohesion within the site and avoids the appearance of a temporary or out-of-place addition.

Additionally, the canopy is modest in scale and located within an already active service area of the site. As a result, it is not expected to create any significant visual or aesthetic impacts to the overall Country Club Plaza development or surrounding properties. Instead, it provides a practical improvement by offering weather protection for donation activities while remaining architecturally consistent with the primary structure.

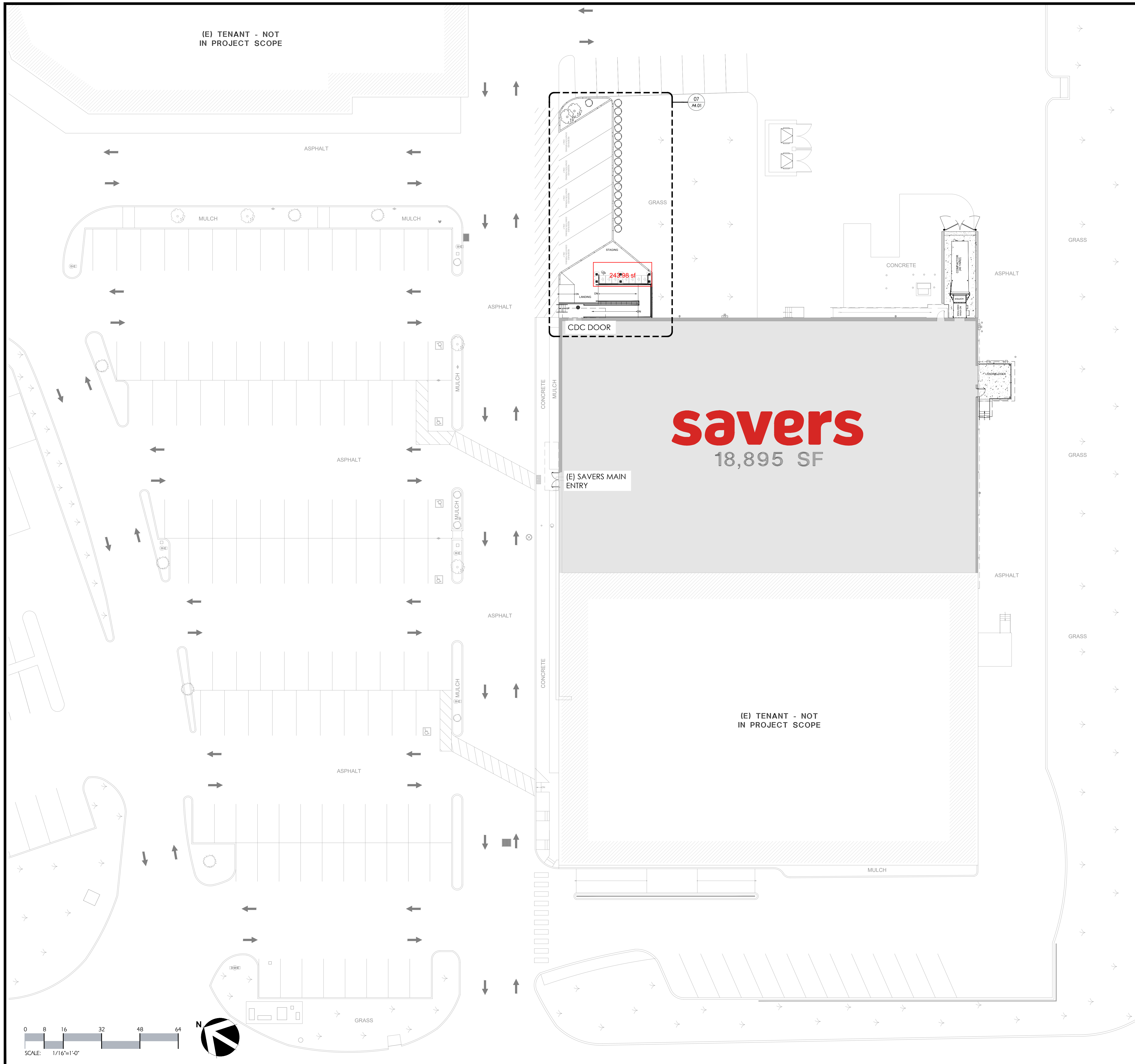
STAFF RECOMMENDATION

Based on these considerations, staff finds the proposed revision to be consistent with the intent of the Zoning Ordinance and supportive of the overall site design and recommends approval of the amended Site Plan, with the following amended conditions:

1. A cart corral shall be provided and maintained in the staging area to organize and secure the donation carts.
2. All other conditions approved with CU-2025-05 shall remain in effect.

Recommended Motion:

Motion to approve a Site Plan for SP-2025-04, subject to the conditions recommended by staff.



ST. CHARLES
 STORE NO. 1273
 1690 COUNTRY CLUB PLAZA DR
 ST. CHARLES, MO 63303



445 HUTCHINSON AVE
 SUITE 960
 COLUMBUS, OH 43235
 CONTACT: JEFF HOLTZER
 PHONE: 614.400.0246
 EMAIL: JHOLTZER@PMDESIGN.COM
 JEFF LIEDEBERMAN, ARCHITECT
 CCA: F001430250

SITE PLAN KEYED NOTES [E] = EXISTING [N] = NEW NTS **04**

PARKING REQUIREMENTS (CITY OF ST CHARLES, MO MUNICIPAL CODE TITLE 9 CHAPTER 9-44 ACCESS AND PARKING)
 RETAIL: - 1 SPACE/200 SF OF GROSS FLOOR AREA
 - 18,653 SF / 200 = 94 STALLS REQUIRED
 - ACCESSIBLE PARKING SPACES REQUIREMENTS:
 76-100 SPACES: 4 ACCESSIBLE REQUIRED

EXISTING	PROPOSED
T04 [E] PARKING SPACES	T08 [E] PARKING SPACES
O3 [E] ADA PARKING	O1 [N] ADA PARKING (1 VAN)
O1 [E] VAN SPACES	O5 [N] DESIGNATED DONATION DROP OFF
108 STALLS TOTAL EXISTING	114 STALLS TOTAL PROPOSED

PARKING DESCRIPTION NTS **03**



MARK	DATE	REVISION
	04/13/2026	PLAN REVIEW & APPROVAL

PROPOSED SITE PLAN

1/16" = 1'-0"

06

NOT USED

NO SCALE

01

A/E Project Number
 SAV24010.0

Sheet Name
OVERALL SITE PLAN

Sheet Number
A0.08

ST. CHARLES
 STORE NO. 1273
 1690 COUNTRY CLUB PLAZA DR
 ST. CHARLES, MO 63303

**PM
 DESIGN**

445 HUTCHINSON AVE
 SUITE 960
 COLUMBUS, OH 43235
 CONTACT: JEFF HOLTZER
 PHONE: 614.400.0346
 EMAIL: JHOLTZER@PMDESIGN.COM
 JEFF LUEDERMAN, ARCHITECT
 CCA: F001430250

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 11400 SE 6TH STREET, SUITE 125
 BELLEVUE, WASHINGTON 98004

MARK	DATE	REVISION
	04/13/2026	PLAN REVIEW & APPROVAL

A/E Project Number
 SAV24010.0

Sheet Name
**ENLARGED
 SITE PLANS
 & ELEVATIONS**

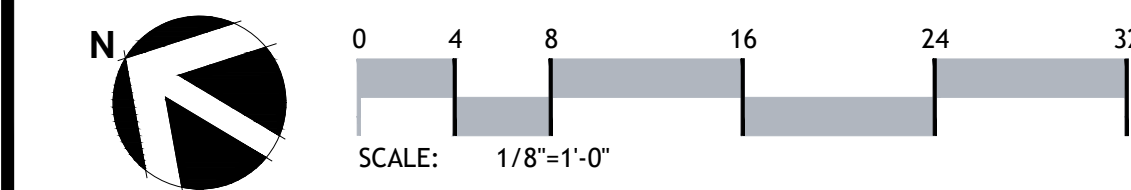
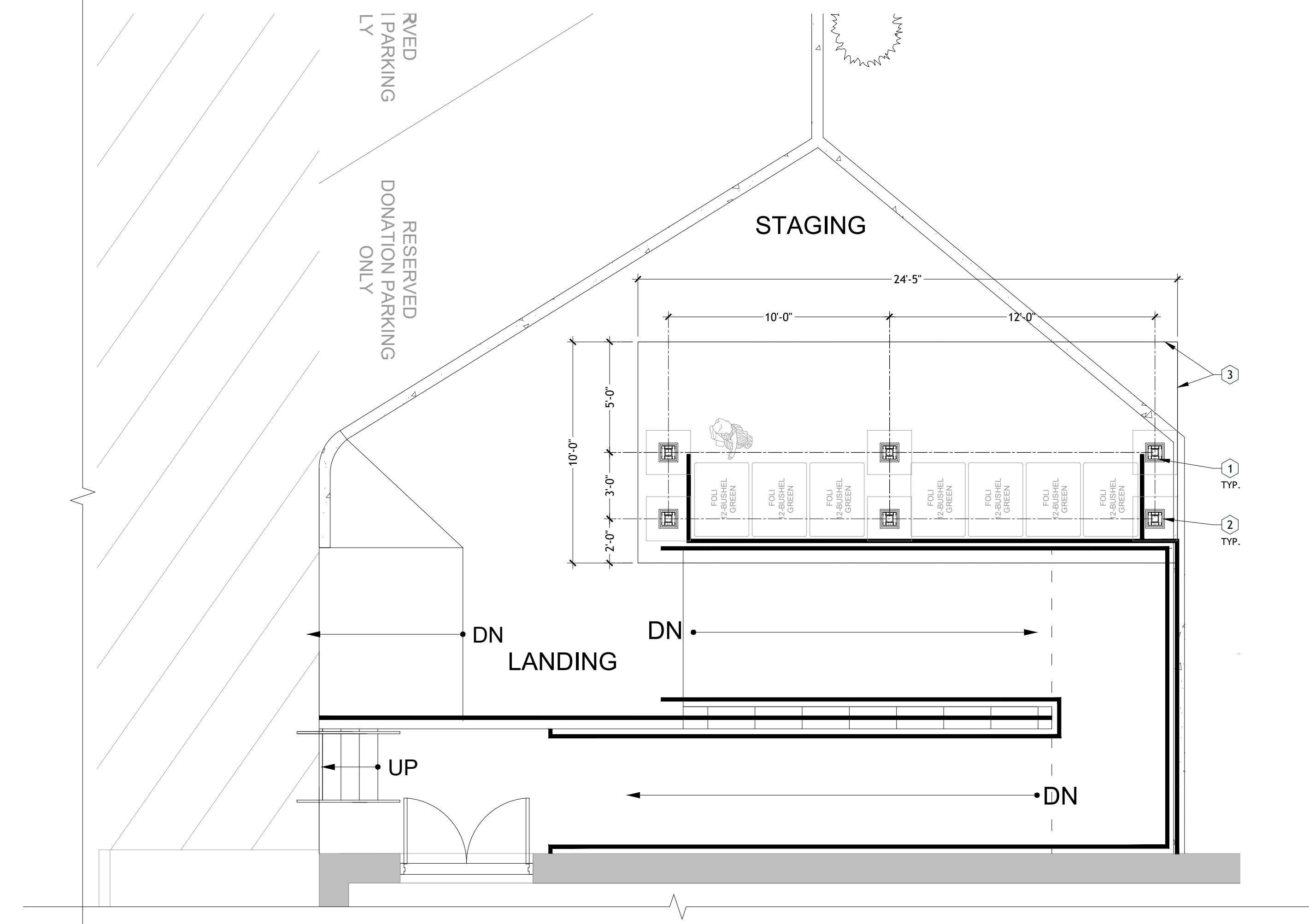
Sheet Number
A04.1

- DESCRIPTION:**
- (N) STEEL COLUMN.
 - (N) THIN BRICK FINISH (UP TO 48" A.F.F.) OVER 3/4" PLYWOOD WITH STEEL STUD FRAMING.
 - (N) CANOPY.

PROPOSED CANOPY KEY NOTES

NO SCALE

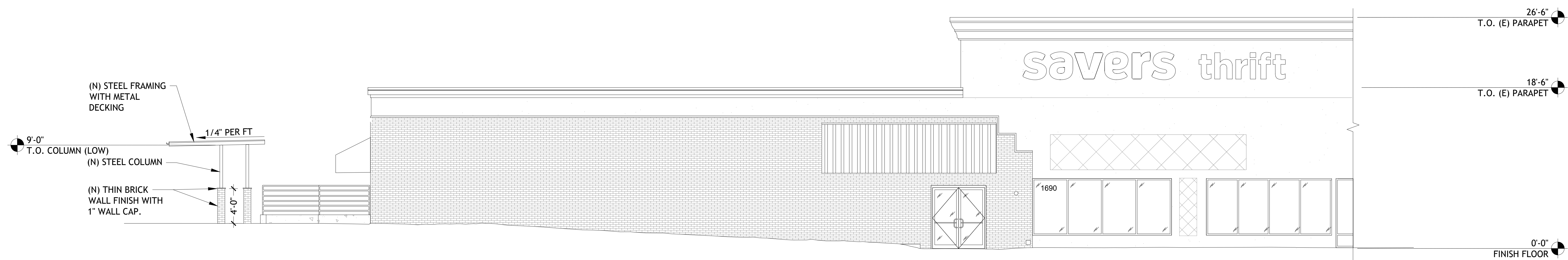
04



ENLARGED PARKING & RAMP - PROPOSED

1/8" = 1'-0"

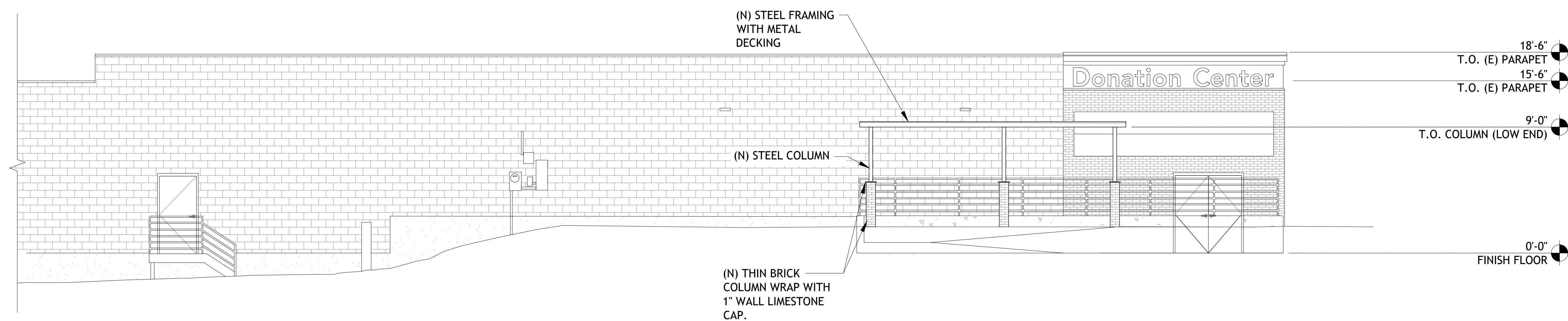
07



EXTERIOR ELEVATION - NORTHWEST VIEW - FRONT OF BUILDING

1/8" = 1'-0"

02



EXTERIOR ELEVATION - SOUTHWEST VIEW - REAR OF BUILDING

1/8" = 1'-0"

01



AGENDA ITEM #5

**STAFF REPORT
CONDITIONAL USE NO. CU-2026-11
LIQUOR SALES
3881 MEXICO ROAD**

**MAY 11, 2026
BY MADELYN P. BROWN**

APPLICANT: SuperTarget Liquor of Missouri, Inc
1000 Nicollet Mall, TPS-3010
Minneapolis, MN 55403

OWNER: Target Corporation
1000 Nicollet Mall, TPS-3010
Minneapolis, MN 55403

ADDRESS/LOCATION: 3881 Mexico Road
Ward 6

LOT SIZE: Approx. 123,788 square feet (tenant space)

CURRENT ZONING: C-3 Highway Business District

PROPOSED USE: Liquor Sales associated with a permitted retail

SUMMARY/ANALYSIS

This request is for liquor sales specifically associated with an existing retail use (Target) located at 3881 Mexico Road. The property is zoned C-3 Highway Business District. City Ordinance requires approval of a Conditional Use Permit within this zoning district for establishments that apply for a Liquor License. This request is specific to the liquor sales only and is not applicable to the other uses permitted by right within the referenced zoning district.

The existing Target store provides a variety of products, including; clothing, electronics, household essentials, groceries, etc. The applicant is requesting the addition of liquor sales use to provide packaged beer, wine, and liquor. The hours of operation 8:00 a.m. to 8:00 p.m., seven days a week. The applicant has provided photos of the property with this application, and these are included with this report.

Consistency with Comprehensive Plan

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density

development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

This property is located closest to Activity Center #4 (I-70/Cave Springs Interchange). The proposed liquor license at this location associated with a permitted use can be compatible with its commercial/residential surroundings along West Clay.

Consistency with Conditional Use Standards

Section 400.980 of the City Code outlines standards of review for the conditional use application. The standards are as follows:

- a) How the proposed conditional use (the use in general) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.
- b) Whether the proposed conditional use (in its proposed location) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.

Regarding a) and b), Conditional Uses are not allowed by-right as they can be problematic if not located and/or conditioned properly. In this case, the proposal is located at 3881 Mexico Road, closest to Activity Center #4. This intensity pattern is consistent with the goals of the Comprehensive Plan, and the proposed use at this location could operate in conformance with the density, intensity, and activity guidelines provided above.

- c) Whether the proposed conditional use, in its proposed location and as depicted on the required site plan, results in a substantial or undue adverse impact on the adjacent property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions and policies of the Zoning Ordinance, Comprehensive Plan, or any other plan, program, or ordinance adopted or under consideration pursuant to official notice by the city.

Based upon a review of the proposed land uses, if conditioned properly and operated in compliance with the Zoning Ordinance, the proposal should not have an adverse impact on the character of the neighborhood, public safety and general welfare of the city.

- d) Whether the proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property as directed by the Comprehensive Plan.

Staff believes the existing retail with a liquor sales use as proposed can be compatible within its commercial/residential surroundings and should not produce negative effects to

adjacent properties or the neighborhood. Staff believes this use will operate in a manner that is consistent with the area.

- e) Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

Staff believes the proposed conditional use in this location will not have an undue burden on public services as this proposal has been reviewed by Community Development, Finance, and Fire Departments with no outstanding comments.

- f) Whether the public benefits of the proposed conditional use outweigh the potential adverse impacts of the proposed conditional use as identified above, after taking into consideration any proposal by the petitioner and any requirements recommended by the petitioner and/or City Staff to ameliorate such impacts.

After review of the proposal, and the above standards for evaluating Conditional Uses, staff believes the proposed use if conditioned properly would prevent any potential adverse impacts and the public benefits would outweigh any potential adverse impacts.

Furthermore, the City Code allows the Planning and Zoning Commission to recommend conditions of approval to protect surrounding properties, as well as to give consideration with respect to location in the recommendations. The proposed use complies with the above standards.

Consistency with Chapter 600 (Alcoholic Beverages)

Section 600.280 of the City Code outlines limitations on granting a liquor license. Specifically subsection (C) states the following:

“No liquor license or restaurant liquor license shall be granted to any person for any premises if the property line of the premises sought to be licensed is less than three hundred (300) feet from the property line of any property used as a hospital, school or church, from the property line of any property in a residential zoning district, any residential land use in the "HCD" zoning district, or in the O-I zoning district, unless the applicant for the license shall first obtain the consent of the City Council. Such consent shall not be granted until at least ten (10) days' written notice has been provided to all owners of property within three hundred (300) feet of the proposed licensed premises.”

The subject property is in close proximity to multiple, single-family residential developments along Old Muegge Road. Because of this adjacency, the notification provisions of Section 600.280(C) are applicable. However, since a Conditional Use Permit is associated with a public hearing, and all property owners within 300 feet of the subject property are notified 15 days prior to the hearing, this notification process constitutes compliance with the above-mentioned code section. Therefore, the requirements of Chapter 600 related to notification of surrounding property owners are satisfied through the City's Conditional Use Permit process.

STAFF RECOMMENDATION

This conditional use can operate in conformance with City requirements, is compatible with surrounding land uses and complies with the Comprehensive Plan of the City of St. Charles. Staff

recommends **approval** of the proposed conditional use for a liquor sales associated with a permitted retail use subject to the following conditions:

1. This conditional use permit for a liquor sales associated with a retail use is issued to the applicant (SuperTarget Liquor of Missouri, Inc) and business (Target) only for the property located at 3881 Mexico Road and is not transferable to another location and/or tenant/business.
2. Approval of this Conditional Use is not approval of a liquor license. A liquor license shall be approved by the City Council prior to any liquor sales.
3. Liquor sales shall not occur independent of the primary business use and shall only be accessory to the submitted retail use.
4. Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.
5. Violations of Chapter 600 dealing with Liquor/Alcoholic Beverages may be grounds for revocation of this Conditional Use.

Recommended Motion:

Motion to forward the Conditional Use Permit application for a Liquor Sales associated with a permitted retail use at 3881 Mexico Road to the City Council with a favorable recommendation, subject to the conditions recommended by staff.

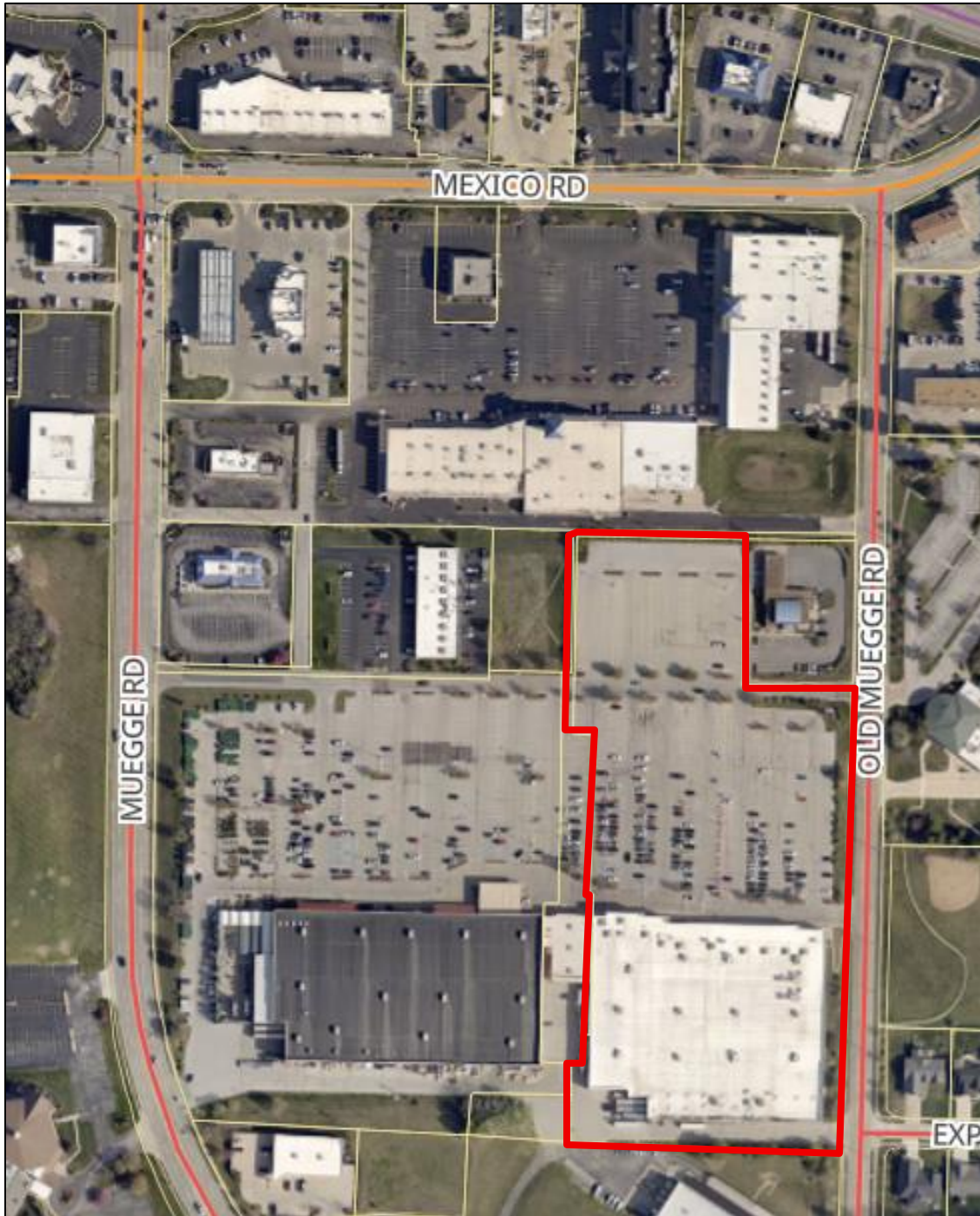


Figure 1: Aerial photo of the subject site.



AGENDA ITEMS #6 & 7

Memorandum

To: Planning & Zoning Commission

From: Lara Berry, Planner

Date: May 6, 2026

Subject: Z-2026-10 & CU-2026-12 – Request to Table

The applicant has requested to **TABLE** these applications to the June 8, 2026 Planning & Zoning Commission meeting.



AGENDA ITEMS #8 & 9

**STAFF REPORT
ZONING NO. Z-2026-09
SITE PLAN NO. SP-2026-06
2451 HIGHWAY B**

LEGACY FARMS PARK

**MAY 11, 2026
BY MADELYN P. BROWN**

APPLICANT: SWT Design
7722 Big Bend Boulevard
St. Louis, MO 63119

OWNER: City of Saint Charles
200 N 2nd Street
St. Charles, MO 63301

ADDRESS/LOCATION: 2451 Highway B
Ward 8

LOT SIZE: 97.38 Acre Tract (overall)

PROPOSED ZONING: “A” Agricultural District

SURROUNDING ZONING:

Direction	Zoning	Use
North	County A	Agricultural
South	PD-R	Residential
East	County I2	Residential
West	R-1C	School

REQUEST

The applicant has submitted two (2) applications for a new City of St. Charles Park (Legacy Farms Park), located at 2451 Highway B.

1. An application to establish the zoning for a 97.38 acre tract of land, to the City of St. Charles “A” Agricultural District.
2. Site plan application for Phase 1 of a new City of St. Charles Park, Legacy Farms Park.

This report will address/analyze both applications. The subject property is located in Ward 8, on the north side of Highway B.



Figure 1: Aerial view of subject property.

ESTABLISHMENT OF ZONING ANALYSIS

The City has received an application to establish an “A” Agricultural District Zoning for the property at 2451 Highway B.

Background

In 2021, approximately 195 acres were annexed into the City of St. Charles through Ordinance 21-047, in coordination with the Orchard Farm School District, with the understanding that zoning and site plan approvals would follow. In March and April 2021, zoning establishment and site plan approval took place (Z-2021-01 and SP-2021-11) for only 96.9 acres of the property, which was zoned to R-1C Single-Family Residential for the school site.

In August 2022, Ordinance 22-110 approved a Record Plat dividing the site into two lots (school and park). While the plat shows the entire property (about 195 acres) as zoned, staff research indicates that only the school was formally zoned, and no Establishment of Zoning was completed for the remaining approximately 97.38 acre City-owned park tract, despite the plat labeling the full site as R-1C. As a result, an establishment of zoning application is required at this time for the subject parcel.

Analysis

The subject parcel is surrounded by a mix of residential and agricultural zoning/uses. While the properties in the immediate surrounding area are almost entirely residential, the greater surrounding area to the north remains agricultural. Additionally, this parcel functions as a transitional buffer between city-zoned residential subdivisions and county agricultural parcels. This area of northern St. Charles City has historically consisted of agricultural uses/zoning. That being said, the City-zoned “A” District is appropriate for the subject parcel, as it reinforces this established pattern and provides separation between these two areas.

“A” Agricultural Land Uses

Despite this approval being specific to the park use, all uses of the “A” Agricultural zoning district would be applicable at this location if this rezoning were to be approved. The uses specific to the “A” district are listed in the chart, below (proposed land use is highlighted for convenience).

Permitted Uses	Accessory Uses	Conditional Uses	Conditional Uses, Cont.
Agricultural Activities	Construction Office	Airports/Landing Fields	Exposition Center
Educational Facilities	Dwelling Unit for Guests	Archery Range	Golf Courses
Greenhouse	Fertilizer Storage	Cemetery	Hospital/Congregate Care
Parks	Garage, private	Temporary Circus/Carnival/Zoo	Livestock Auction
Reservoirs	Garden House	Day Camp/Campgrounds	Racetrack
Single-Family Dwellings	Grain Storage	Day Care Facilities	Radio Television Tower
Wildlife Reservations	Home Occupations	Dog Kennels	Recreational Uses
Telecommunication Antenna	Marinas/Boat Docks	Educational Institutions	Sports Arenas/Stadiums
	Boat Trailer/Camper/Boat Storage	Excavation	Asphalt/Concrete Batching (no more than two years)
		Exposition Center	Warming/Cooling Centers
		Golf Courses	

Table 1: “A” Agricultural District uses (highlighted is the intended land use)

Based on a review of the permitted and conditional land uses within the “A” district, as well as the zoning designations of the surrounding area, the proposed rezoning is considered appropriate.

The proposed “A” zoning designation represents a lower-intensity classification and as a whole, would not introduce uses that are incompatible with the existing character of the area. Any uses of greater intensity would require the approval of a conditional use permit. This additional review would allow the City and residents to evaluate the use on a case-by-case basis to determine the appropriateness. Specific conditions may be placed on a conditional use approval to guarantee the

use will operate in conformance with the general area. As such, the requested rezoning is not anticipated to negatively impact the surrounding area.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

The subject property is located closest to Activity Center # 19 (North City). This Activity Center is intended to support a mix of residential and agricultural uses. Additionally, the implementation of the park is aligned with the Northern Growth area goals. After review, The Department of Community Development finds that the proposed rezoning is consistent with the adopted Comprehensive Plan.

SITE PLAN ANALYSIS

In addition to the above request, the applicant is proposing to develop a City Park on the overall 97.38 acre tract of land. This will be the first phase of the park development over multiple years.

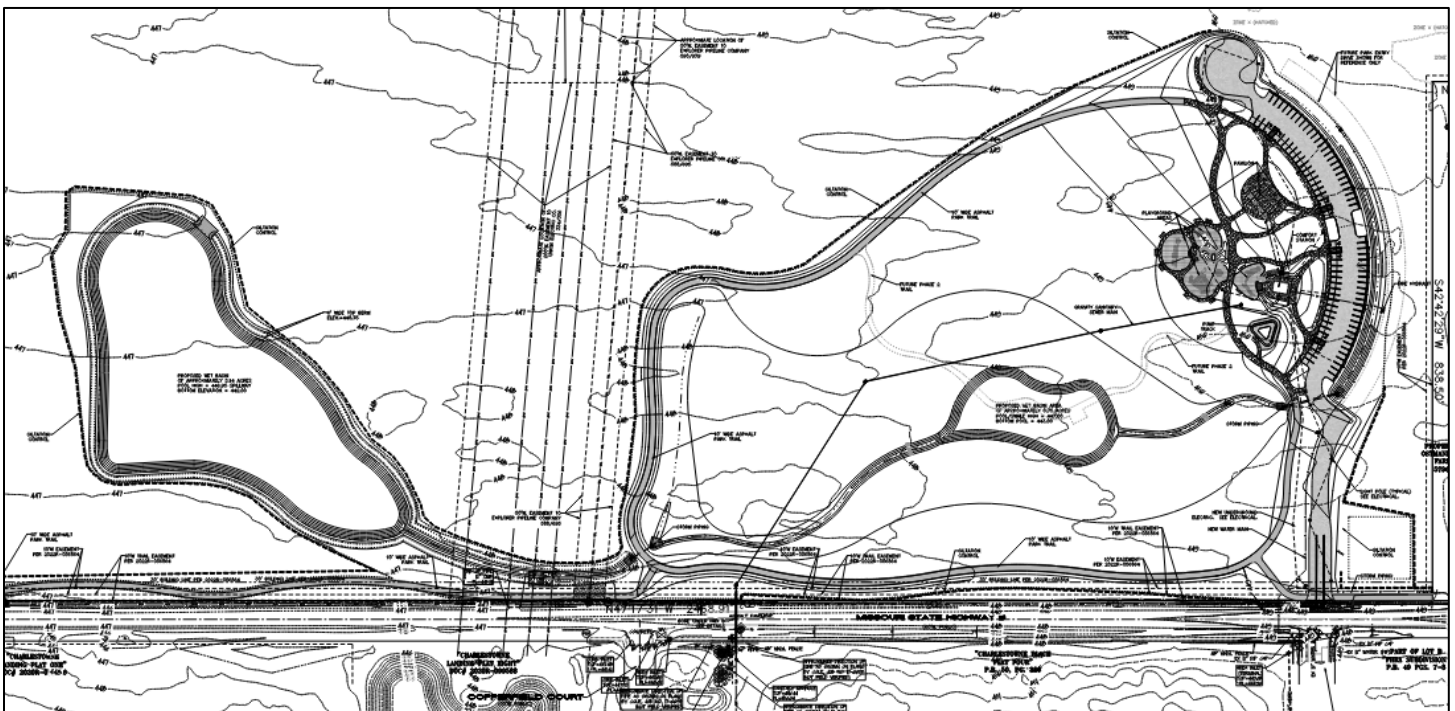


Figure 2: Submitted site plan.

Site Overview

Phase One includes development of 25.39 acres of the overall tract, located at the southern portion of the parcel. The submitted site plan includes a parking area at the entrance of the site. Adjacent to the parking area, to the west, several amenities are present. These amenities include a playground area, pavilion, pump track, and comfort station.

A ten (10) foot wide asphalt trail has two (2) points of access from the northern and southern end of the parking lot. Two (2) additional access points are available from the Highway B frontage, at the entrance to the park and from a connection point from an existing sidewalk at the western side of the lot. The trail will stretch the entire length of the southern portion of the parcel. Additionally, two (2) wet basin areas are proposed within the trail areas for water mitigation.

Buildings/Elevations

In addition to the playground equipment, two structures are proposed for Phase One: a pavilion and comfort station. The comfort station is approximately 516 square feet and is to be comprised of CMU block and metal paneling with a seam metal roof. The structure will include three family restrooms and a storage space. With the overhang, the pavilion is to cover an approximately 2,581 square foot area. It will consist of metal framing and a seam metal roof.

While these structures do not include masonry materials, staff finds the structures to be good design and consistent with park use. The Planning and Zoning Commission may further discuss the appropriateness of the materials.



Figure 3: Comfort station elevation.

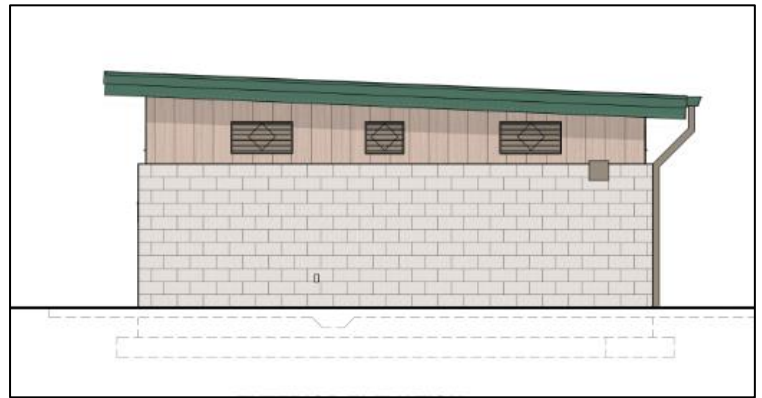


Figure 4: Comfort station elevation.

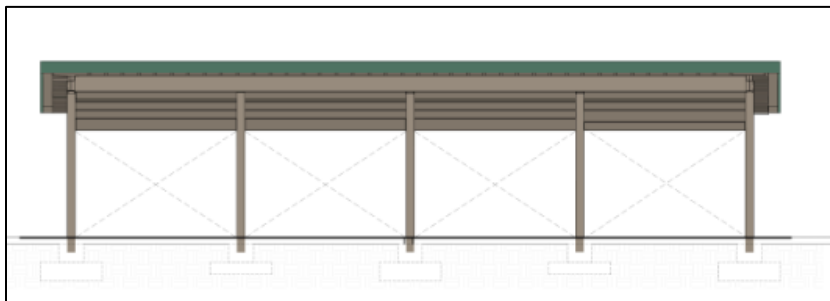


Figure 5: Pavilion elevation.

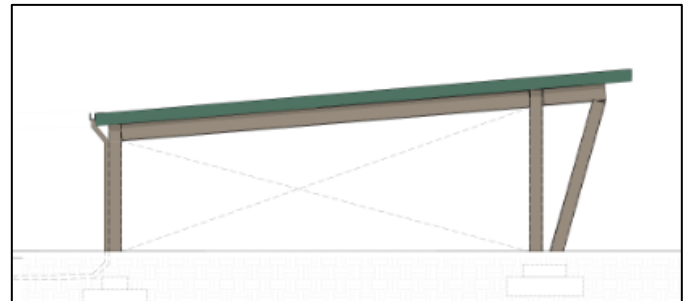


Figure 6: Pavilion elevation.

Transportation (access) & Parking

As part of the proposal, the submitted site plan has one (1) access point. This access point is located at the southeastern perimeter of the site, from Highway B. The applicant has received review and approval from MODOT for the new access point.

Based on Engineering review, a traffic impact study is not required for this development. It is the opinion of the Engineering Department and Planning Staff that adequate traffic measures have been provided. No additional concerns have been documented.

As discussed above, a parking lot area has been provided and compliant with the City parking standards. The proposed plan includes 84 standard spaces with an additional 8 accessible spaces, for 92 spaces in total. Parking shall be located within a paved and striped parking space as designated on the submitted site plan. Additionally, drive aisles adjacent to 90 degree parking maintain aisle widths meeting the minimum requirement of 26.5'.

Landscaping & Lighting

Trees and bushes are proposed around the parking and amenity areas of the site. The landscaping provided meet all City of St. Charles landscape standards. Per the site plan, these plantings are native and drought resistant, so no irrigation is required.

The applicant has testified that any lighting will adhere to City of Saint Charles regulations to be shielded to direct light straight down, other than architectural accent lighting. A photometric plan will be provided at the time of building permits. A condition has been placed on the approval to verify such.

Furthermore, the City Code allows the Planning and Zoning Commission to recommend conditions of approval to protect surrounding properties, as well as to give consideration with respect to location and site plan in the recommendations.

STAFF RECOMMENDATION

Z-2026-09:

After review of the zoning request and area development patterns, staff believes the requested rezoning is justified. The Department of Community Development recommends that the zoning request be forwarded to the City Council with a favorable recommendation.

SP-2026-06:

Staff recommends approval of application SP-2026-06, subject to the following conditions:

1. Site Plan shall be null and void if the establishment of zoning (Z-2026-09) is not approved by the City Council.
2. A photometric plan shall be provided upon application for building permits.

Recommended Motions:

1. *Motion to forward application Z-2026-09 to the City Council with a favorable recommendation.*
2. *Motion to approve application SP-2026-06.*

LEGEND:

	FLARED END SECTION		SIGN
	CURB/AREA INLET		POWER POLE
	DOUBLE CURB/AREA INLET		GUY WIRE
	STORM SEWER MANHOLE		BOLLARD
	SANITARY SEWER MANHOLE		UTILITY BOX
	WATER MANHOLE		TRAFFIC SYMBOL
	PIPELINE MARKER		TREE
	FIBER OPTIC MARKER		BUSH
	CABLE TV BOX		BENCHMARK
	ELECTRIC BOX		BORE HOLE
	STREET LIGHT BOX		GRAVEL
	TRAFFIC CONTROL BOX		CONCRETE
	TELEPHONE CABLE PEDESTAL		FIRE HYDRANT
	TELEPHONE BOX		— W — BURIED WATER
	GAS VALVE		— T — BURIED TELEPHONE
	WATER VALVE		— SAN — SANITARY SEWER
			— FO — FIBER OPTIC
			— #92 — EXISTING CONTOUR
			— 632 — PROPOSED CONTOUR
			HOPE HIGH DENSITY POLYETHYLENE PIPE STANDARDS
			— UEG — BURIED ELECTRIC
			— OHW — OVERHEAD UTILITIES
			— GAS — BURIED GAS
			— X — FENCE

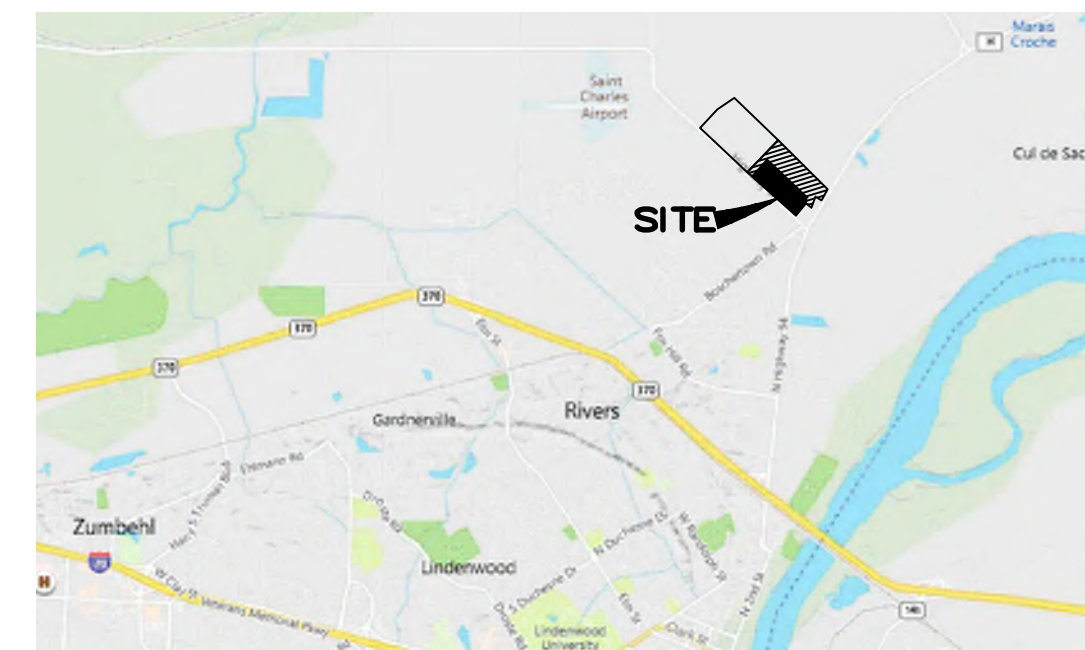
A SITE PLAN FOR LEGACY FARMS PARK PHASE ONE

2451 HIGHWAY B

A TRACT OF LAND BEING ALL OF LOT 2 OF "ORCHARD FARM PARK" DOC NO. 2022R-056864 TOWNSHIP 47 NORTH, RANGE 5 EAST CITY OF ST. CHARLES ST. CHARLES COUNTY, MISSOURI

SHEET INDEX:

C-1	CIVIL COVER SHEET
C-2	OVERALL SITE PLAN
C-3	PARTIAL SITE PLAN
C-4	PARTIAL SITE PLAN
C-5	PARTIAL SITE PLAN
C-6	PARTIAL SITE PLAN
C-7	PARTIAL SITE PLAN
C-8	PARTIAL GRADING PLAN
C-9	PARTIAL GRADING PLAN
C-10	PARTIAL GRADING PLAN
C-11	PARTIAL GRADING PLAN
C-12	PARTIAL GRADING PLAN
C-13	SITE DETAILS



CITY OF ST. CHARLES GENERAL NOTES

- ALL IMPROVEMENTS CONSTRUCTED HEREIN SHALL COMPLY WITH THE CODE OF ORDINANCES OF THE CITY OF ST. CHARLES.
- IF PROPERTY IS GREATER THAN 1 ACRE, A LAND DISTURBANCE PERMIT FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES IS REQUIRED PRIOR TO COMMENCING ANY DEMOLITION, CLEARING OR CONSTRUCTION ON-SITE. PROVIDE COPY OF APPROVAL FROM THE DEPARTMENT OF NATURAL RESOURCES TO THE ENGINEERING DEPARTMENT.
- SILTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DIRECTED BY THE CITY ENGINEER. (CODE SECTION 510.090.A.2.)
- WHEN GRADING OPERATIONS ARE COMPLETED FOR MORE THAN 30 DAYS, PERMANENT GRASS MUST BE ESTABLISHED TO CONTROL EROSION. (CODE SECTION 510.090.A.4.A)
- ALL MUD AND DEBRIS FROM CONSTRUCTION SITE TO BE KEPT OFF OF CITY MAINTAINED STREETS. STREETS SHALL BE SWEEPED TWICE DAILY. (CODE SECTION 510.090.A.5)
- ADA ACCESSIBLE SPACES CANNOT HAVE A GRADE IN EXCESS OF 2% IN ANY DIRECTION. (CODE SECTION 350.397.B.4)
- ADA ACCESSIBLE RAMP AND RAMPS CANNOT HAVE A CROSS SLOPE IN EXCESS OF 2%.(CODE SECTION 350.397.B.4)
- ALL WATER MAIN CONSTRUCTION INCLUDING VALVES, SLEEVES, METERS, HYDRANTS AND FITTINGS MUST CONFORM TO CITY OF ST. CHARLES WATER SPECIFICATIONS.
- THE MINIMUM WATER MAIN SIZE IS EIGHT INCHES. (CODE SECTION 205.070.A.23.)
- EACH WATER SERVICE CONNECTION SHALL BE INDIVIDUALLY METERED. (MINIMUM DESIGN STANDARDS FOR MISSOURI COMMUNITY WATER SYSTEMS)
- MINIMUM SANITARY SEWER LATERAL SIZE IS SIX INCHES. (MSD RULES AND REGULATION AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY SEWER AND STORMWATER DRAINAGE FACILITIES)
- SANITARY SEWER LATERALS SHALL NOT CROSS A PROPERTY LINE AND MUST BE CONNECTED TO THE PUBLIC SANITARY SEWER SYSTEM IN CITY EASEMENT OR PUBLIC RIGHT-OF-WAY. (CODE SECTION 705.110.A.1.A.(2))
- ALL NEW SEWER LATERALS MUST HAVE CONDUCTIVE TYPE PIPE LOCATOR/TRACER WIRE SHALL BE INSTALLED TO LOCATE ALL SEWER LATERALS. THE COLOR OF THE TRACER WIRE SHALL BE GREEN. ALL WORK SHALL CONFORM TO CITY STANDARDS. (MISSOURI STATE STATUTE 319.033)
- WHEN A SANITARY SEWER LATERAL CROSSES OVER A WATER LINE, A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE PROVIDED. IF THIS CLEARANCE IS NOT POSSIBLE, THEN EITHER THE WATER LINE OR THE SEWER LINE SHALL BE CONSTRUCTED OF MECHANICAL JOINT PIPE OR CASED IN CONTINUOUS CASING UNTIL THERE IS A 10' HORIZONTAL CLEARANCE BETWEEN THE TWO LINES.
- ALL SANITARY SEWER CONSTRUCTION MUST CONFORM TO THE LATEST VERSION OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT'S STANDARDS AND SPECIFICATIONS.
- ALL STREETS SHALL BE A MINIMUM SEVEN (7) INCHES CONCRETE (NON-REINFORCED) ON FIVE (5) INCHES MODIFIED TYPE 5 AGGREGATE BASE ON PREPARED SUBGRADE. (CODE SECTION 405.240.A.3)
- SIDEWALKS, NOT PART OF AN APPROACH, SHALL BE FIVE (5) FEET WIDE, FOUR (4) INCHES CONCRETE (NON-REINFORCED) ON FOUR (4) INCHES MODIFIED TYPE 5 AGGREGATE BASE ON PREPARED SUBGRADE. (CODE SECTION 505.280, ST. LOUIS COUNTY DEPARTMENT OF TRANSPORTATION DRAWING C608.43)
- LOWABLE FILL SHALL BE USED FOR ALL BACKFILL ON SEWER TRENCHES THAT ARE UNDER CITY STREETS, FROM THE TOP OF THE BEDDING MATERIAL (6 INCHES ABOVE THE PIPE) TO THE SURFACE, OR TO WITHIN ONE FOOT OF GRADE IN LANDSCAPED AREAS. (CODE SECTION 510.280.4.A.(1))
- GRANULAR BACKFILL SHALL BE USED FOR BACKFILL ON SEWER TRENCHES UNDER PROPOSED PAVED AREAS, AND TWO FEET OUTSIDE PROPOSED PAVED AREAS, FROM THE TOP OF THE BEDDING MATERIAL (SIX INCHES ABOVE THE PIPE) TO THE SURFACE OR WITHIN ONE FOOT OF GRADE IN LANDSCAPED AREAS. (CODE SECTION 510.280.A.4.B.(3))
- FLOWABLE FILL IS REQUIRED FOR ALL BACKFILL WITHIN WATER LINE TRENCH UNDER PAVED AREAS.
- EARTH BACKFILL (MEETING MSD STANDARDS) MAY BE USED OUTSIDE OF PAVED AREAS, FROM THE TOP OF THE BEDDING MATERIAL TO THE SURFACE. EARTH BACKFILL SHOULD BE PLACED IN A MAXIMUM 8-INCH LODES LIFTS AND SHALL BE MECHANICALLY COMPACTED TO A MINIMUM DENSITY OF 95% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 90% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99.
- ALL STORM SEWER DESIGN IS TO CONFORM TO THE CITY OF ST. CHARLES DESIGN REQUIREMENTS. (CODE SECTION 510.290)
- ALL STORM SEWER CONSTRUCTION IS TO BE PER THE LATEST EDITION OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT (MSD) STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES. (CODE SECTION 510.280)
- FOR NEW SUBDIVISIONS ONLY: ALL JETTING SHALL BE PERFORMED WITH A PROBE ROUTE ON NOT GREATER THAN 7.5-FOOT CENTERS WITH THE JETTING CENTER OVER AND PARALLEL WITH THE DIRECTION OF THE PIPE. TRENCH WIDTHS GREATER THAN 10 FEET WILL REQUIRE MULTIPLE PROBES EVERY 7.5- FOOT CENTERS. TRENCH BACKFILL DEPTHS LESS THAN 8 FEET IN DEPTH SHALL BE PROBED TO A DEPTH EXTENDING TO HALF OF THE TRENCH BACKFILL, BUT NOT LESS THAN 3 FEET. TRENCH BACKFILL GREATER THAN 8 FEET IN DEPTH SHALL BE PROBED TO HALF THE DEPTH OF THE TRENCH BACKFILL BUT NOT GREATER THAN 8 FEET. JETTING SHALL BE PERFORMED FROM THE LOW SURFACE TOPOGRAPHIC POINT AND PROCEED TOWARD THE HIGH POINT, AND FROM THE BOTTOM OF THE TRENCH BACKFILL TOWARDS THE SURFACE. THE FLOODING OF EACH JETTING PROBE SHALL BE STARTED SLOWLY ALLOWING SLOW SATURATION OF THE SOIL. WATER IS NOT TO BE ALLOWED TO FLOW AWAY FROM THE DITCH WITHOUT FIRST SATURATING THE TRENCH. CONTRACTOR SHALL IDENTIFY THE LOCATIONS OF SURFACE BRIDGING (THE TENDENCY FOR THE UPPER BACKFILL CRUST TO ARCH OVER THE TRENCH RATHER THAN COLLAPSE AND CONSOLIDATE DURING THE JETTING PROCESS). THE CONTRACTOR SHALL BREAK DOWN THE BRIDGED AREAS USING AN APPROPRIATE METHOD SUCH AS THE WHEELS OR BUCKET OF A BACKHOE. WHEN THE SURFACE CRUST IS COLLAPSED, THE VOID SHALL BE BACKFILLED WITH THE SAME MATERIAL WITHIN THE SUNKEN/JETTED AREA SHALL BE COMPACTED SUCH THAT NO FURTHER SURFACE SUBSIDENCE OCCURS. (CODE SECTION 510.280)
- ALL SANITARY AND STORM PIPE JOINTS AND JOINTS ON NEW STRUCTURES SHALL USE CITY APPROVED RUBBER COMPRESSION TYPE JOINTS. WATER STOPS ARE REQUIRED AT ALL POINTS OF CONNECTION NOT USING RUBBER COMPRESSION TYPE JOINTS SUCH AS CONNECTIONS TO EXISTING STRUCTURES. (CODE SECTION 510.280.6)
- ALL SANITARY AND STORMWATER SEWER STRUCTURE JOINTS WILL BE WRAPPED WITH GRETEX MANHOLE JOINT WRAP, MAR MAC SEAL WRAP OR APPROVED EQUAL.
- CONCRETE COVERS ON STRUCTURES WILL NOT BE ALLOWED. ONLY CAST IRON COVERS ARE PERMITTED. (CODE SECTION 510.280.5)
- BRICK STORM AND SANITARY STRUCTURES WILL NOT BE ALLOWED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO PROVIDE TRAFFIC CONTROL PER THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99.
- ALL FILLED PLACES IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP TO 90% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- GRADES CANNOT EXCEED A 3:1 SLOPE. (CODE SECTION 510.090.A.1.)
- ALL COMMERCIAL PROPERTIES ARE TO HAVE IRRIGATION SYSTEMS OR SUBMIT A LANDSCAPE PLAN SIGNED AND SEALED BY A MISSOURI-REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST THAT THE LANDSCAPE IS DROUGHT TOLERANT. (CODE SECTION 400.965)

CITY OF ST. CHARLES GENERAL NOTES

- CONSTRUCTION ACTIVITIES SHALL ABIDE BY THE NOISE RESTRICTIONS AS OUTLINED IN CODE CHAPTER 230.
- FOR ALL SANITARY SEWERS WITHIN THE RIGHT OF WAY, A CLEAN OUT SHALL BE PROVIDED, IN THE RIGHT OF WAY, WITHIN ONE (1) FOOT OF THE PROPERTY SERVED, AND IN ADDITION TO ANY REQUIRED FOR ADHERENCE TO THE PLUMBING CODE. ALL WORK TO CONFORM TO CITY STANDARDS.
- LIGHTING SHALL PROVIDE 0.25 FOOT-CANDLES IN PARKING LOTS AND 0.50 FOOT-CANDLES AT ENTRANCES AND APPROACHES. (CODE SECTION 400.700.F.2.)
- THE MINIMUM REQUIREMENT FOR STREET LIGHTING FACILITIES SHALL BE ONE (1) LIGHT EMITTING DIODES LIGHT AT EACH STREET INTERSECTION, BUT NOT FURTHER APART THAN ONE HUNDRED FORTY-FIVE (145) FEET WITHIN OR ADJUTING THE SUBDIVISION TO MAINTAIN A MINIMUM OF FOUR TENTHS (0.4) FOOT-CANDLE LIGHTING PATTERN THROUGHOUT. (CODE SECTION 405.240.E.)
- STREET LIGHTS, SIGN POSTS, ETC. SHALL BE LOCATED AT LEAST FIVE FEET FROM DRIVEWAYS AND TEN FEET FROM FIRE HYDRANTS.
- WHENEVER POSSIBLE, "NO PARKING" ZONES ARE TO BE LOCATED ON THE SAME SIDE OF THE ROADWAY AS FIRE HYDRANTS.

GRADING/SEDIMENT & EROSION CONTROL NOTES

- ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
- UPON COMPLETION OF STORM SEWERS, SILTATION CONTROL SHALL BE PROVIDED AROUND ALL OPEN SEWER INLETS AND SHALL REMAIN UNTIL THE DISTURBED DRAINAGE AREAS HAVE BEEN PROPERLY STABILIZED.
- CONTRACTOR TO SUPPLY CITY OF ST. CHARLES INSPECTOR WITH COPIES OF THE COMPACTION TEST REPORTS.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN). EROSION CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF ST. CHARLES. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR CITY OF ST. CHARLES MAY, AT THEIR OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILTS OR MUD ONTO NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF ST. CHARLES.
- INSPECTION OF SILTATION CONTROL DEVICES SHALL TAKE PLACE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY ONE QUARTER (1/4) INCH PER 24 HOUR RAIN EVENT.
- ANY SILTATION CONTROL IN NEED OF REPAIR SHALL BE FIXED IMMEDIATELY.
- SILT FENCES SHALL BE INSTALLED IMMEDIATELY AROUND EACH STORM SEWER STRUCTURE ONCE FINAL CONSTRUCTION OF EACH INDIVIDUAL STRUCTURE IS COMPLETE.
- ALL SILTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SCHEDULE IMPLEMENTATION

- CONSTRUCTION ENTRANCE IS SHOWN. ACTUAL FIELD LOCATION TO BE USED AND MAINTAINED AS REQUIRED FOR ACCESS.
- THE CONTRACTOR SHALL:
 - INSTALL ALL PERIMETER SILTATION CONTROL.
 - STRIP TOPSOIL AND STOCKPILE FOR FINAL GRADING.
 - REMOVE ANY UNSUITABLE SOILS AS DETERMINED BY THE GEOTECHNICAL ENGINEER. RECOMPACT SOILS AS REQUIRED UNDER THEIR DIRECTION.
 - PLACE COMPACTED BASE MATERIAL FOR STORM SEWERS/SANITARY.
 - INSTALL STORM SEWERS/SANITARY AND GRANULAR BACKFILL WHERE REQUIRED.
 - GRADE SITE AND PLACE ANY TEMPORARY DRAINAGE SWALES AS REQUIRED.

SILTATION CONTROL DEVICE MAINTENANCE

- SILT CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH 1/4" RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILTATION CONTROL.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SUCH SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL.
- REFER TO THE VEGETATIVE ESTABLISHMENT TABLE BELOW ON SEEDING RATES TO BE USED UNLESS OTHERWISE INDICATED ON THE LANDSCAPING SHEETS DONE BY SWT DESIGN.

VEGETATIVE ESTABLISHMENT
For Urban Development Sites
APPENDIX A

Seeding Rates:	
Permanant:	
Tall Fescue	~ 30 lbs./ac.
Smooth Brome	~ 20 lbs./ac.
Combined Fescue	~ 15 lbs./ac. and Brome ~ 10 lbs./ac.
Temporary:	
Wheat or Rye	~ 150 lbs./ac.
Oats	~ 120 lbs./ac.
Seeding Periods:	
Fescue or Brome	~ March 1 to June 1
Wheat or Rye	~ August 1 to October 1
Oats	~ March 15 to September 15
Mulch Rates: 100 lbs. per 1,000 sq. feet (4,356 lbs. per acre)	
Fertilizer Rates:	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*

* ENM = effective neutralizing material as per State evaluation of quarried rock.

STORM WATER POLLUTION PREVENTION PLAN

- PURPOSE:
 - THE PURPOSE OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS TO INFORM THE DEVELOPER/CONTRACTOR OF THE FOLLOWING OBJECTIVES THEY ARE REQUIRED TO MEET:
 - PREVENT EROSION WHERE CONSTRUCTION ACTIVITIES SHALL OCCUR.
 - PREVENT POLLUTANTS FROM MIXING WITH STORM WATER.
 - PREVENT POLLUTANTS FROM BEING DISCHARGED BY TRAPPING THEM ON-SITE, BEFORE THEY CAN AFFECT THE RECEIVING WATERS.
 - ALL REGULATIONS OF MISSOURI DEPARTMENT OF NATURAL RESOURCES ARE MET.
 - ALL REGULATIONS OF THE ENVIRONMENTAL PROTECTION AGENCY ARE MET.
 - ALL REGULATIONS OF THE LOCAL MUNICIPALITY ARE MET.
- PROJECT DESCRIPTION:
 - THE PROJECT IS LOCATED IN BOTH THE MISSOURI RIVER AND MISSISSIPPI RIVER TRIBUTARY WATERSHED IN ST. CHARLES COUNTY, MISSOURI. THE PROJECT DISTURBS APPROXIMATELY 24.19 ACRES OF THE 97.38 ACRE PARK.
 - THE PROJECT ACTIVITIES CONSIST OF A CONSTRUCTION FOR A NEW CITY PARK. THE SITE WILL BE PROTECTED BY THE VARIOUS EROSION PROTECTION MEASURES LISTED BELOW:
 - SILT SOXX: THE ENTIRE PERIMETER OF THE PROJECT THAT ALLOWS STORM WATER TO EXIT WILL HAVE SILT SOXX INSTALLED. DETAILS OF THESE DEVICES ARE DEPICED ON THE DETAIL PLANS PREPARED BY BAX ENGINEERING COMPANY, INC..
 - REVEGETATION: THE SITE WILL CONSIST OF VARYING GROUND SLOPES. UPON COMPLETION OF THE GRADING ACTIVITIES THE SLOPE PRONE TO EROSION WILL BE SEEDED AND STRAWED TO STABILIZE THE SLOPE AND PREVENT EROSION.
- MAINTENANCE AND INSPECTION:
 - REGULAR MAINTENANCE, WEEKLY INSPECTIONS OF THE PROJECT WILL INCLUDE: (A) THE REPAIR OF ANY SEDIMENT (SILT) FENCE AND/OR SILT SOXX BARRIERS DAMAGED OR OUT OF PLACE; (B) THE REMOVAL OF ANY ACCUMULATED TRASH AND/OR DEBRIS; AND (C) THE REMOVE OF ANY EXTERNALLY DEPOSITED WASTE MATERIALS.
 - PERIODIC INSPECTIONS: FOLLOWING EACH RAIN OF MORE THAN 0.25 INCH IN 24 HOURS, THE SITE WILL BE INSPECTED, AND ANY NECESSARY MAINTENANCE WILL BE PROVIDED FOR A PERIOD OF ONE YEAR FOLLOWING THE COMPLETION OF THE ABOVE REMEDIATION MEASURES. SUMMARIES OF THE MAINTENANCE AND THE INSPECTIONS WILL BE MAINTAINED AND SHALL BE KEPT AVAILABLE FROM THE OWNER. AN INSPECTION REPORT SHALL BE FILED AND KEPT ON SITE FOR EVERY INSPECTION. THE REPORT SHALL DETAIL THE FINDINGS OF THE INSPECTION AND IF ANY ACTION WAS REQUIRED. THE INSPECTION FORM NEEDS TO INCLUDE, NAME OF THE SITE, NAME OF THE INSPECTOR, PERMIT NUMBER, DATE OF INSPECTION, MAJOR OBSERVATIONS AND ACTIONS TAKEN TO CORRECT PROBLEMS AND THE SIGNATURE OF THE INSPECTOR. THE INSPECTION REPORTS NEED TO BE KEPT ON FILE BY THE PERMITTEE FOR THREE YEARS AFTER THE PROJECT IS COMPLETED.
 - THE FIELD INSPECTIONS WILL BE CONDUCTED IN A SYSTEMATIC MANNER TO MINIMIZE THE POSSIBILITY OF ANY SIGNIFICANT FEATURE BEING OVERLOOKED. A DETAILED CHECKLIST WILL BE DEVELOPED AND FOLLOWED FOR THE EXAMINATION. PARTICULAR ATTENTION WILL BE GIVEN TO DETECTING EVIDENCE OF EROSION, SLOPE INSTABILITY, UNDUJE SETTLEMENT, DISPLACEMENT, AND TILTING. PHOTOGRAPHS AND DRAWINGS WILL BE USED FREELY TO RECORD CONDITIONS IN ORDER TO MINIMIZE DESCRIPTIONS. THE FIELD INSPECTION WILL INCLUDE APPROPRIATE FEATURES AND ITEMS, INCLUDING POTENTIAL HAZARDS TO HUMAN LIFE OR PROPERTY.
 - THE CONDITION OF THE SLOPES AND VEGETATIVE COVER WILL BE EVALUATED AND EXAMINED FOR EROSION.
 - MEASURES WILL BE TAKEN TO PROMOTE THE GROWTH OF VEGETATION AND REPAIR OF DAMAGE CAUSED BY EROSION AND SEDIMENTATION. THE INSPECTION WILL ALSO PROVIDE RECOMMENDATIONS FOR MEASURES THAT NEED TO BE UNDERTAKEN IMMEDIATELY, BASED ON THE EXPERIENCE AND JUDGMENT OF THE INSPECTOR. NECESSARY FOLLOW UP INSPECTIONS WILL BE MADE AS NECESSARY TO VERIFY THAT ANY MAINTENANCE, ALTERATION, OR REPAIR MEASURES ARE ACCOMPLISHED BY METHODS ACCEPTABLE BY STANDARD ENGINEERING PRACTICE.

FEMA FLOOD NOTES:

WE HAVE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND IN ST. CHARLES COUNTY, MISSOURI, BY SCALING THE PROPERTY IN REFERENCE TO THE "FLOOD INSURANCE RATE MAP (FIRM), ST. CHARLES COUNTY, MISSOURI", PANEL 280 OF 525, MAP NUMBER 2918302280 H (COMMUNITY PANEL NUMBER, ST. CHARLES COUNTY 290315 0280 H, WITH AN EFFECTIVE DATE OF MARCH 9, 2021). BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT IS INDICATED TO BE WITHIN THE FOLLOWING ZONES: ZONE X OTHER FLOOD AREAS.

ZONE X OTHER FLOOD AREA IS DEFINED AS AREAS OF 0.2% CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT PHYSICAL, HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL OF THIS PROPERTY TO BE SUSCEPTIBLE TO FLOODING OR SUBJECT TO ANY FLOOD HAZARD HAS BEEN MADE. WE MAKE NO REPRESENTATION CONCERNING THE ACCURACY OF THIS FIRM PANEL WHICH INCLUDES A NOTE THAT, "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY IDENTIFY ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS."

SPILL AND SITE POLLUTION:

SHOULD AN ACCIDENTAL SPILL OCCUR REFER TO MATERIAL SAFETY DATA SHEETS. ANY SPILLS OF HAZARDOUS MATERIALS IN QUANTITIES IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (800-424-8802) AND MISSOURI DEPARTMENT OF NATURAL RESOURCES (573-634-2436). REPORTABLE SPILLS FOR PETROLEUM PRODUCTS IS GREATER THAN 50 GALLONS. ALL OTHER REPORTABLE HAZARDOUS MATERIALS AND THEIR QUANTITIES MAY BE FOUND ON THE WEB SITE AT HTTP://WWW.DNR.MO.GOV AND THE LOCAL NUMBERS (573-640-9750). FEDERAL LAW REQUIRES THE RESPONSIBLE PARTY TO REPORT ANY RELEASE OF OIL IF IT REACHES OR THREATENS A SEWER, LAKE, CREEK, STREAM, RIVER, GROUNDWATER, WETLANDS, OR AREA LIKE A ROAD DITCH, THAT DRAINS INTO THE ABOVE.

AN EMERGENCY SPILL KIT IS REQUIRED TO BE ONSITE.

UNMANNED AIRCRAFT SYSTEM (DRONE) NOTE

- THIS DRAWING CONTAINS TOPOGRAPHIC FEATURES AND PLANIMETRIC FEATURES THAT WERE GENERATED USING AN UNMANNED AIRCRAFT SYSTEM (UAS), COMMONLY KNOWN AS "DRONE" TECHNOLOGY. THE DATA COLLECTED FROM THE UAS WAS COMPILED INTO A GEOREFERENCED ORTHOMOSAIC OF AERIAL PHOTOGRAPHS USING PIX4D PHOTOGRAMMETRY SOFTWARE. A DATA POINT CLOUD WAS GENERATED USING SAID PIX4D PHOTOGRAMMETRY SOFTWARE. A LIDAR POINT CLOUD WAS ALSO GENERATED USING SAID PIX4D SOFTWARE. SAID GEOREFERENCED ORTHOMOSAIC, DATA POINT CLOUD, AND LIDAR POINT CLOUD WERE THEN USED TO GENERATE THE TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN HEREON.
- THE TYPE OF UNMANNED AIRCRAFT SYSTEM (UAS) THAT WAS UTILIZED FOR DATA COLLECTION WAS A DJI M300 WITH ZENMUSE LIDAR MODULE.
- THE TOPOGRAPHY AND PLANIMETRIC FEATURES GENERATED BY SAID UNMANNED AIRCRAFT SYSTEM (UAS) AND PIX4D SOFTWARE ARE SUBJECT TO THAT ERROR WHICH CONVENTIONAL SURVEY DATA COLLECTION METHODS WOULD DISCLOSE.

ENGINEERING DESIGN STANDARDS:

- GENERAL:
 - O ARTICLE III. OF CHAPTER 405 IN TITLE IV OF THE ST. CHARLES CITY CODE
 - O CHAPTERS 505 AND 510 OF THE ST. CHARLES CITY CODE
 - O TITLE VII OF THE ST. CHARLES CITY CODE
 - O OTHER CITY CODES THAT MAY GOVERN ENGINEERING DESIGN
 - O CITY OF ST. CHARLES PUBLIC WORKS DEPARTMENT FINAL DESIGN CHECKLIST
- TRANSPORTATION:
 - O ST. LOUIS COUNTY HIGHWAY DEPARTMENT DESIGN CRITERIA MANUAL 2011
 - O AASHTO POLICY ON GEOMETRIC DESIGN 2011
 - O AASHTO ROADSIDE DESIGN GUIDE 2011
 - O MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2023
 - O ADA STANDARDS FOR TRANSPORTATION FACILITIES 2006
- STORM WATER:
 - O MSD WATER PREPARATION GUIDELINES 2013
 - O MSD STANDARD CONSTRUCTION SPECIFICATIONS 2023
 - O CITY OF ST. CHARLES PUMP STATION DESIGN STANDARDS 2018
- SANITARY
 - O MISSOURI DNR WASTEWATER DESIGN GUIDES 10CSR-20-8
 - O TEN STATES STANDARDS 2007
 - O CITY OF ST. CHARLES PUMP STATION DESIGN STANDARDS 2018
- WATER
 - O CITY OF ST. CHARLES STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WATER MAINS 2014
 - O MISSOURI DNR MINIMUM DESIGN STANDARDS FOR MISSOURI COMMUNITY WATER SYSTEMS 2013
 - O TEN STATES STANDARDS 2007
 - O AWWA MANUALS OF WATER SUPPLY PRACTICES 2012

DEVELOPMENT NOTES:

- EXISTING PARK AREA OF TRACT: (PROPOSED PHASE 1 PARK AREA DISTURBED) 97.38 ACRES
- EXISTING ZONING: A - AGRICULTURAL (CITY OF ST. CHARLES)
- PROPOSED USE: NEW CITY PARK
- AREA OF BUILDING COMFORT STATION FOOTPRINT: 481 SQ.FT.
- REQUIRED BUILDING & PARKING SETBACKS FOR A ZONING:
 - FRONT YARD 50 FEET
 - SIDE YARD 20 FEET
 - REAR YARD 50 FEET
 - BUILDING HEIGHT MAX = 2-1/2 STORIES OR 35 FEET
- THIS PROPERTY IS SERVED BY THE FOLLOWING UTILITIES:

ELECTRIC COMPANY	AMERENUE	636-925-3215
TELEPHONE COMPANY	SOUTHWESTERN BELL	314-949-1315
GAS COMPANY	SPIRE	314-535-9414
SEWER DISTRICT	CITY OF ST. CHARLES	636-949-3566
WATER DISTRICT	CITY OF ST. CHARLES	636-949-3366
FIRE PROTECTION DISTRICT	CITY OF ST. CHARLES	636-949-3250
- PROPERTY OWNER: CITY OF ST. CHARLES
200 N 2ND STREET
ST CHARLES MO, 63301
- ANY PROPOSED SIGNS TO BE APPROVED BY SEPARATE PERMIT.
- ONLY ABOVE GROUND UTILITIES WHICH HAVE BEEN LOCATED ARE SHOWN ON THIS PLAN.
- DETENTION AND WATER QUALITY WILL BE ADDRESSED BY A LAKE ONSITE.
- ALL STORM AND SANITARY WILL BE PRIVATE AND MAINTAINED BY THE ST. CHARLES CITY PARKS DEPARTMENT.

KEY PLAN

BENCHMARK INFO:

PROJECT ELEVATIONS UTILIZE THE NAVD 88 VERTICAL DATUM AND ARE REFERENCED TO NGS MONUMENT "CSC 25" WITH A PID OF DF7523. SAID MONUMENT HAS A PUBLISHED ELEVATION 464.40.

REFERENCE BENCHMARK CSC 25 IS DESCRIBED AS FOLLOWS: TO REACH THE STATION FROM THE JUNCTION OF THE SR-370 BRIDGE OVER SR-94 GO NORTH 0.3 MI ON SR-94 TO THE INTERSECTION OF SR-94 WITH TWILLMAN DRIVE. TURN LEFT AND GO WEST 0.25 MI ON TWILLMAN DRIVE TO THE INTERSECTION OF TWILLMAN DRIVE WITH MANGO DRIVE. TURN RIGHT AND GO NORTH 0.2 MI ON MANGO DRIVE TO THE INTERSECTION OF MANGO DRIVE WITH CARRIAGE CROSSING DRIVE. TURN LEFT AND GO WEST 0.03 MI ON CARRIAGE CROSSING DRIVE TO THE INTERSECTION OF CARRIAGE CROSSING DRIVE WITH TRAILRIDGE COURT. TURN RIGHT AND GO NORTH ON TRAILRIDGE COURT TO THE STATION ON THE LEFT IN THE LAWN EAST OF 3316 CARRIAGE CROSSING DRIVE.

THE STATION IS A BRONZE CITY OF ST. CHARLES SURVEY MARKER DISK STAMPED "CSC 25 2003" SET INTO THE TOP OF A 12-INCH DIAMETER 5/4 INCH DEEP CONCRETE MONUMENT AND SET FLUSH WITH THE GROUND.

THE STATION IS 17.3 FT WEST OF THE CENTERLINE OF TRAILRIDGE COURT, 44.6 FT SOUTHEAST OF THE SOUTHEAST CORNER OF THE HOUSE AT 3316 CARRIAGE CROSSING DRIVE, 37 FT NORTHWEST OF A LIGHTPOLE AND 18.1 FT NORTHEAST OF THE CENTERLINE OF A MANHOLE.

SITE COVERAGE CALCULATIONS:

LOT SIZE = 97.38 ACRES ~ 4,241,873 SQUARE FEET
BUILDING SIZE = 3,440 S.F. ~ 0.08%
PAVEMENT = 107,982 S.F. ~ 2.55%
GREENSPACE = 4,142,841 S.F. ~ 97.37%

GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL GRADES SHALL BE WITHIN 0.1 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF ST. CHARLES STANDARDS.
- ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH CURRENT O.S.H.A. STANDARDS.
- ALL SIGNS ON THE SITE OR ANY STRUCTURE MUST HAVE SIGN PERMITS APPROVED BY THE CITY OF ST. CHARLES.
- ALL NECESSARY UTILITIES (PUBLIC AND PRIVATE) WILL BE AVAILABLE, FUNCTIONING, AND USABLE AT THE TIME ANY STAGE OF THE PROJECT OR THE TOTAL PROJECT IS READY FOR OCCUPANCY.
- DEVELOPER MUST SUPPLY THE CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
- ALL STORM SEWER PIPES SHALL BE GASKET O-RING TYPE.
- FORTY-EIGHT (48) HOURS NOTICE SHALL BE GIVEN TO THE CITY OF ST. CHARLES CITY ENGINEER BEFORE ANY GRADING OPERATIONS ARE TO BEGIN TO ALLOW SCHEDULING OF REQUIRED INSPECTIONS.
- FORTY-EIGHT (48) HOURS NOTICE SHALL BE GIVEN TO THE CITY OF ST. CHARLES CITY ENGINEER BEFORE ANY STORM SEWER CONSTRUCTION IS TO BEGIN TO ALLOW SCHEDULING OF REQUIRED INSPECTIONS.

SWT No.	21069.03
Drawn	Reviewed
SWR	SOX

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Number



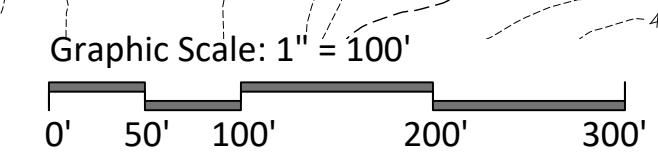
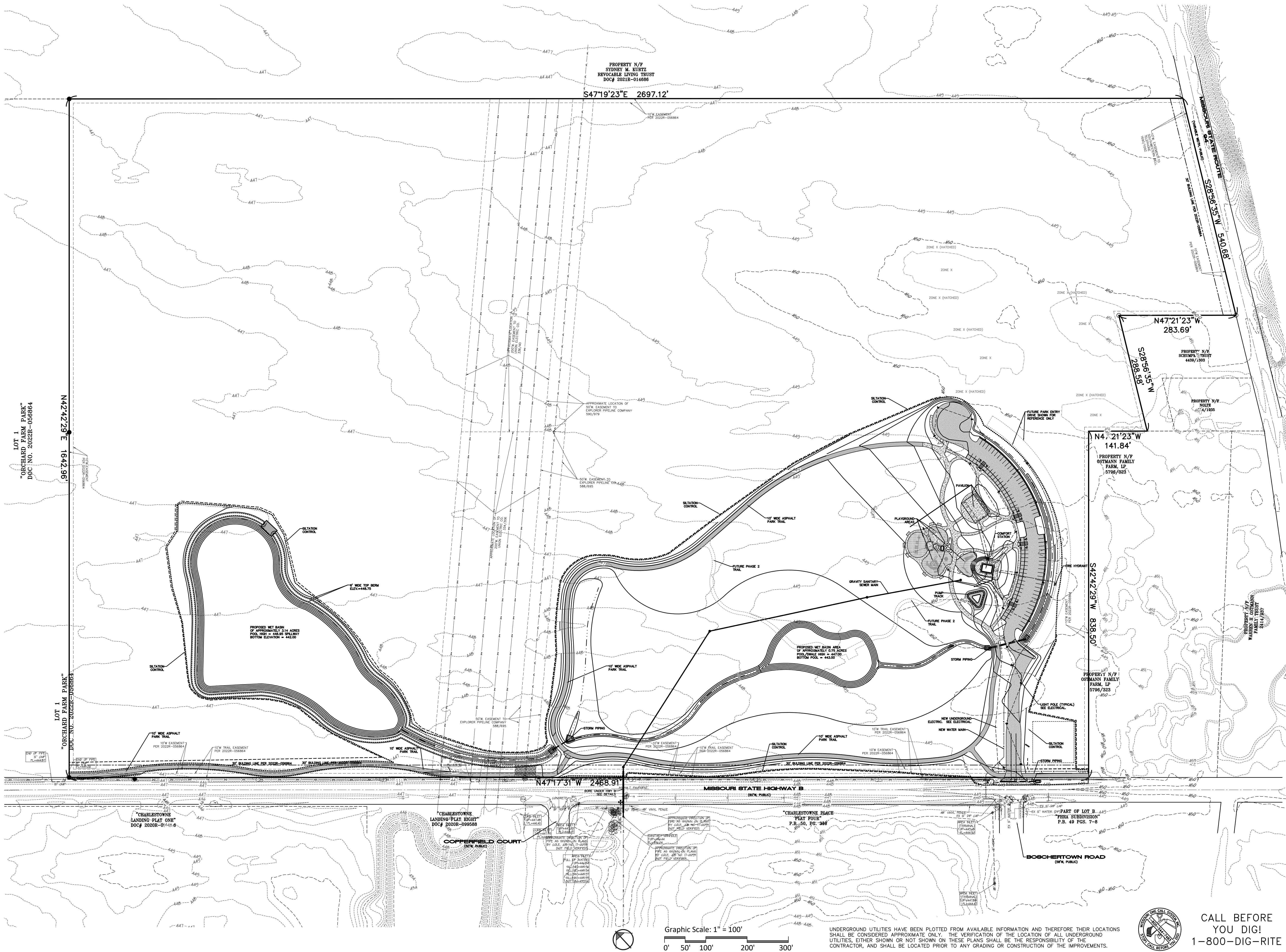
1900 Randolph Street
St. Charles, MO 63301

Project:
**LEGACY FARMS
PARK - PHASE 1**



7722 Big Bend Blvd.
St. Louis, MO 63119
t. 314.644.5700

Point of Contact:
Scott Runde PLA, AICP



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CALL BEFORE YOU DIG!
1-800-DIG-RITE

Prepared For:



1900 Randolph Street
St. Charles, MO 63301

Project:
**LEGACY FARMS
PARK - PHASE 1**



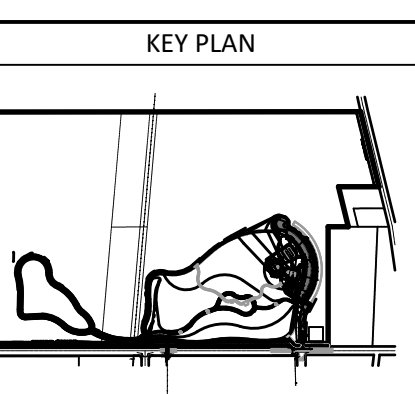
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Scott O. Kolkmeier
Civil Engineer
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Bax Engineering Company, Inc.
Missouri State Certificate of Authority #000655

Issuances

No.	Description	Date
01	City Comments	4/30/26

Revisions

No.	Description	Date
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SWT No. 21069.03
Drawn SWR Reviewed SOK
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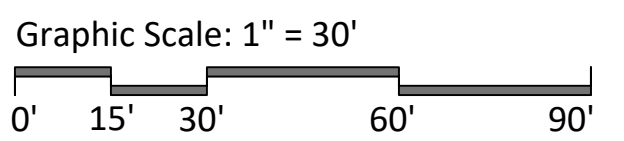
OVERALL SITE PLAN
Number

MATCHLINE C-5

MATCHLINE C-5

MATCHLINE C-5

MATCHLINE C-3



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



CALL BEFORE YOU DIG!
1-800-DIG-RITE



1900 Randolph Street
St. Charles, MO 63301

Project:
**LEGACY FARMS
PARK - PHASE 1**



7722 Big Bend Blvd.
St. Louis, MO 63119
t. 314.644.5700

Point of Contact:
Scott Runde PLA, AICP

Civil Engineering / Topographic Survey:
BAX Engineering
221 Point West Blvd.
St. Charles, MO 63301
636.928.5552

Architecture / MEP Engineering:
Introba
6 South Old Orchard
St. Louis, MO 63119
314.918.8383

Structural Engineering:
Oates Associates
820 S Main St, Ste 309
St. Charles, MO 63301
636.493.6277

PROPERTY N/F
**OSTMANN FAMILY
FARM, LP**
5796/323

KEY PLAN



Scott O. Kolkmeier
Civil Engineer
MO #024744



Bax Engineering Company, Inc.
Missouri State Certificate of Authority #000655

Issuances

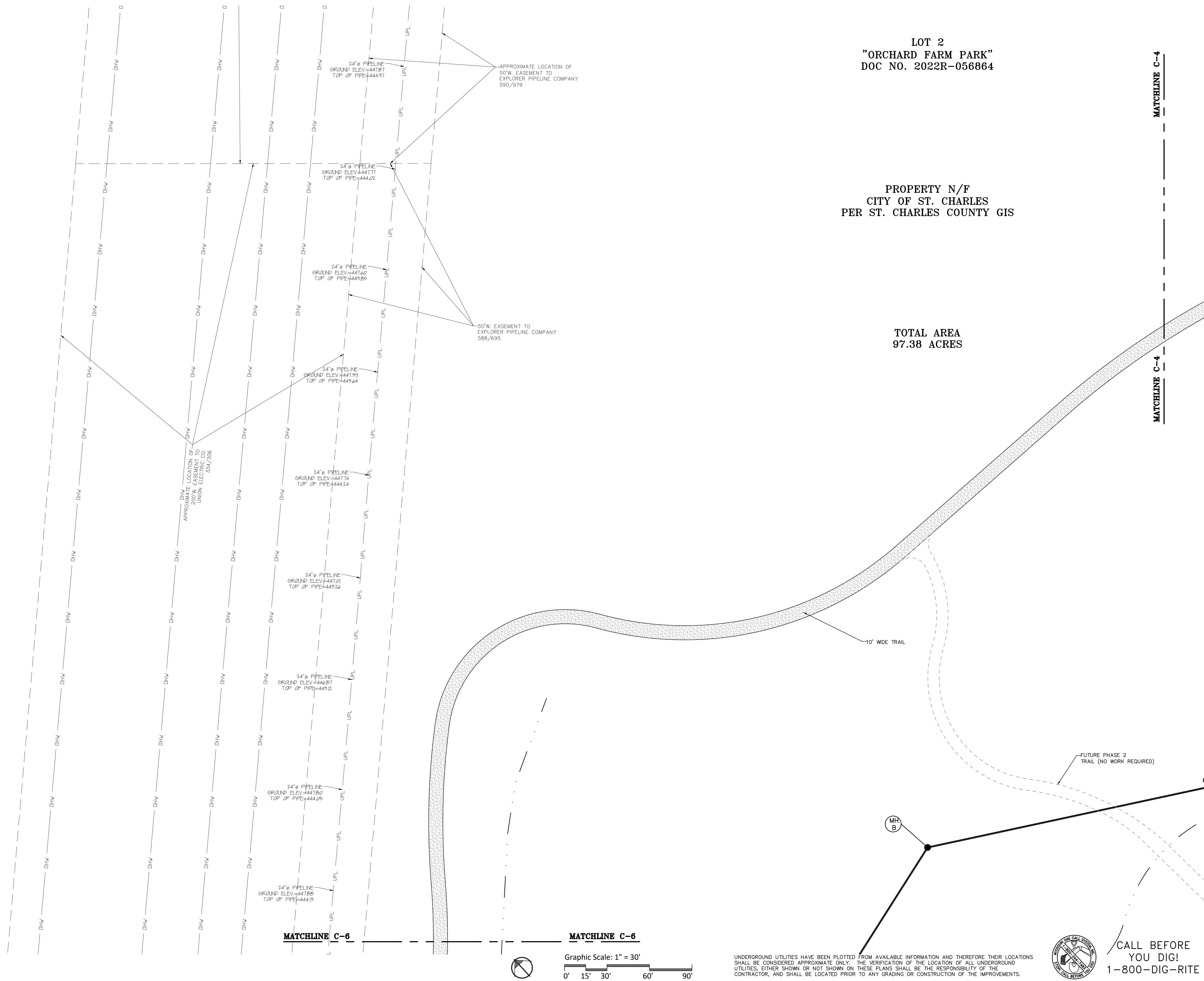
No.	Description	Date
01	City Comments	4/30/26

Revisions

No.	Description	Date
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SWT No. 21069.03
Drawn SWR Reviewed SOK
Sheet Title

SITE PLAN
Number



LOT 2
"ORCHARD FARM PARK"
DOC NO. 2022R-056864

PROPERTY N/F
CITY OF ST. CHARLES
PER ST. CHARLES COUNTY GIS

TOTAL AREA
97.38 ACRES

Prepared For:



1900 Randolph Street
St. Charles, MO 63301

Project:
LEGACY FARMS
PARK - PHASE 1



7722 Big Bend Blvd.
St. Louis, MO 63119
t. 314.644.5700

Point of Contact:
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KEY PLAN



Scott O. Kolkmeier
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No.	Description	Date
01	City Comments	4/30/26

Revisions

No.	Description	Date
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SWT No. 21069.03

Drawn: SWR Reviewed: SOK

Sheet Title

SITE PLAN

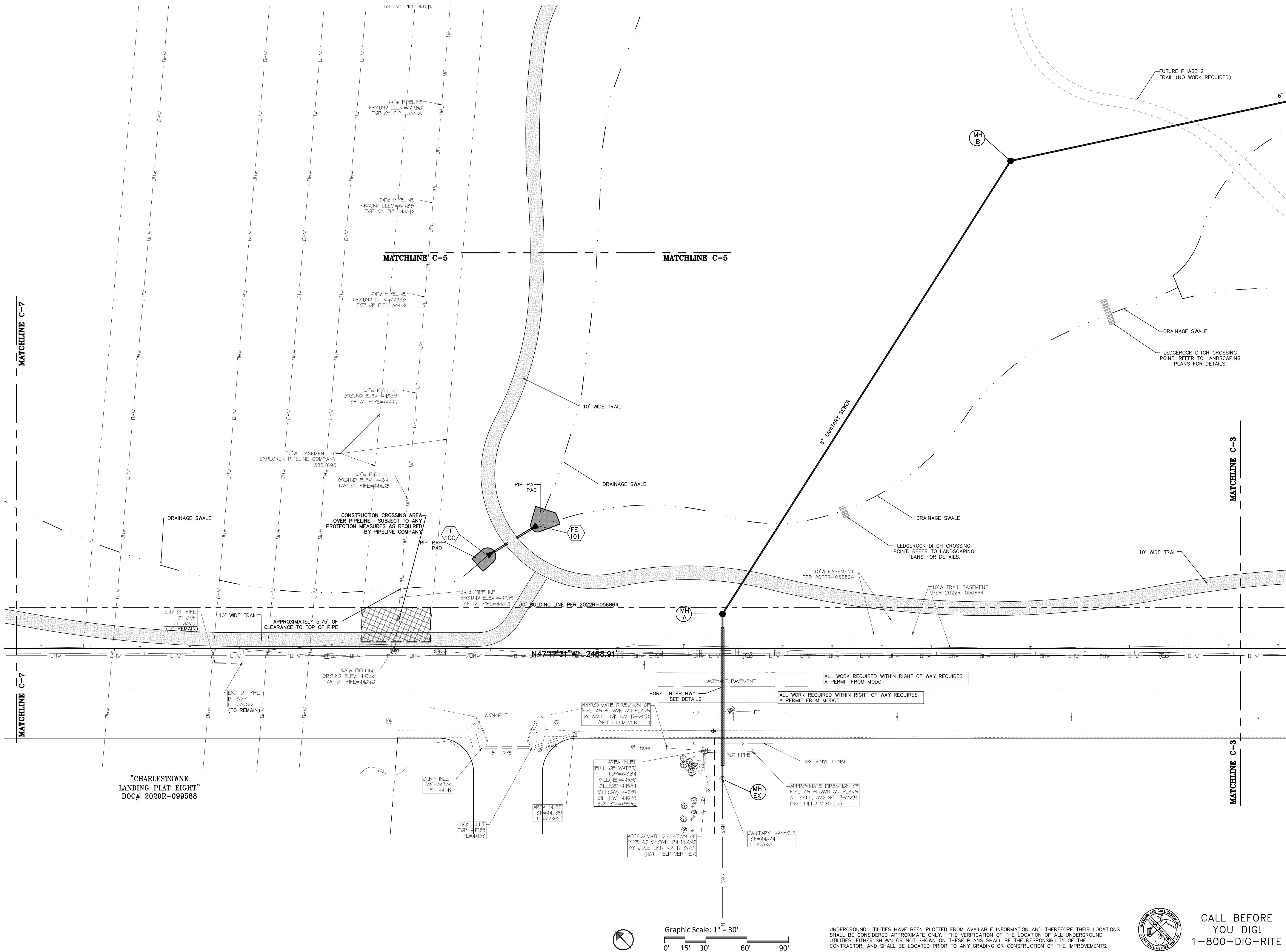
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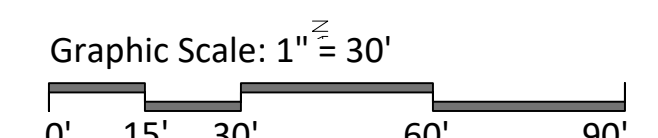
CALL BEFORE
YOU DIG!
1-800-DIG-RITE

C-5

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



"CHARLESTOWNE
LANDING PLAT EIGHT"
DOC# 2020R-099588



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Prepared For:



1900 Randolph Street
St. Charles, MO 63301

Project:
**LEGACY FARMS
PARK - PHASE 1**



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t. 314.644.5700

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636.928.5532

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6 South Old Orchard
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314.918.5383

Structural Engineering:
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St. Charles, MO 63301
636.493.6277

KEY PLAN



Scott O. Kolkmeier
Civil Engineer
MO #024744



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Revisions

No.	Description	Date
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SWT No. 21069.03
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Sheet Title

SITE PLAN
Number

C-6

LOT 1
"ORCHARD FARM PARK"
DOC NO. 2022R-056864

OVERFLOW FROM BASIN
SOD AREA

PROPOSED WET BASIN
OF APPROXIMATELY 3.14 ACRES
POOL HIGH = 446.95 SPILLWAY
BOTTOM ELEVATION = 442.00

MATCHLINE C-6

MATCHLINE C-6

10' WIDE TRAIL

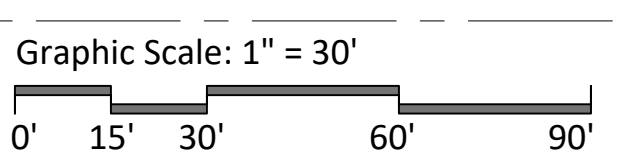
10' W EASEMENT
PER 2022R-056864

10' W TRAIL EASEMENT
PER 2022R-056864

10' WIDE TRAIL

30' BUILDING LINE PER 2022R-056864

ORCHARD FARM SCHOOL DISTRICT
CONSTRUCTION ENTRANCE FOR
ELEMENTARY SCHOOL. AREA WILL
BE ALL GRASS AND THE
EXISTING CONCRETE TRAIL
CONNECTION WILL BE POURED
BY SCHOOL DISTRICT CONTRACTOR
TO THE PROPERTY LINE WHEN
THAT PROJECT IS NEAR COMPLETION.



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



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1900 Randolph Street
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Project:
**LEGACY FARMS
PARK - PHASE 1**



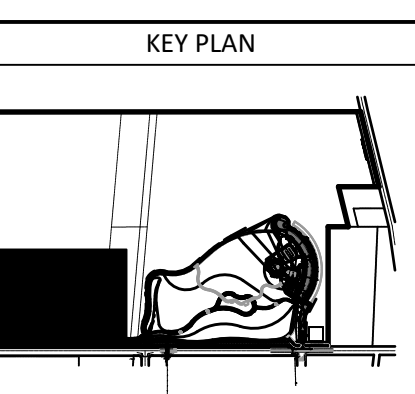
7722 Big Bend Blvd.
St. Louis, MO 63119
t. 314.644.5700

Point of Contact:
Scott Runde PLA, AICP

Civil Engineering / Topographic Survey:
BAX Engineering
221 Point West Blvd.
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636.928.5552

Architecture / MEP Engineering:
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St. Charles, MO 63301
636.493.6277



Scott O. Kolkmeier
Civil Engineer
MO #024744



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Authority #000655

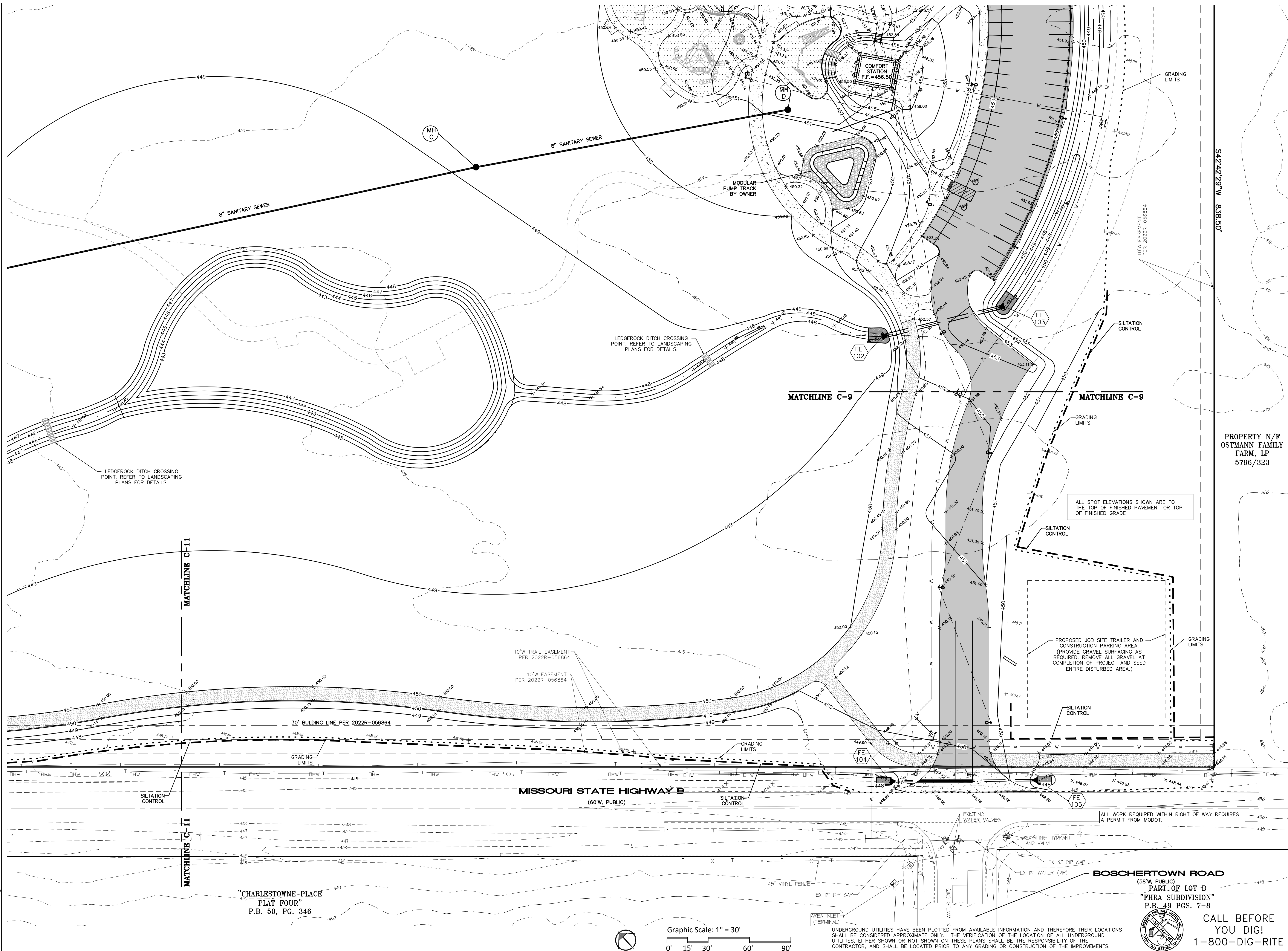
Issuances		
No.	Description	Date
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No.	Description	Date

SWT No. 21069.03
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Sheet Title

SITE PLAN
Number

C-7

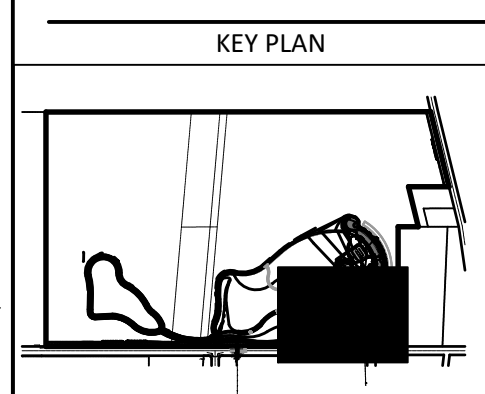


Prepared For:

 1900 Randolph Street
 St. Charles, MO 63301
 Project:
**LEGACY FARMS
 PARK - PHASE 1**

SWT DESIGN
 7722 Big Bend Blvd.
 St. Louis, MO 63119
 t. 314.644.5700
 Point of Contact:
 Scott Runde PLA, AICP

Civil Engineering / Topographic Survey:
BAX Engineering
 221 Point West Blvd.
 St. Charles, MO 63301
 636.928.5552
 Architecture / MEP Engineering:
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 6 South Old Orchard
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 314.918.8383
 Structural Engineering:
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 636.493.6277



Scott O. Kolkmeier
 Civil Engineer
 MO #024744

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No.	Description	Date
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SWT No. 21069.03
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 Sheet Title

Grading Plan
 Number

S42°42'28"W 838.50'

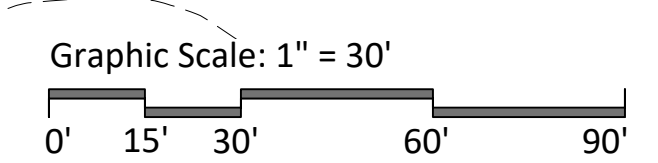
PROPERTY N/F
OSTMANN FAMILY
FARM, LP
5796/323

ALL SPOT ELEVATIONS SHOWN ARE TO
THE TOP OF FINISHED PAVEMENT OR TOP
OF FINISHED GRADE

PROPOSED JOB SITE TRAILER AND
CONSTRUCTION PARKING AREA.
(PROVIDE GRAVEL SURFACING AS
REQUIRED. REMOVE ALL GRAVEL AT
COMPLETION OF PROJECT AND SEED
ENTIRE DISTURBED AREA.)

ALL WORK REQUIRED WITHIN RIGHT OF WAY REQUIRES
A PERMIT FROM MODOT.

"CHARLESTOWNE PLACE
PLAT FOUR"
P.B. 50, PG. 346



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS
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ALL SPOT ELEVATIONS SHOWN ARE TO THE TOP OF FINISHED PAVEMENT OR TOP OF FINISHED GRADE

ZONE X (HATCHED)

PROPERTY N/F OSTMANN FAMILY FARM, LP 5796/323

Prepared For:

1900 Randolph Street
St. Charles, MO 63301

Project:
LEGACY FARMS PARK - PHASE 1

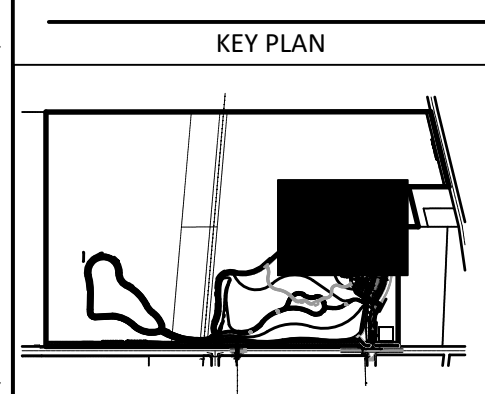
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t. 314.644.5700

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Scott O. Kolkmeier
Civil Engineer
MO #024744

Bax Engineering Company, Inc.
Missouri State Certificate of Authority #000655

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Revisions

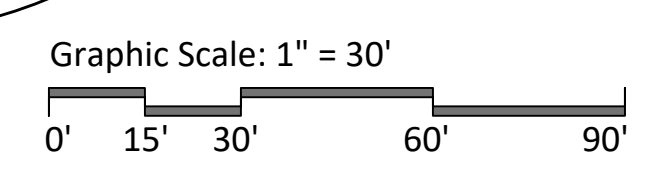
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SWT No. 21069.03
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Sheet Title

GRADING PLAN
Number

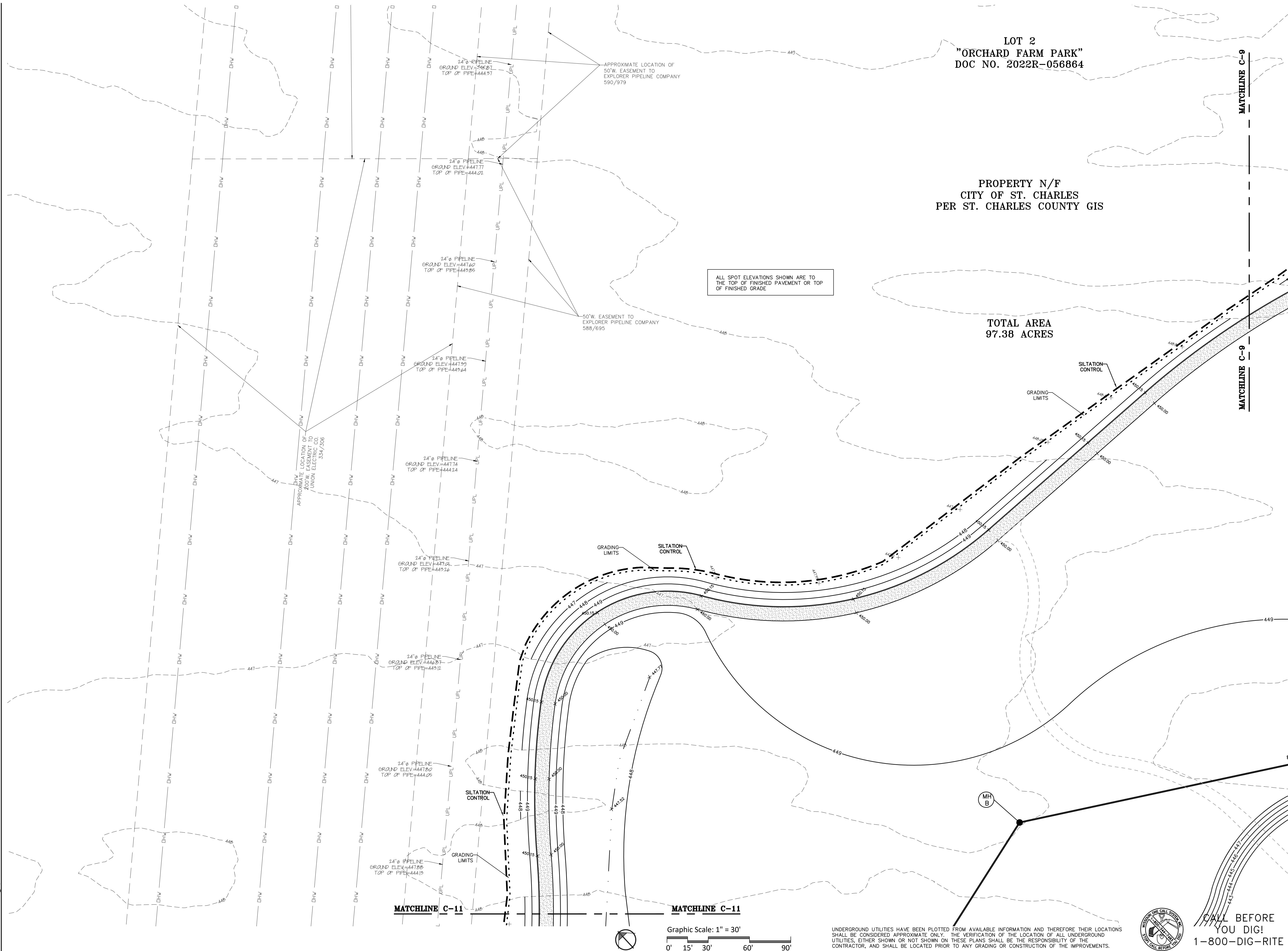
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C-9



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.





LOT 2
 "ORCHARD FARM PARK"
 DOC NO. 2022R-056864

PROPERTY N/F
 CITY OF ST. CHARLES
 PER ST. CHARLES COUNTY GIS

TOTAL AREA
 97.38 ACRES

ALL SPOT ELEVATIONS SHOWN ARE TO
 THE TOP OF FINISHED PAVEMENT OR TOP
 OF FINISHED GRADE

Prepared For:



1900 Randolph Street
St. Charles, MO 63301

Project:
**LEGACY FARMS
PARK - PHASE 1**



7722 Big Bend Blvd.
St. Louis, MO 63119
t. 314.644.5700

Point of Contact:
Scott Runde PLA, AICP

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221 Point West Blvd.
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636.928.5552

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6 South Old Orchard
St. Louis, MO 63119
314.918.8383

Structural Engineering:
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St. Charles, MO 63301
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KEY PLAN



Scott O. Kolkmeier
Civil Engineer
MO #024744



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01	City Comments	4/30/26

Revisions

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Sheet Title

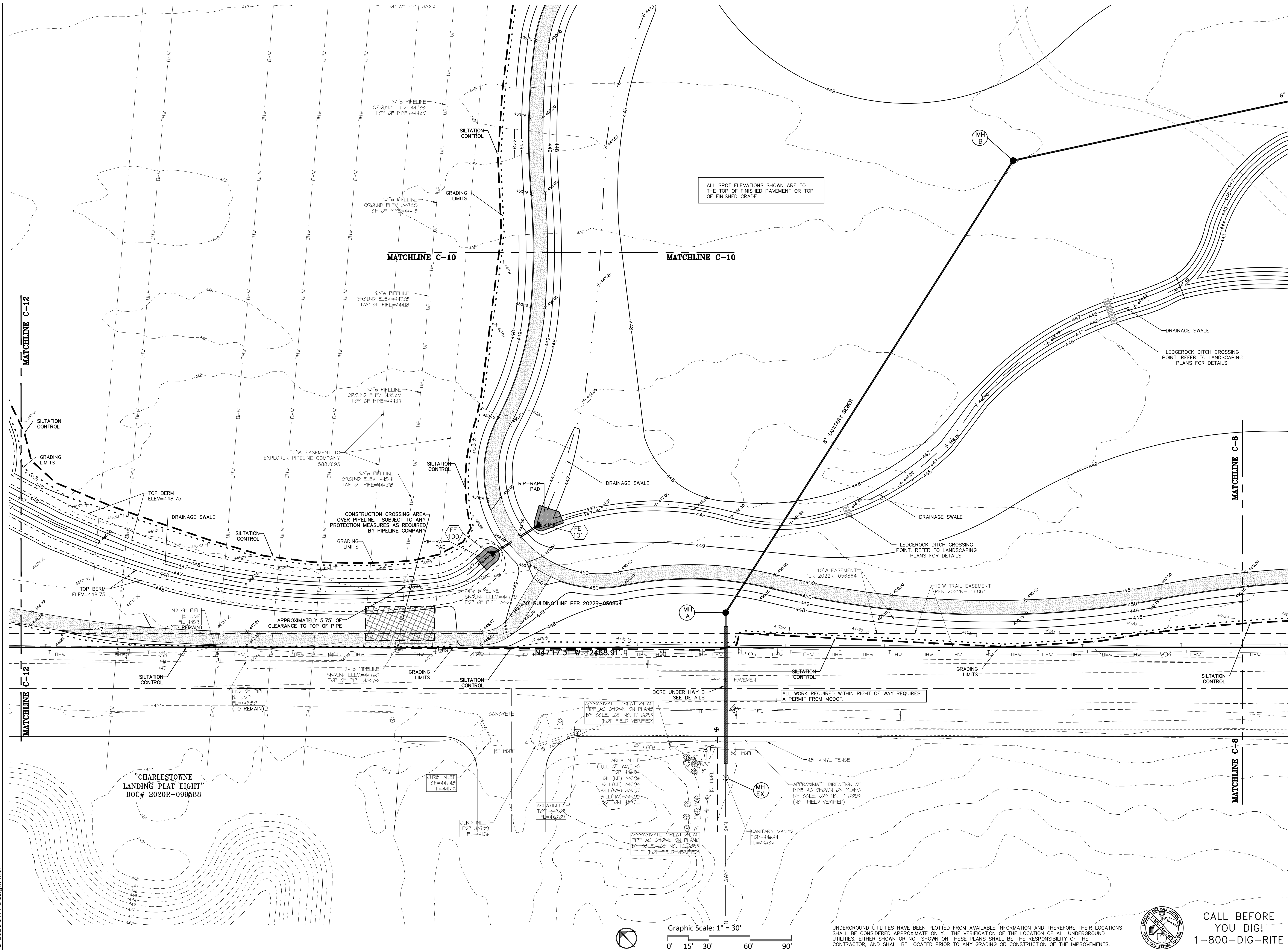
GRADING PLAN

Number



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C-10



ALL SPOT ELEVATIONS SHOWN ARE TO THE TOP OF FINISHED PAVEMENT OR TOP OF FINISHED GRADE.

CONSTRUCTION CROSSING AREA OVER PIPELINE. SUBJECT TO ANY PROTECTION MEASURES AS REQUIRED BY PIPELINE COMPANY.

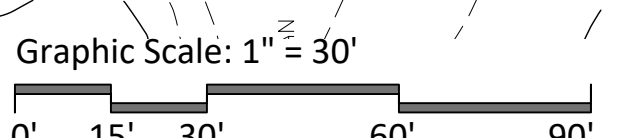
ALL WORK REQUIRED WITHIN RIGHT OF WAY REQUIRES A PERMIT FROM MODOT.

APPROXIMATE DIRECTION OF PIPE AS SHOWN ON PLANS BY COLE JOB NO. IT-0099 (NOT FIELD VERIFIED)

APPROXIMATE DIRECTION OF PIPE AS SHOWN ON PLANS BY COLE JOB NO. IT-0099 (NOT FIELD VERIFIED)

APPROXIMATE DIRECTION OF PIPE AS SHOWN ON PLANS BY COLE JOB NO. IT-0099 (NOT FIELD VERIFIED)

"CHARLESTOWNE LANDING PLAT EIGHT" DOC# 2020R-099588



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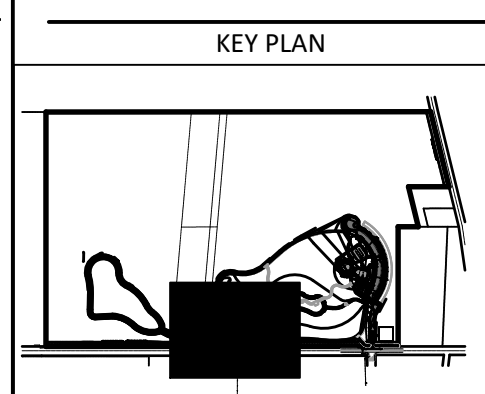
Prepared For:

1900 Randolph Street
St. Charles, MO 63301
Project:
**LEGACY FARMS
PARK - PHASE 1**



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St. Louis, MO 63119
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636.493.6777



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MO #024744

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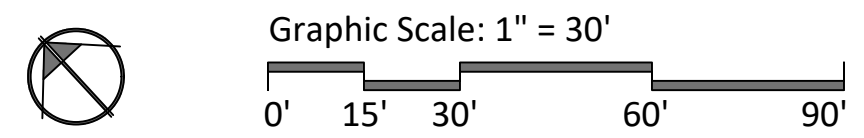
No.	Description	Date
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SWT No. 21069.03
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Sheet Title

GRADING PLAN
Number

LOT 1
"ORCHARD FARM PARK"
DOC NO. 2022R-056864

ORCHARD FARM SCHOOL DISTRICT
CONSTRUCTION ENTRANCE FOR
ELEMENTARY SCHOOL. AREA WILL
BE ALL GRASS AND THE
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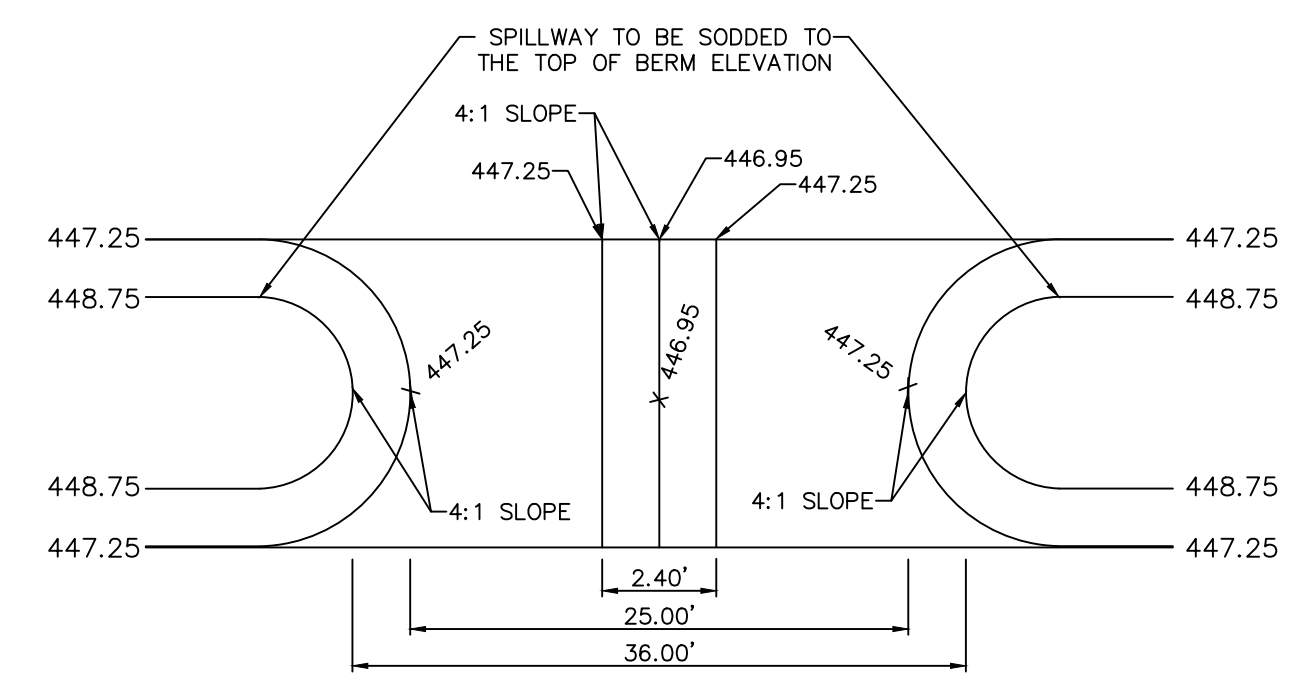


CALL BEFORE
YOU DIG!
1-800-DIG-RITE

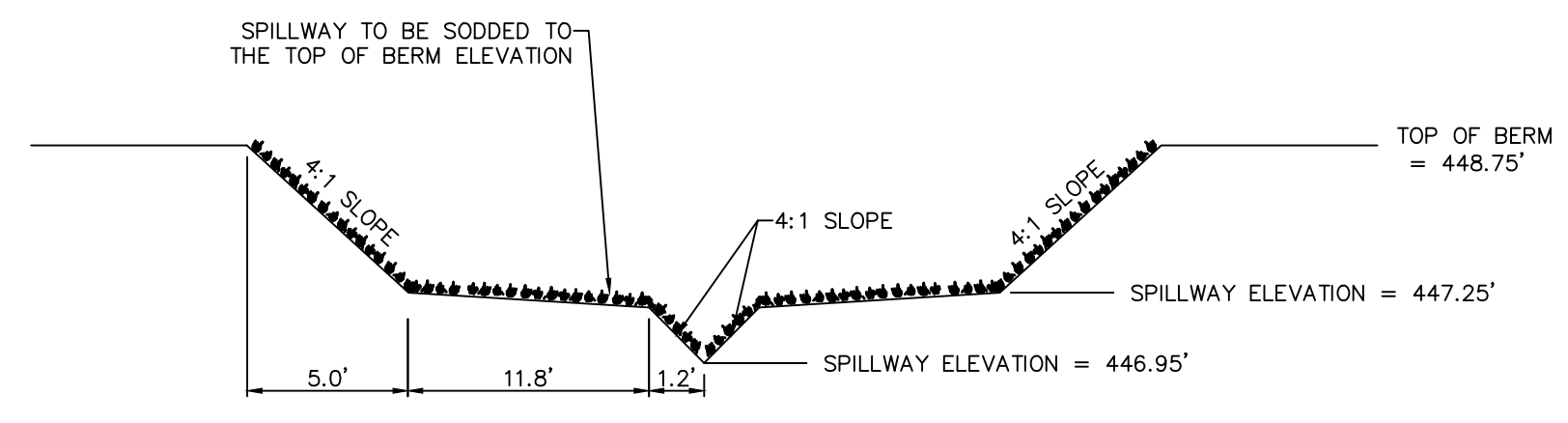
ALL SPOT ELEVATIONS SHOWN ARE TO THE TOP OF FINISHED PAVEMENT OR TOP OF FINISHED GRADE

PROPOSED WET BASIN
OF APPROXIMATELY 3.14 ACRES
POOL HIGH = 446.95 SPILLWAY
BOTTOM ELEVATION = 442.00

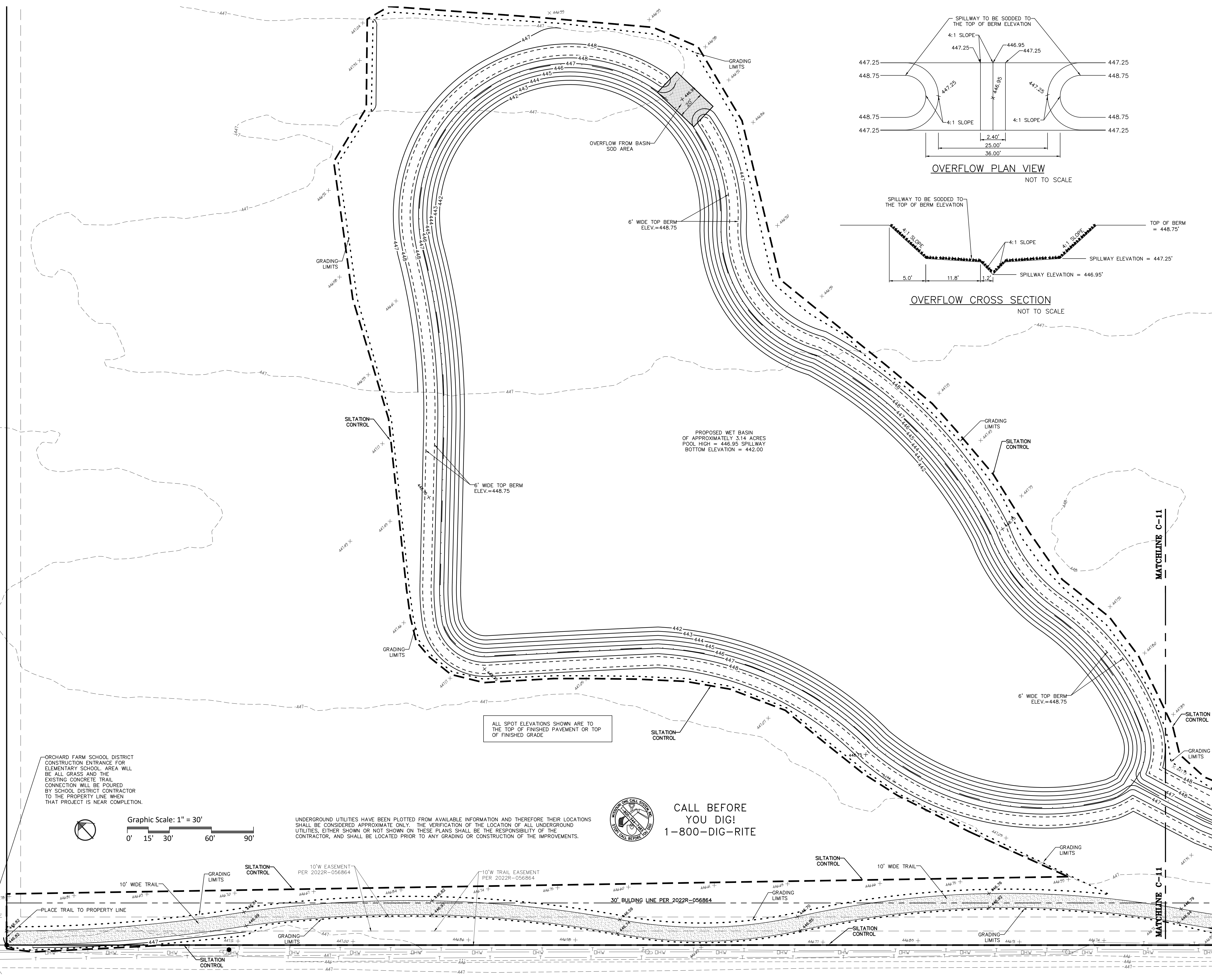
OVERFLOW FROM BASIN-
SOD AREA



OVERFLOW PLAN VIEW
NOT TO SCALE



OVERFLOW CROSS SECTION
NOT TO SCALE



Prepared For:



1900 Randolph Street
St. Charles, MO 63301
Project:
**LEGACY FARMS
PARK - PHASE 1**



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St. Louis, MO 63119
t. 314.644.5700

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Structural Engineering:
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636.493.6277

KEY PLAN



Scott O. Kolkmeier
Civil Engineer
MO #024744



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Authority #000655

Issuances		
No.	Description	Date
01	City Comments	4/30/26

Revisions		
No.	Description	Date

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Sheet Title

GRADING PLAN
Number

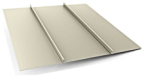
BUILDING MATERIALS

**PREFINISHED STANDING SEAM
METAL ROOF : FOREST GREEN**

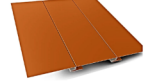
COLOR



MATERIAL EXAMPLE



**PREFINISHED METAL PANEL :
BROWN TIMBER**



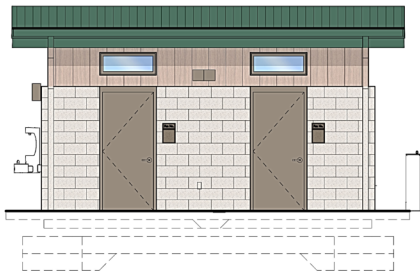
**METAL FINISH : BUCKSKIN
METAL PAINT : DOWNING EARTH**



COLOR & MATERIAL EXAMPLE

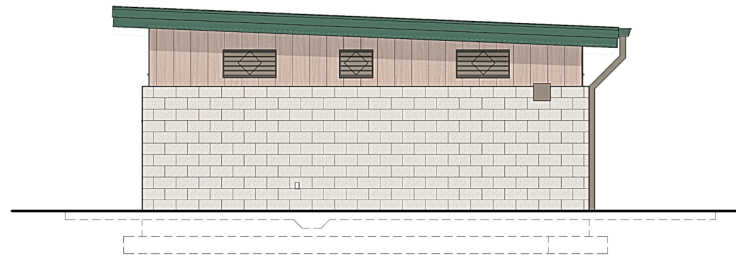


**SPLIT FACED CMU BLOCK :
WHITE TERRAZZO**



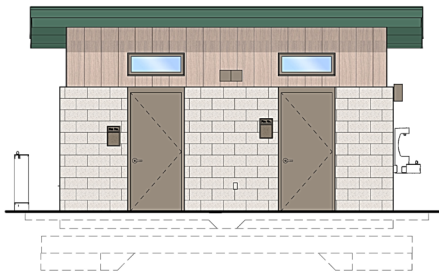
1 EXTERIOR ELEVATION

1/4" = 1'-0" 2 0 2 4 6 8 10
SCALE FEET



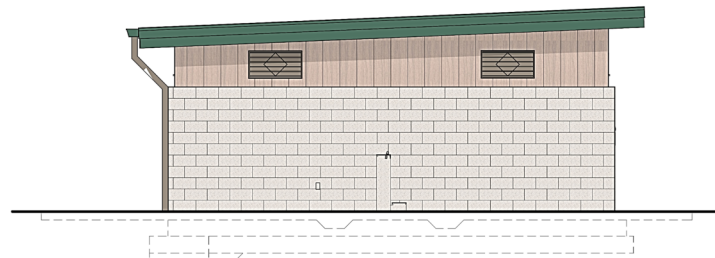
2 EXTERIOR ELEVATION

1/4" = 1'-0" 2 0 2 4 6 8 10
SCALE FEET



3 EXTERIOR ELEVATION

1/4" = 1'-0" 2 0 2 4 6 8 10
SCALE FEET



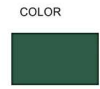
4 EXTERIOR ELEVATION

1/4" = 1'-0" 2 0 2 4 6 8 10
SCALE FEET

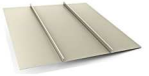
BUILDING MATERIALS

PREFINISHED STANDING SEAM
METAL ROOF : FOREST GREEN

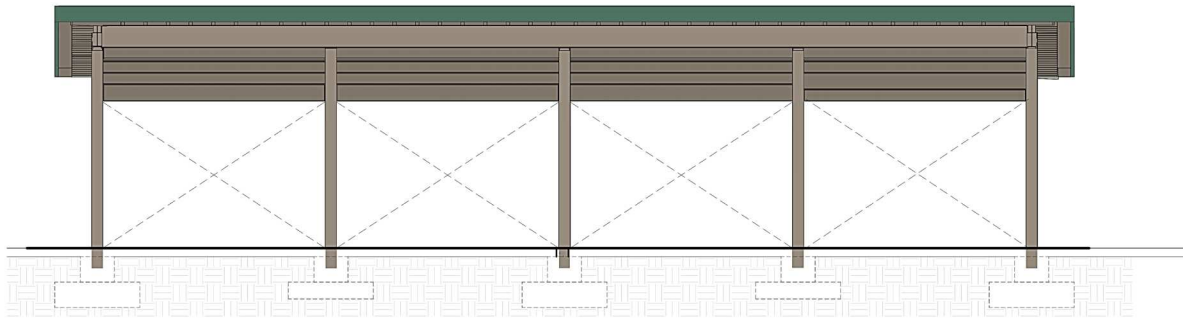
COLOR



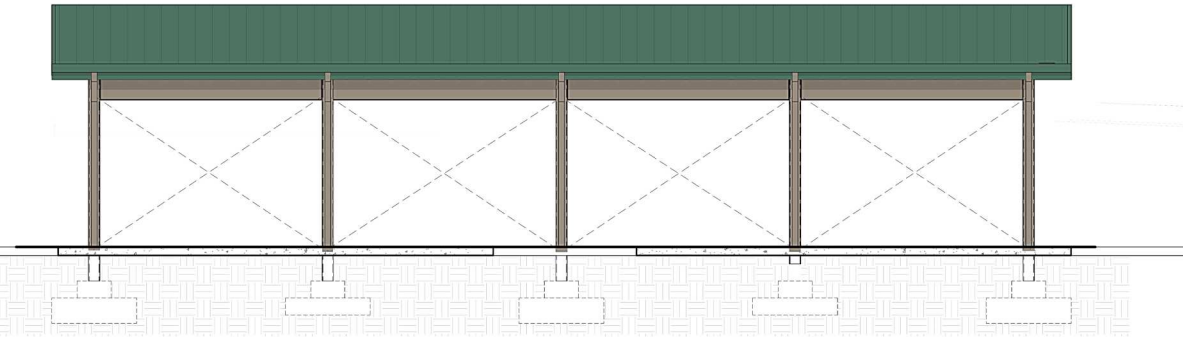
MATERIAL EXAMPLE



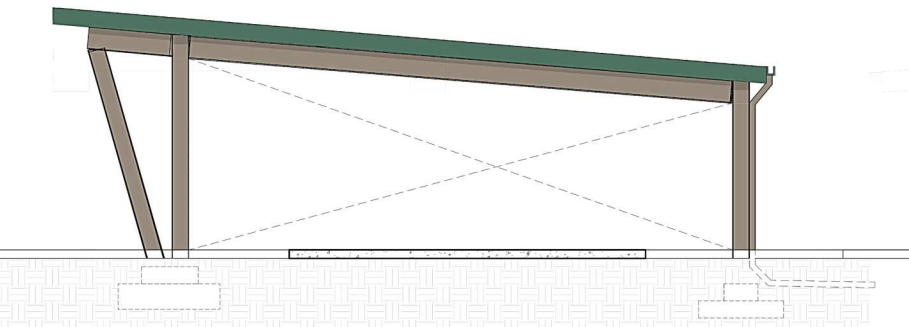
METAL FINISH : BUCKSKIN
METAL PAINT : DOWNING EARTH



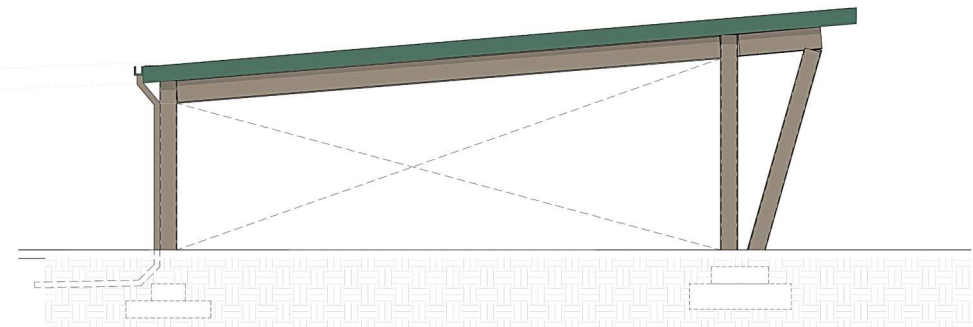
5 EXTERIOR ELEVATION - FRONT



4 EXTERIOR ELEVATION - BACK



1 EXTERIOR ELEVATION - SIDE



2 EXTERIOR ELEVATION - SIDE



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AGENDA ITEM #10 & 11

**STAFF REPORT
CONDITIONAL USE NO. CU-2026-10
SITE PLAN NO. SP-2026-05
3150 HARRY S TRUMAN BLVD
& 3200 TRUMAN INDUSTRIAL BLVD**

**OUTDOOR TRAILER AND
CONTAINER STORAGE**

**MAY 11, 2026
BY MADELYN P. BROWN**

<i>APPLICANT:</i>	Kurt Kutter, P.E. 13663 Rider Trail N Earth City, MO 63045
<i>OWNER:</i>	Truman Blvd. Investments, LLC 13950 St. Charles Rock Rd Bridgerton, MO 63044
<i>ADDRESS/LOCATION:</i>	3150 Harry S Truman Blvd & 3200 Truman Industrial Blvd Ward 6
<i>ACREAGE:</i>	5.83 Acres (overall)
<i>ZONING:</i>	I-1 Light Industrial District

REQUEST

The applicant has submitted two (2) applications for an outdoor storage use with an associated office building located at 3150 Harry S Truman Boulevard and 3200 Truman Industrial Boulevard.

1. A site plan application for an outdoor storage facility for trailers and containers, including an associated office building.
2. A conditional use permit for an outdoor trailer and storage use within the I-1 Light Industrial District zoning for a 5.83 acre tract of land.

This report will address/analyze both applications. The subject properties are located within Ward 6, on the southeast corner of Harry S Truman Boulevard and Truman Industrial Boulevard.

PAST REVIEWS

CU-2016-30 & SP-2016-21

At the September 26, 2016 Planning and Zoning Commission meeting, staff presented an application for an outdoor storage lot for trailers at the northern portion of the subject property (3150 Harry S Truman Boulevard). The site plan was approved, with final approval of the conditional use application granted at the October 4, 2016 City Council meeting.

SP-2021-12

At the April 26, 2021 Planning and Zoning Commission meeting, an additional site plan application was approved to expand the business to the other subject property, 3220 Truman Industrial Boulevard. The expansion to this area included additional storage and a prefabricated office building.

SITE PLAN ANALYSIS

The applicant is proposing storage areas and a modular office building on the overall 5.83 acre lot for the purpose of trailer and container sales.

Parking/Storage & Transportation (access),

As part of the proposal, the site will include storage areas located throughout the property, with the locations of stored items identified on the plan. Trailers and storage containers will be stored on gravel, while paved drive aisles have been provided for the transportation of stored items and overall site circulation. These paved drive aisles are required per city code for the navigation of motor vehicles and fire truck accessibility. Additionally, a fire truck mobility sheet has been submitted and reviewed by the Fire Department, with no outstanding comments.

At the north side of the site, access is provided from Truman Industrial Boulevard. Also located within the northern portion of the site is a parking area and the office building. Twelve (12) parking spaces have been provided.

In conversations with the applicant, it was proposed that the containers would be stacked up to three (3) high to maximize storage space on the property. Given that the site sits at a lower elevation than the adjacent roadway at Harry S Truman Boulevard, and that the site will be entirely screened by a privacy fence, staff would agree that the containers may be stacked two (2) high without creating a visual nuisance. However, it is staff's opinion that three (3) stacked containers may create a negative visual impact on the surrounding area. Should this application be approved, a condition has been recommended to limit the containers to a maximum of two (2) high. This item may be discussed further by the Planning and Zoning Commission if it is desirable to amend the provided condition.

Building

A modular, prefabricated office building is proposed in association with the site plan, which is 1,500 square feet in size. The building is to be anchored to the ground and adhere to all applicable building codes. Other businesses in the general area have utilized similar, prefabricated buildings for storage lot office purposes. This includes the structure next door at 2000 Truman Industrial Boulevard and 3100 Harry S Truman Boulevard, to the north (see Figure 1 and 2, on page 3).



Figure 1: Office building at 2000 Truman Industrial Blvd.



Figure 2: Office building at 3100 Harry S Truman Blvd.

Additionally, as mentioned above, a modular office was previously approved for this site during review of application CU-2026-30, as mentioned above.

The applicant has submitted a sample image of the pe-fabricated building to be used. The structure is not to utilize additional architectural elements, and will appear as shown in Figure 3, below.



Figure 3: Reference image of modular office building.

As proposed, the structure does not meet the 100% masonry requirement of Section 400.965 of the Zoning Code. While the proposal is not compliant with the masonry standards of the Zoning Ordinance, these design standards may be exempted/or exceptions permitted by the Planning and Zoning Commission with good cause.

The Purpose Statement of the Architectural Design Standards of this section states:

“The purpose of these architectural and design standards is to ensure the highest quality and most aesthetically pleasing development in all areas of the City. Redevelopment and

new development in the City reflects on the image of St. Charles and it is crucial that new structures and rehabilitation or additions to old structures adhere to a higher standard to reflect positively on the City's progressive attitude toward its future. These standards are not intended to restrict imagination or variety, but rather to assist in focusing on a design which results in an architectural style that creates a signature appearance that is distinctly St. Charles."

Per the applicant, masonry has not been provided because the structure will be entirely screened behind the six (6)-foot privacy fence and will not be visible from the roadways. Staff agrees that the intent of the standard is not to impose masonry on structures which are entirely screened and do not have visibility from the right-of-way. With that, staff finds that the lack of masonry material is appropriate for the proposed structure. However, the Planning and Zoning Commission may further discuss the appropriateness of the materials selected and the overall design based on the City code language referenced above.

Fencing/Landscaping/Lighting

As stated above, a six (6) foot privacy fence along the entirety of the site will be provided to screen the storage area. The existing fencing will be utilized as well as new fencing. The entrance to the site will have a gate with Knox box access for fire access. The existing plantings along the Harry S Truman Blvd frontage will be largely preserved to provide additional screening. Additional landscaping will not be required within the site due to the complete screening.

Per the applicant, the proposed lighting will be compliant with City standards. A photometric plan will be provided at the time of building permits. A condition has been placed on the approval to verify such.

Furthermore, the City Code allows the Planning and Zoning Commission to recommend conditions of approval to protect surrounding properties, as well as to give consideration with respect to location and site plan in the recommendations.

CONDITIONAL USE ANALYSIS

In addition to the above request, the applicant is proposing an outdoor storage use, specifically for the storage of trailers and containers. City Ordinance requires approval of a Conditional Use Permit for outdoor storage of both trailers and containers within the subject zoning district. As discussed above, the proposed use will include screened storage areas in addition to a modular office building. Additional details regarding the site improvements and proposed construction will be provided in the site plan analysis below.

The applicant has provided a written development plan along with this application, detailing the functions of the proposed use and demonstrating that the project can operate in compliance with the Conditional Use standards of the Zoning Ordinance. Additionally, as state above, a similar use was previously approved for the subject property (CU-2016-30), further demonstrating that the proposed use is in conformance with the Comprehensive Plan and surrounding area.

Consistency with Comprehensive Plan

The St. Charles Comprehensive Plan adopted in 2002, and updated in 2026, recommends that land use decisions be based on a project's location and compatibility with surrounding development. The Comprehensive Plan identifies 21 activity centers in the city, locations characterized by distinct locations of visibility, activity, and traffic. Polygon-based Sub-Districts are also identified which reflect the extent of established core activity and the transition to surrounding lower-density development. The plan recommends that development should align with the predominant land uses, assets, and needs of the nearest activity center. The activity centers should be surrounded by land uses that respond to context, promotes compatibility, and supports the City's long-term goals for balanced growth. Proposed new uses should be judged based upon its distance from the nearest activity center and/or sub-district, its compatibility with what surrounds it, and whether the level of development it will generate aligns with the surrounding area or is counter to that goal.

This property is located closest to Activity Center #16 (Hwy 370/Harry S. Truman Blvd Interchange). The proposed outdoor storage use at this location associated with a permitted use can be compatible with its industrial surroundings along Harry S Truman Blvd.

Consistency with Conditional Use Standards

Section 400.980 of the City Code outlines standards of review for the conditional use application. The standards are as follows:

- a) How the proposed conditional use (the use in general) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.
- b) Whether the proposed conditional use (in its proposed location) is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the city.

Regarding a) and b), Conditional Uses are not allowed by-right as they can be problematic if not located and/or conditioned properly. In this case, the proposal is located at 3150 Harry S Truman Blvd and 3200 Truman Industrial Blvd nearest to Activity Center #16. This intensity pattern is consistent with the goals of the Comprehensive Plan, and the proposed use at this location could operate in conformance with the density, intensity, and activity guidelines provided above.

- c) Whether the proposed conditional use, in its proposed location and as depicted on the required site plan, results in a substantial or undue adverse impact on the adjacent property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions and policies of the Zoning Ordinance, Comprehensive Plan, or any other plan, program, or ordinance adopted or under consideration pursuant to official notice by the city.

While residential properties are located in the general area, the Norfolk Southern Railroad

acts as separation between the proposed/ existing industrial uses to the north and the residential to the south. Furthermore, the Comprehensive Plan Update identifies this corridor as a location for higher intensity uses. Given the railroad separation, the required screening, and provided conditions, the proposal should not have an adverse impact on the character of the neighborhood, public safety and general welfare of the city. Additionally, the Engineering and Fire Departments have provided confirmation that access and transportation elements have been satisfactorily addressed with no outstanding comments.

- d) Whether the proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property as directed by the Comprehensive Plan.

Staff believes the outdoor storage use can be compatible within its industrial surroundings and should not produce negative effects to neighboring properties or the neighborhood. Staff believes this use can operate in a manner that is consistent with the area.

- e) Whether the proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

Staff believes the conditional uses in this location will not have an undue burden on public services as this proposal has been reviewed by Community Development, Finance, Engineering and Fire Departments with no outstanding comments.

- f) Whether the public benefits of the proposed conditional use outweigh the potential adverse impacts of the proposed conditional use as identified above, after taking into consideration any proposal by the petitioner and any requirements recommended by the petitioner and/or City Staff to ameliorate such impacts.

After review of the proposal as submitted, and the above standards for evaluating Conditional Uses, staff believes the proposed use and conditions proposed would prevent any potential adverse impacts and the public benefits would outweigh any potential adverse impacts.

Furthermore, the City Code allows the Planning and Zoning Commission to recommend conditions of approval to protect surrounding properties, as well as to give consideration with respect to location in the recommendations. The proposed use complies with the above standards.

STAFF RECOMMENDATION

SP-2025-12:

Staff recommends approval of application SP-2026-05, subject to the following conditions:

1. Site Plan shall be null and void if the Conditional Use (CU-2026-10) is not approved by the City Council.
2. A photometric plan shall be provided upon application for building permits.
3. A plat consolidating at 3150 Harry S Truman Boulevard and 3200 Truman Industrial

Boulevard shall be approved prior to issuance of building permits.

CU-2026-10:

This conditional use can operate in conformance with City requirements, is compatible with surrounding land uses and complies with the Comprehensive Plan of the City of St. Charles. Staff recommends **approval** of the proposed conditional use for an Outdoor Storage Use (specifically for trailers and containers), subject to the following conditions:

1. This Conditional Use Permit for an outdoor storage use (trailer and container storage) is issued to Truman Blvd. Investments, LLC only at 3150 Harry S Truman Boulevard and 3200 Truman Industrial Boulevard and is not transferable to another location and/or applicant/tenant/business.
2. Storage of trailers and containers shall only be located within the areas identified on the associated site plan.
3. Containers shall not be stacked more than two (2) high within the storage site.
4. A floodplain development permit shall be submitted with the Improvement Plans.
5. In the event a flood warning is issued for the area, all trailers will need to be removed immediately from areas within the floodplain.
6. Non-compliance with any building codes, property maintenance codes, fire codes, noise control codes, ordinances concerning disturbances or conditions of this approval is grounds for revocation of the conditional use approval.

Recommended Motions:

1. *Motion to forward application CU-2026-10 to the City Council with a favorable recommendation, subject to the conditions recommended by staff.*
2. *Motion to approve application SP-2026-05, subject to the conditions recommended by staff.*



Figure 4: Aerial view of site.

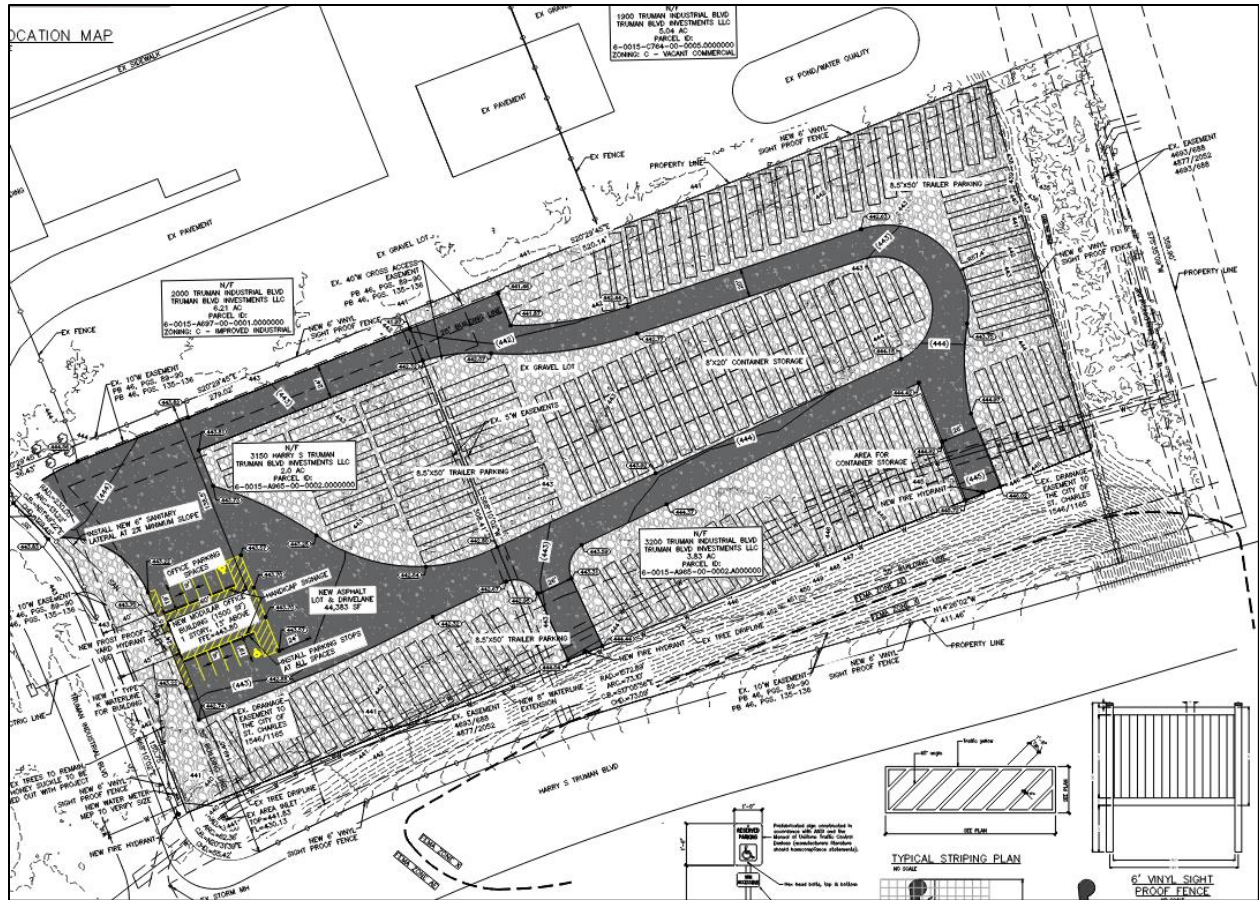
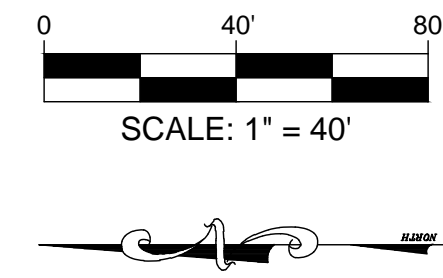
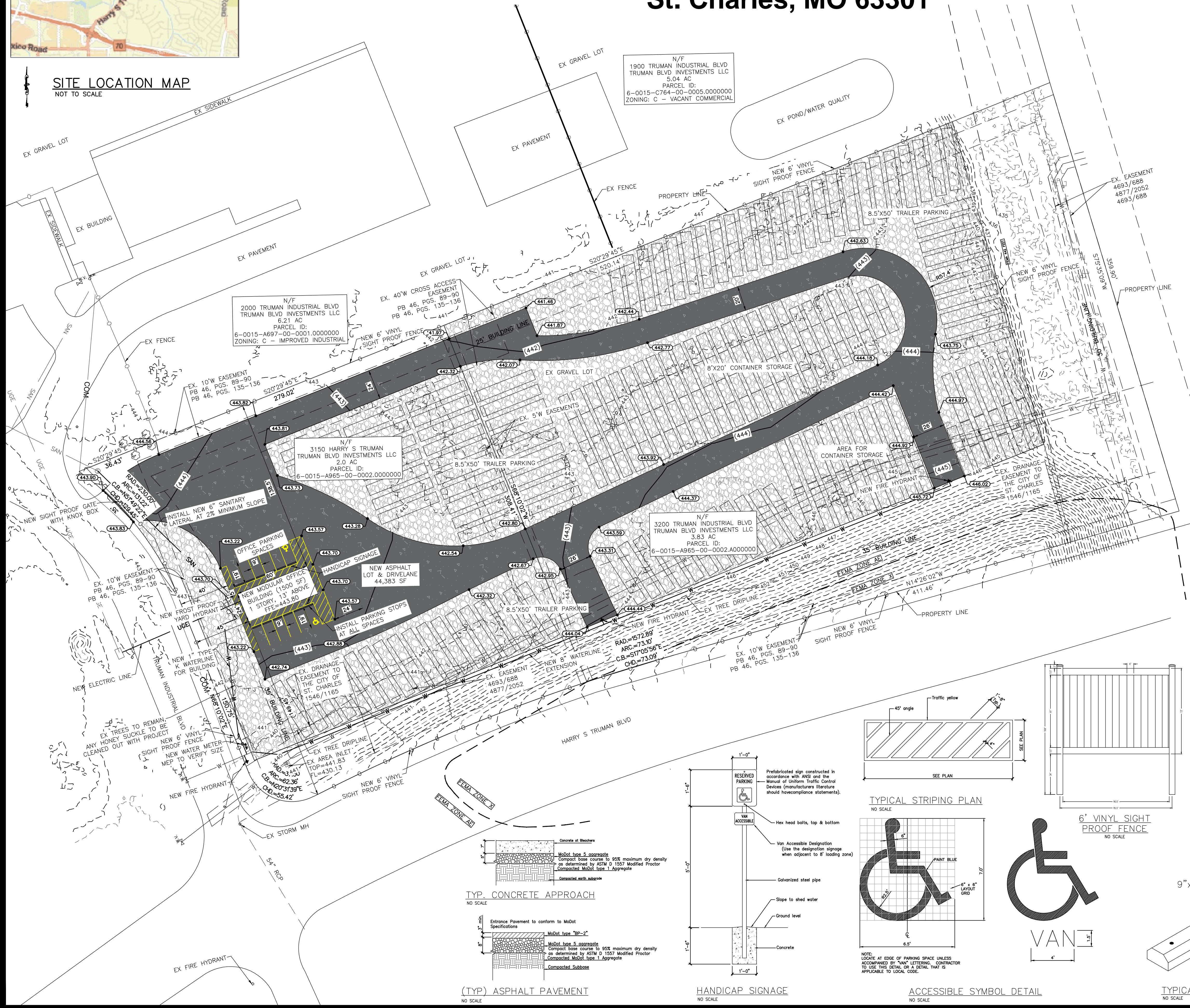


Figure 5: Submitted site plan.

TRUMAN BLVD INVESTMENTS LLC LOT IMPROVEMENTS 3150 Harry S Truman Blvd St. Charles, MO 63301



SITE LOCATION MAP
NOT TO SCALE



- GENERAL PLAN NOTES:
1. BASIS OF BEARING: ADOPTED FROM THE MISSOURI COORDINATE SYSTEM NAD 1983-EAST ZONE.
 2. REFERENCE BENCHMARK: MISSOURI DEPARTMENT OF TRANSPORTATION VRS NETWORK, NAVD 88.
 3. BUILDING HEIGHT, SITE LIGHTING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF ST. CHARLES REQUIREMENTS.
 4. NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE PROVISIONS OF THE LIGHTING SECTION, CITY OF ST. CHARLES. THEREBY LIGHTING INTENSITY SHALL NOT EXCEED 0.5 FOOT CANDLES AT ALL EXTERIOR PROPERTY LINES.
 5. ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAG GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
 6. ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM. ALL PROPOSED UTILITIES TO BE UNDERGROUND.
 7. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO MEET THE CITY OF ST. CHARLES SPECIFICATIONS.
 8. ANY LAND DISTURBANCE ACTIVITY INVOLVING MORE THAN ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE AND THE APPROPRIATE PERMITS MUST BE OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES.
 9. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
 10. ALL OFFSITE AREAS DISTURBED BY UTILITY REMOVALS, SITE PROPERTY (BUSHES, FENCES, MAILBOXES, ETC.), ABANDONMENT OF UTILITIES OR OTHER WORK SHALL BE RESTORED TO A STABILIZED CONDITION. THE GENERAL CONTRACTOR SHALL PROVIDE NOTICE AT LEAST 72 HOURS IN ADVANCE FOR ANY WORK THAT IS COMPLETED ON OFFSITE PROPERTY.
 11. THE G.C. WILL BE REQUIRED TO OBTAIN ALL PERMITS RELATING TO THIS PROJECT PRIOR TO COMMENCING ANY WORK. THERE MAY BE SOME TIMES WHEN THE CITY AND/OR GOVERNING AGENCY WILL REQUIRE THAT ALL SUBCONTRACTORS BE KNOWN IN ORDER TO COMPLETE THE PERMIT APPLICATION. WHEN REQUESTED, THE G.C. SHALL PROVIDE A LIST TO THE DEVELOPER WITH COMPANY NAMES, ADDRESSES, PHONE/FAX NUMBERS, CONTACT NAMES AND STATE LICENSE NUMBERS.
 12. ALL OFFSITE WORK WILL BE COORDINATED WITH THE ADJACENT PROPERTY OWNERS AND SHALL NOT COMMENCE WITHOUT THEIR WRITTEN CONSENT OR WITHOUT THE EXECUTION OF TEMPORARY CONSTRUCTION EASEMENTS.
 13. THE G.C. IS TO FILE A "NOTICE OF COMMENCEMENT" AS REQUIRED BY THE LAWS GOVERNING THE STATE THAT THE PROJECT FALLS IN AND SUBMIT ALL PAPERWORK TO THE DEVELOPER.
 14. EXISTING ITEMS TO BE REMOVED ARE NOT SHOWN TO PROVIDE CLARITY.
 15. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE MUNICIPAL CODE OF THE CITY OF ST. CHARLES.
 16. THIS PROPERTY LIES WITHIN SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 2918300266G, CITY OF ST. CHARLES, MISSOURI AND INCORPORATED AREAS DATED 1/20/2016. THE PROPERTY IS IN ZONE AE, AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE (100-YEAR) FLOOD, WITH BASE FLOOD ELEVATIONS PROVIDED.
 17. CIVIL CONSTRUCTION DOCUMENTS SHALL BE IN COMPLIANCE WITH ARTICLE VII OF THE ZONING CODE, "70" PLANNED DEVELOPMENT DISTRICTS.
 18. ALL SANITARY SEWER LATERALS SHALL BE SDR 35 PVC.
 19. NO SLOPE IS TO EXCEED 3 HORIZONTAL TO 1 VERTICAL.
 20. ALL HVAC AND MECHANICAL UNITS AND ALL ROOF TOP UNITS SHALL BE PROPERLY SCREENED IN ACCORDANCE WITH THE CITY OF ST. CHARLES CODE OF ORDINANCES.

OFFICE:
1 SPACE PER 350 SF = (1500 / 350) = 4.29 ~ 5 SPACES REQUIRED

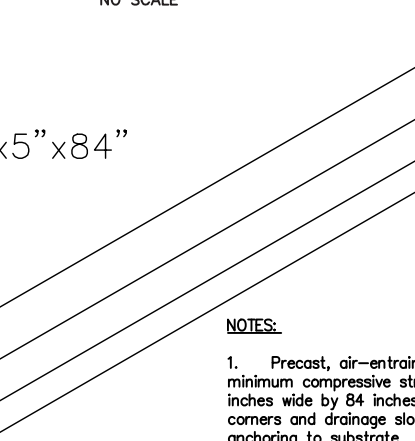
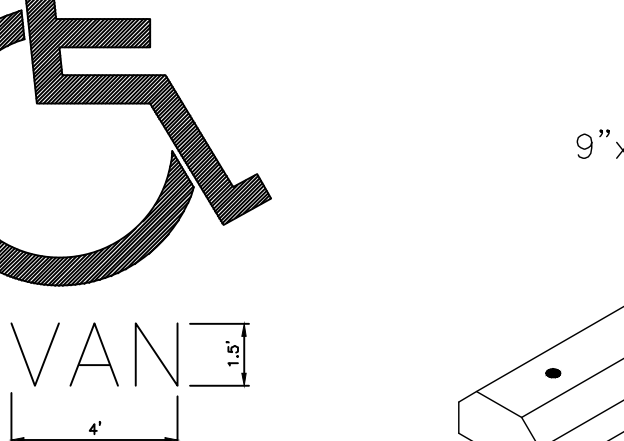
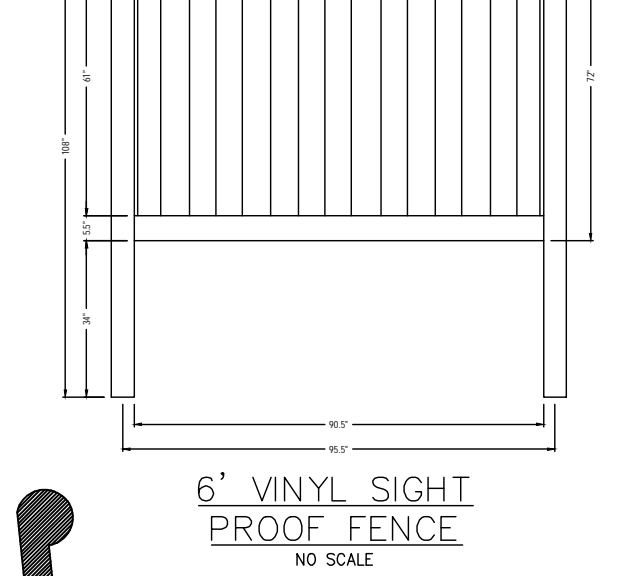
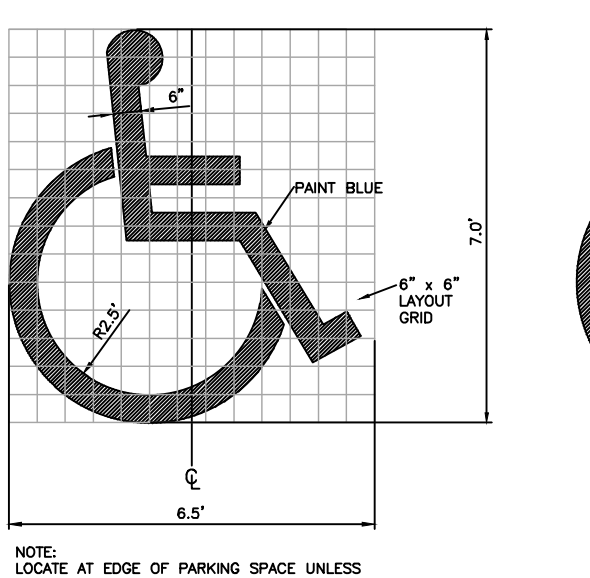
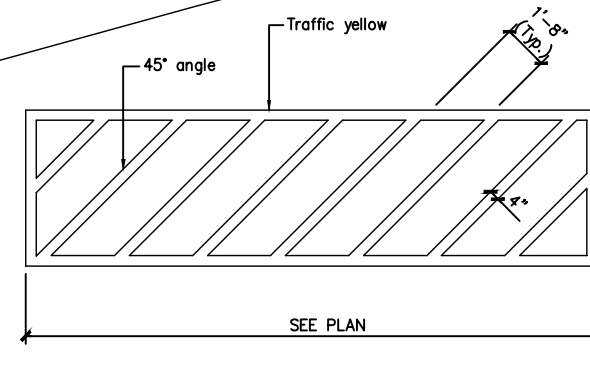
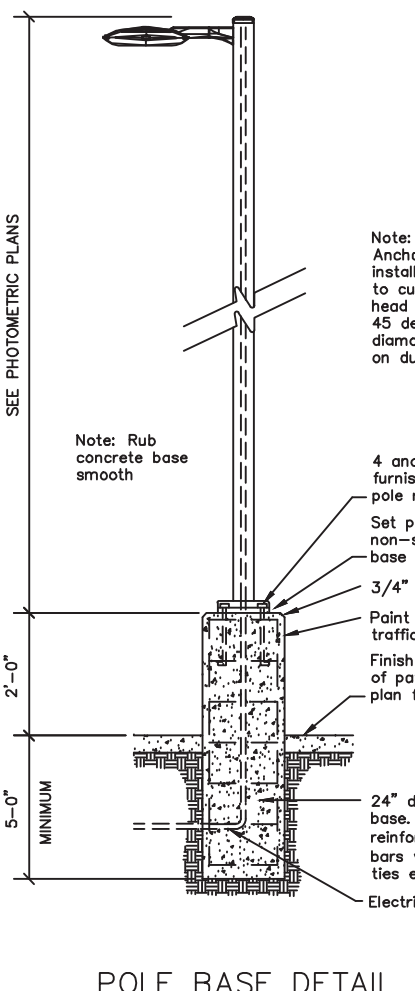
TOTAL SPACES REQUIRED: 5 SPACES
TOTAL SPACES PROVIDED: 12 SPACES

ACCESSIBLE SPACES REQUIRED: SECTION 208.2 OF 2010 ADA STANDARDS FOR ACCESSIBLE ESIGN REQUIRES 1 ACCESSIBLE SPACES FOR 0 TO 25 PARKING SPACES ~ 2 ACCESSIBLE SPACES PROVIDED

SHEET INDEX	
SHEET TITLE	SHEET NO.
SITE PLAN	C1.0
FIRE APPARATUS TURNING RADIUS	C2.0
PHOTOMETRIC PLAN	PAGE 1 OF 1

OWNER INFORMATION / SITE DATA	
PLANS PREPARED FOR:	TRUMAN BLVD INVESTMENTS LLC
PROPERTY OWNER:	TRUMAN BLVD INVESTMENTS LLC 3150 HARRY S TRUMAN BLVD & 3200 TRUMAN INDUSTRIAL BLVD ST. CHARLES, MO 63301
PARCEL ID:	6-0015-A965-00-0002.0000000 6-0015-A965-00-0002.0000000
TOTAL SITE AREA:	5.83± ACRES
EXISTING ZONING:	C - VACANT COMMERCIAL
CONTRACTOR:	BYRNE & JONES CONSTRUCTION 13940 ST. CHARLES ROCK RD BRIDGETON, MISSOURI 63044 314-567-7997

SITE COVERAGE CALCULATIONS	
EXISTING:	
±5.83 ACRES TOTAL	13.01 CFS
4.25 AC. GRAVEL @ 3.06=	2.69 CFS
1.58 AC. OPEN SPACE @ 1.70=	15.70 CFS
PERCENTAGE IMPERVIOUS=	72.90%
PROPOSED:	
±5.83 ACRES TOTAL	16.30 CFS
1.58 AC. OPEN SPACE @ 1.70=	2.69 CFS
2.99 AC. GRAVEL @ 3.06=	9.15 CFS
1.23 AC. PAVEMENT AREA @ 3.54=	4.35 CFS
0.03 AC. ROOF AREA @ 3.54=	0.11 CFS
PERCENTAGE IMPERVIOUS=	72.90%
SITE DIFFERENTIAL = 0.60 CFS	
OPEN SPACE = 27.10%	



- NOTES:
1. Precast, air-entrained concrete, 2500-psi minimum compressive strength, 5 1/2 inches high by 9 inches wide by 84 inches long. Provide chamfered ends and drainage slots on underside and holes for anchoring to substrate.
 2. Dowels: Galvanized steel, 3/4-inch diameter, 10-inch minimum length.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Byrne & Jones CONSTRUCTION
13940 St. Charles Rock Rd.
St. Louis, Missouri 63044
(314) 567-7997
www.byrneandjones.com

ASPHALT | CONCRETE | STABILIZATION | MICROSURFACING | SPORTS

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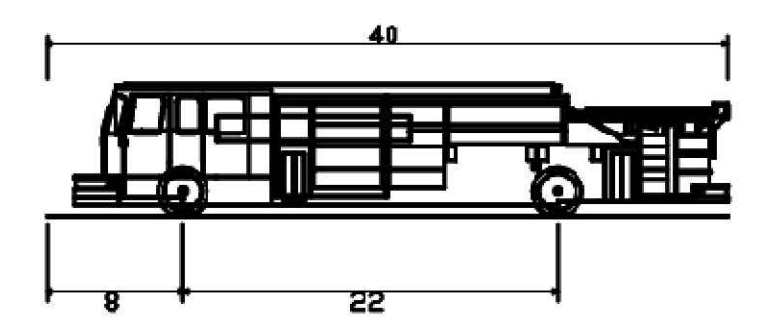
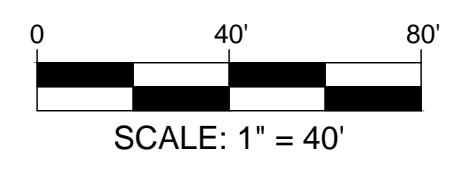
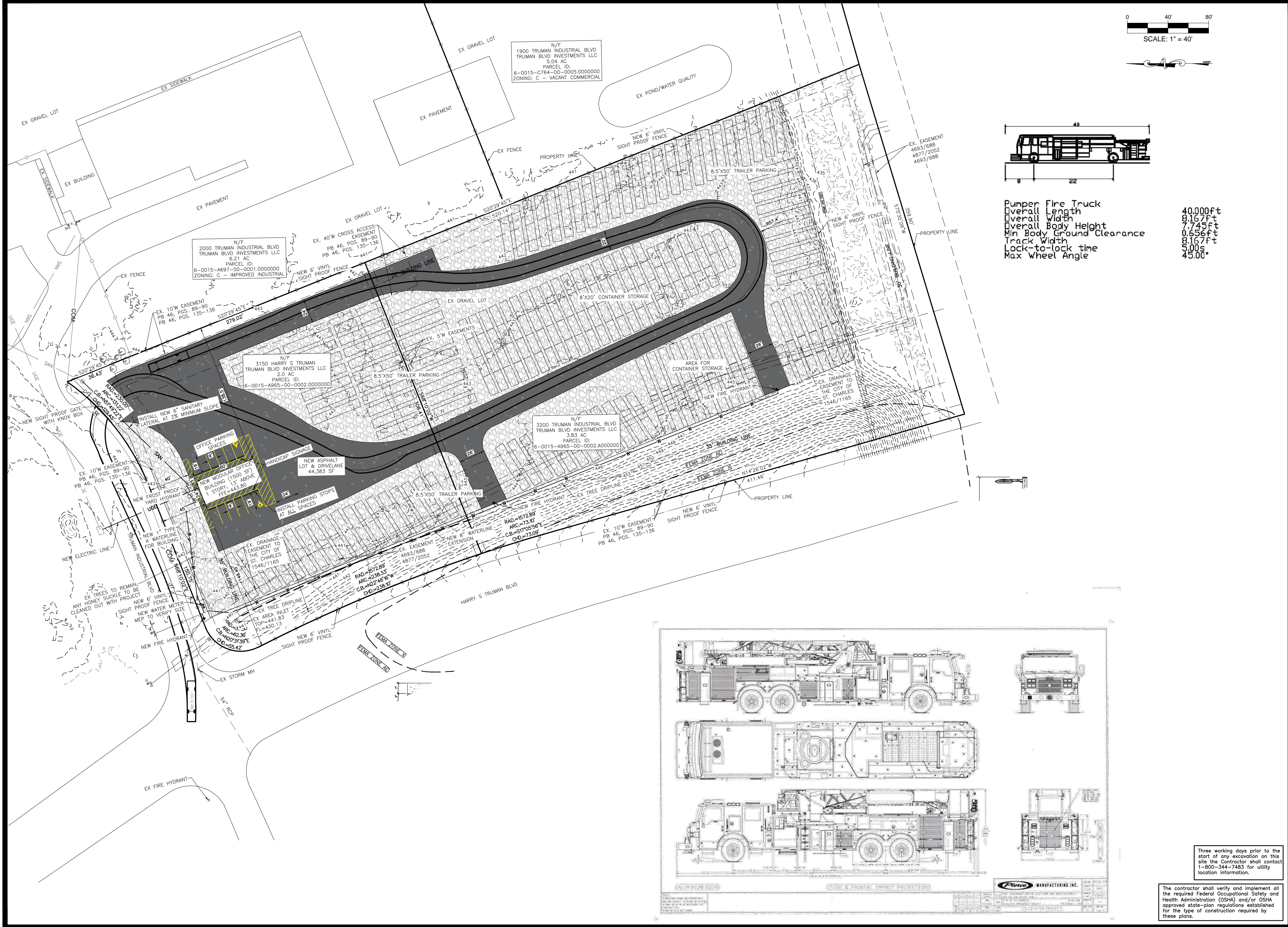
PRELIMINARY - NOT FOR CONSTRUCTION

Kurt Kutter, PE
No. 2018021213
Byrne & Jones Enterprises, Inc.
Professional Eng. Corp.
2020021233

LOT IMPROVEMENTS
TRUMAN BLVD INVESTMENTS LLC
3150 Harry S Truman Blvd
St. Charles, Missouri 63301

DATE	DESCRIPTION
4/10/2026	PERMIT
5/1/2026	CITY COMMENTS

JOB No. _____
DRAWN S.A.L. CHECKED K.A.K.
SHEET NAME: SITE PLAN
C1.0

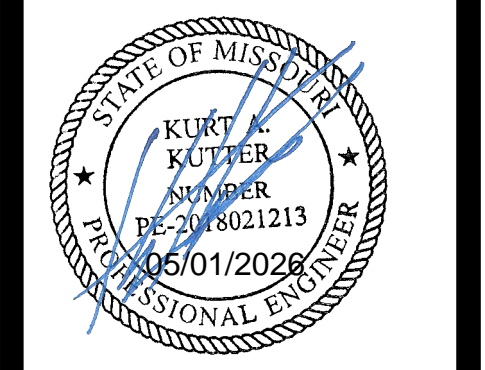


Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

Byrne & Jones CONSTRUCTION
 13940 St. Charles Rock Rd.
 St. Louis, Missouri 63044
 (314) 567-7997
 www.byrneandjones.com

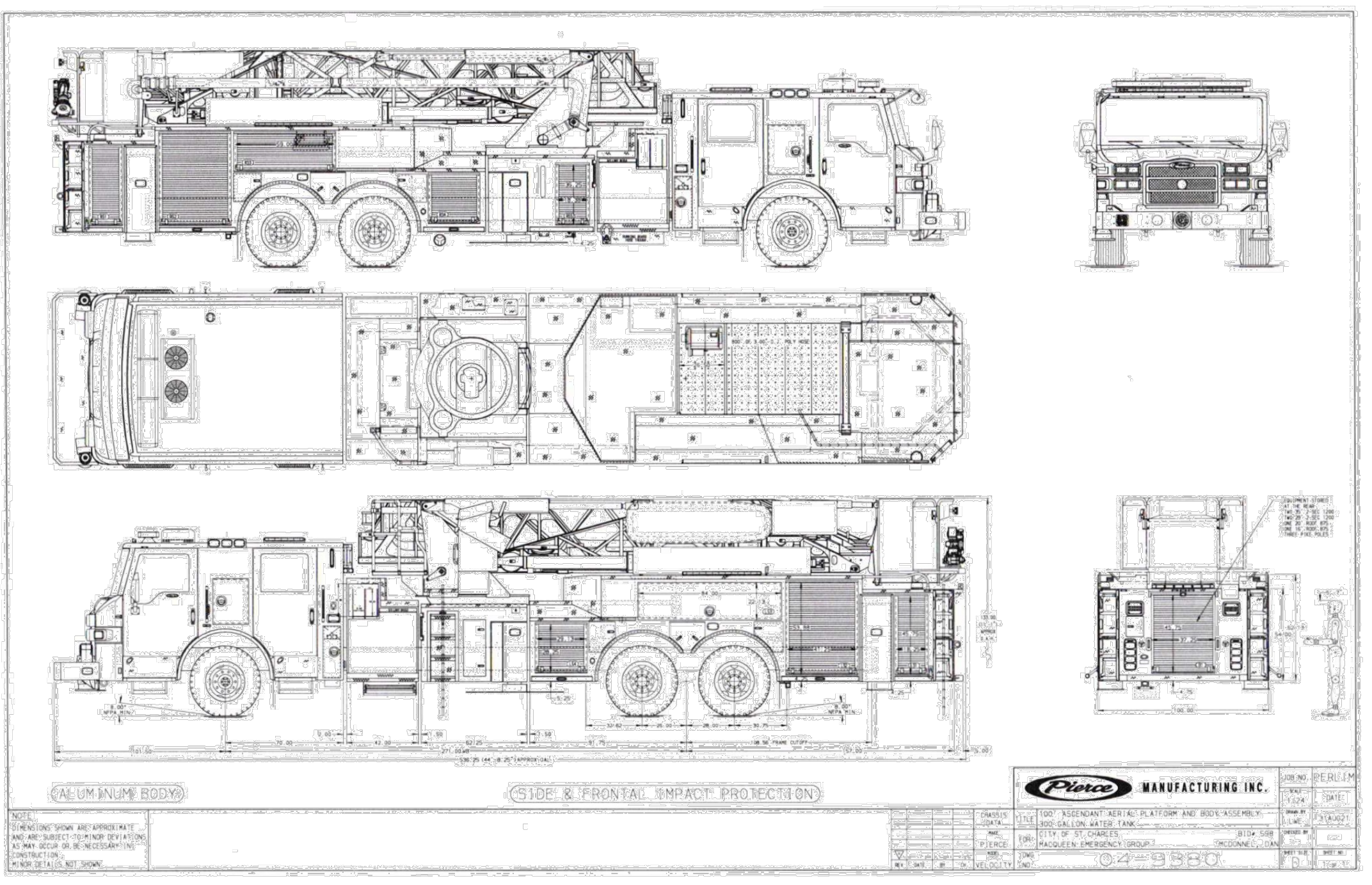
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PRELIMINARY — NOT FOR CONSTRUCTION
 Kurt Kutter, PE
 No. 2018021213
 Byrne & Jones Enterprises, Inc.
 Professional Eng. Corp.
 2020021233

LOT IMPROVEMENTS
TRUMAN BLVD INVESTMENTS LLC
3150 Harry S Truman Blvd
St. Charles, Missouri 63301



Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

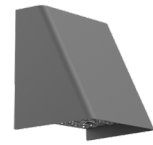
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

DATE	DESCRIPTION
4/10/2026	PERMIT
5/1/2026	CITY COMMENTS

DRAWN S.A.L. CHECKED K.A.K.

SHEET NAME
 FIRE APPARATUS TURNING RADIUS

C2.0



Geoform wedge small LED wall sconce GWS features a compact geometric design that will complement a range of architectural styles. GeoForm wedge small features specialized, highly efficient optics which balance low glare with excellent performance. Type 2, 3 and 4 optical distributions are available with up to 5500 lumens. A diffuse lens option is also available for over doorway applications. Emergency battery backup option provides path-of-egress illumination. Multiple control options further enhance energy savings.

Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Lamps: _____ Qty: _____
 Notes: _____

Ordering guide

example: GWS-A01-830-T2M-120-BK

Luminaire	Configuration (nom. lumens)	Color Temperature	Distribution	Voltage	Dimming Controls ²	Electrical	Options	Finish
GWS								
GWS GeoForm Wedge Small	A01 ¹ 1,500 lumens	830 80CRI 3000K	T2M Type 2	120 120V	none Leave blank (0-10V dimming driver standard) DLEA ² Dimming Leads Externally Accessible (controls by others) FAWS ² Field Adjustable Wattage Selector	none Leave blank (10kV kA surge protection standard) SP2 Surge Protector 20kV/10kA FS1 Single Fuse (120, 277, or 347VAC) FS2 Double Fuse (208V, 240V, or 480V) PCB ³ Photocontrol Button (120-277V)	none Leave blank EM ¹ Emergency Battery Pack (0-40°C) BAC ⁴ Meets the requirements of the Buy American Act of 1933 (BAA) BABAF ⁴ Meets the requirements of the Build America Buy America Act for projects funded through FHWA that are obligated before October 1, 2026, and meets the Buy America preferences for FTA	Textured BK Black WH White BZ Bronze DG Dark Gray MG Medium Gray Customer specified OC Specify optional color or RAL, contact factory SC Special Color (must supply color chip, requires factory quote)
	A02 ¹ 2,500 lumens	840 80CRI 4000K	T3M Type 3	208 208V				
	A03 4,000 lumens	740 70CRI 4000K	T4M Type 4	240 240V				
	A04 5,000 lumens	750 70CRI 5000K	DFL Diffusing lens	277 277V UNV 120-277V 347 347V 480 480V HVU 347-480V				
	A05 6,000 lumens							

Luminaire Accessories (order separately)⁵

- GF-WS-BK Wall Mounted Box for surface conduit, painted black
- GF-INV Inversion Mounting kit (required with inverted mounting)

1. Only available from 120-277V, or in UNV.
2. Only one option can be selected from Dimming Controls column.
3. Only available from 120-277V, must specify voltage.
4. Failure to properly select the "BAC" suffix could result in you receiving product that is not BAA compliant product with no recourse for an RMA or refund. This BAC designation hereunder does not address (i) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (ii) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies. Genlyte's products with a BAC option code designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. "BABAF" designates the product will meet the standards set by FHWA for BABA and FTA for Buy America. As noted, for FHWA BABA compliance, applicable projects must be funded by October 1, 2026.
5. Consult Signify to confirm whether specific accessories are BAA-compliant.



GWS GeoForm wedge small

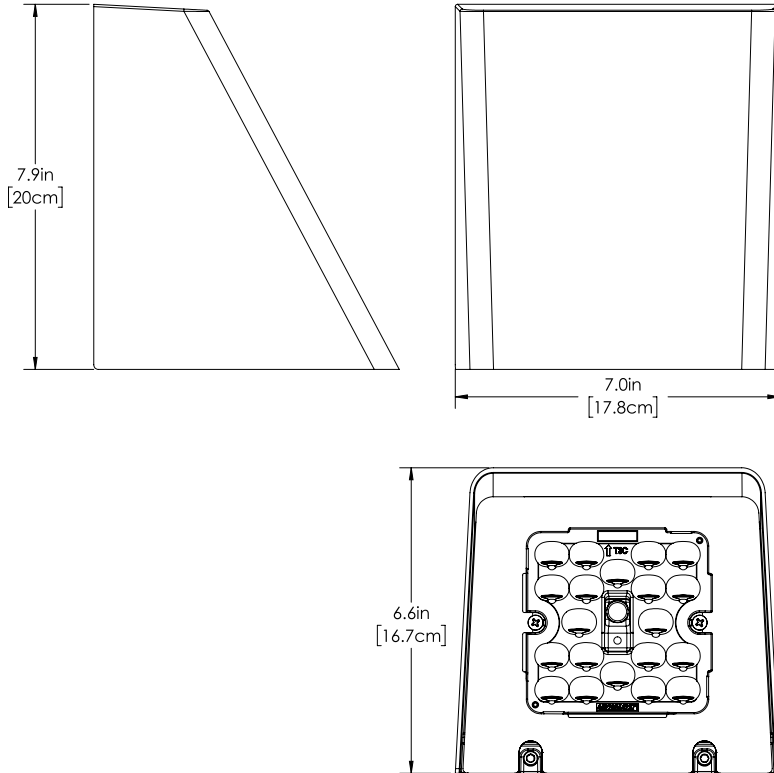
Wall sconce

Dimensions

GWS Wedge

Standard

Weight: 5.5 Lbs (2.5kg)



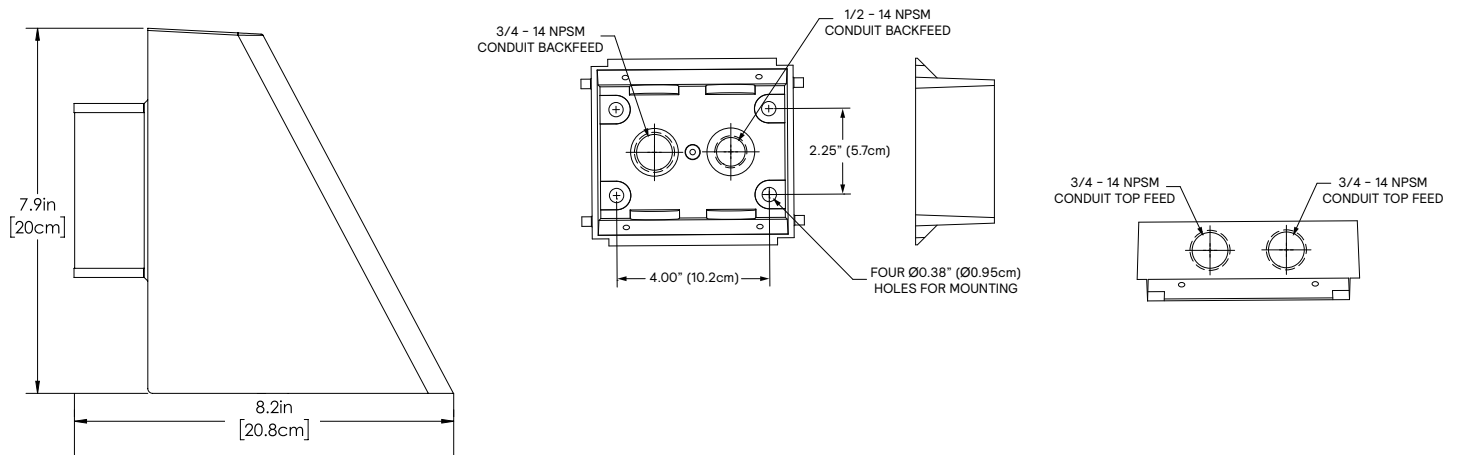
Accessory details

Surface mount conduit box (GF-WS-BK)

GWS Wedge with surface conduit wall mount box

Weight: 5.9 Lbs (2.7kg)

GF-WS-BK Details



GWS GeoForm wedge small

Wall sconce

GWS Lumen values

3000K, 80CRI

Ordering Code	CCT	CRI	Average System Wattage	Type 2M			Type 3M			Type 4M		
				Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
GWS-A01-830	3000	80	10	1483	B1-U0-G1	145	1503	B1-U0-G1	147	1467	B0-U0-G1	144
GWS-A02-830	3000	80	17	2478	B1-U0-G1	147	2511	B1-U0-G1	149	2452	B1-U0-G1	145
GWS-A03-830	3000	80	25	3522	B1-U0-G1	143	3570	B1-U0-G1	145	3485	B1-U0-G1	142
GWS-A04-830	3000	80	34	4601	B1-U0-G1	137	4664	B1-U0-G1	139	4553	B1-U0-G1	136
GWS-A05-830	3000	80	41	5501	B2-U0-G2	134	5575	B2-U0-G2	136	5443	B1-U0-G1	132

4000K, 80CRI

Ordering Code	CCT	CRI	Average System Wattage	Type 2M			Type 3M			Type 4M		
				Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
GWS-A01-840	4000	80	10	1537	B1-U0-G1	151	1558	B1-U0-G1	153	1521	B0-U0-G1	149
GWS-A02-840	4000	80	17	2569	B1-U0-G1	152	2604	B1-U0-G1	154	2542	B1-U0-G1	151
GWS-A03-840	4000	80	25	3652	B1-U0-G1	148	3701	B1-U0-G1	150	3613	B1-U0-G1	147
GWS-A04-840	4000	80	34	4771	B1-U0-G1	142	4835	B2-U0-G2	144	4721	B1-U0-G1	141
GWS-A05-840	4000	80	41	5703	B2-U0-G2	139	5780	B2-U0-G2	141	5643	B1-U0-G2	137

4000K, 70CRI

Ordering Code	CCT	CRI	Average System Wattage	Type 2M			Type 3M			Type 4M		
				Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
GWS-A01-740	4000	70	10	1732	B1-U0-G1	170	1756	B1-U0-G1	172	1714	B1-U0-G1	168
GWS-A02-740	4000	70	17	2895	B1-U0-G1	171	2934	B1-U0-G1	174	2865	B1-U0-G1	170
GWS-A03-740	4000	70	25	4115	B1-U0-G1	167	4171	B1-U0-G1	170	4072	B1-U0-G1	166
GWS-A04-740	4000	70	34	5376	B2-U0-G2	160	5449	B2-U0-G2	163	5320	B1-U0-G1	159
GWS-A05-740	4000	70	41	6427	B2-U0-G2	156	6514	B2-U0-G2	158	6359	B1-U0-G2	155

5000K, 70CRI

Ordering Code	CCT	CRI	Average System Wattage	Type 2M			Type 3M			Type 4M		
				Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
GWS-A01-750	5000	70	10	1663	B1-U0-G1	163	1686	B1-U0-G1	165	1646	B1-U0-G1	161
GWS-A02-750	5000	70	17	2780	B1-U0-G1	165	2818	B1-U0-G1	167	2751	B1-U0-G1	163
GWS-A03-750	5000	70	25	3952	B1-U0-G1	161	4005	B1-U0-G1	163	3910	B1-U0-G1	159
GWS-A04-750	5000	70	34	5163	B2-U0-G2	154	5233	B2-U0-G2	156	5109	B1-U0-G1	153
GWS-A05-750	5000	70	41	6172	B2-U0-G2	150	6255	B2-U0-G2	152	6107	B1-U0-G2	149

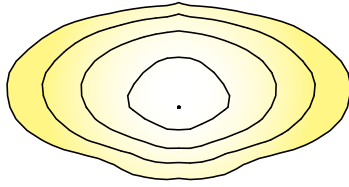
LED Wattage and Lumen Values (Emergency Mode)

Ordering Code	CCT	CRI	Avg. System Wattage (W)	Type 2		Type 3		Type 4		DFL	
				Lumen Output	BUG Rating	Lumen Output	BUG Rating	Lumen Output	BUG Rating	Lumen Output	BUG Rating
GWS-A01/2/3/4/5-830-x-EM	3000	80	6	856	B0-U0-G0	868	B0-U0-G0	847	B0-U0-G1	717	B1-U0-G0
GWS-A01/2/3/4/5-840-x-EM	4000	80	6	887	B0-U0-G0	899	B0-U0-G0	878	B0-U0-G1	743	B1-U0-G0
GWS-A01/2/3/4/5-740-x-EM	4000	70	6	1000	B0-U0-G0	1014	B0-U0-G0	990	B0-U0-G1	838	B1-U0-G0
GWS-A01/2/3/4/5-750-x-EM	5000	70	6	960	B0-U0-G0	973	B0-U0-G0	950	B0-U0-G1	804	B1-U0-G0

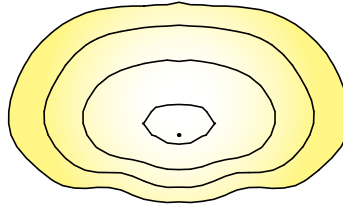
GWS GeoForm wedge small

Wall sconce

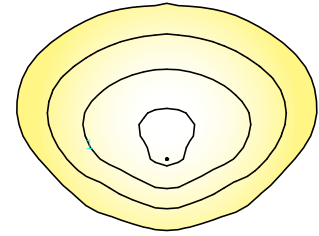
Optical Distributions



Type 2



Type 3



Type 4

Specifications

Construction

Main body housing and door frame made of low copper die cast aluminum alloy for a high resistance to corrosion. Removable die cast backplate to allow access to driver or other electronic components for servicing. The housing acts as the main heat sinking component, for maximum thermal dissipation. Giving the freedom to have a clean minimalist aesthetic design while allowing it to house emergency battery backup equipment and various other options. Luminaire housing rated to IP65, tested in accordance to Section 9 of IEC 60598-1.

IK Rating IK08 high impact resistance rating for both the housing and optics

IP Rating IP65 rated luminaire with IP66 rated light engine

Light engine

Electrical components are RoHS compliant, IP66 sealed light engine equipped LEDs tested by ISO 17025-2005 accredited lab in accordance with IESNA LM-80 guidelines in compliance with EPA ENERGY STAR, extrapolations in accordance with IESNA TM-21. Metal core board ensures greater heat transfer and longer lifespan.

LED Module

LED PCBA made of 20 LEDs populated on aluminum metal clad board for optimal thermal dissipation ensuring long LED life.

Optical System

Composed of high performance UV stabilized optical grade polymer refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Performance tested per LM-63, LM-79 and TM-15 (IESNA) certifying its photometric performance. 0% uplight and U0 per IESNA TM-15.

Mounting

Mounting is achieved through integral back plate that features a hook and lock quick mount plate that secures with two set screws from bottom of luminaire. Mounting plate is located in the center of the luminaire body. Luminaire ships fully assembled, ready to install. GeoForm requires a mounting kit accessory for use of inverted luminaires. Mounting kit includes Safety Cable and hardware. GeoForm with Precision Plus optics are suitable for damp locations only when inverted.

Installation

GeoForm features an integral hook on its mounting plate which allows a single installer to perform wiring without assistance. See installation instructions for complete details.

Control options

0-10V dimming (DLEA): Access to 0-10V dimming leads supplied through back of luminaire (for secondary dimming controls by others). Cannot be used with other control options.

Field Adjustable Wattage Selector (FAWS): Luminaire equipped with the ability to manually adjust the wattage in the field to reduce total luminaire lumen output and light levels. Comes pre-set to the highest position lumen output selected. Use chart below to estimate reduction in lumen output desired. Cannot be used with other control options or motion response.

FAWS Position	Percent of Typical Lumen Output
1	25%
2	50%
3	55%
4	65%
5	75%
6	80%
7	85%
8	90%
9	95%
10	100%

Note: Typical value accuracy +/- 5%

Emergency Battery Backup (EM): Emergency battery packs included integral to the luminaire, allowing for a consistent look between emergency and non-emergency luminaires. Emergency is suitable for use in ambient temperature conditions from 0°C (32°F) to 40°C (104°F) designed to have a secondary driver with relay to immediately detect AC power loss to power luminaire for a minimum of 90 minutes from the time power is lost. Available with 120-277V, or 'UNV' only.

Electrical

Driver: Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. 0-10V dimming driver down to 10% standard. RoHS compliant.

Button Photocontrol (PCB): Button style design for internal luminaires mounting applications. The photocontrol is constructed of a high impact UV stabilized polycarbonate housing. Rated voltage of 120V or 208-277V with a load rating of 1000 VA. The photocell will turn on with 1-4Fc of ambient light.

Surge protection (SP2): Each luminaire is provided as standard with surge protector tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/5kA waveforms for Line Ground, Line Neutral and Neutral Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid-State Street Lighting Consortium) Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High Test Level 10kV / 5kA. Optional 20kV is available for additional protection.

GWS GeoForm wedge small

Wall sconce

Specifications (cont'd)

Listings

UL/cUL listed to the UL 1598 standard, suitable for wet locations when mounted downward facing. Also listed for damp locations when inverted upward facing when mounted in covered ceiling application. Suitable for use in ambient temperatures from -40° to 40°C (-40° to 104°F). All GeoForm configurations are qualified under Design Lights Consortium® Premium category. Consult DLC Qualified Products List on Specific Classifications and for more details. CCTs 3000K and warmer are IDA Dark Sky Approved. FCC Compliant.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powder coat finish. The surface treatment achieves a minimum of 1000 hours for salt spray resistant finish in accordance with testing performed and per ASTM B117 standard. Standard colors include bronze (BZ), black (BK), white (WH), dark gray (DGY), and medium gray (MGY). Consult factory for specs on optional or custom colors.

Service Tag

Each individual luminaire is uniquely identifiable, thanks to the Service tag application. With a simple scan of a QR code, placed on the inside of the mast door, you gain instant access to the luminaire configuration, making installation and maintenance operations faster and easier, no matter what stage of the luminaire's lifetime. Just download the APP and register your product right away. For more details visit: [signify.com](https://www.signify.com)

Warranty

GeoForm luminaires feature a 5-year limited warranty. See [signify.com/warranties](https://www.signify.com/warranties) for complete details and exclusions.

Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours

Ambient Temperature °C	Drive current	L ₇₀ per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1200 mA	>102,000 hours	>91%





AGENDA ITEM #12

**STAFF REPORT
SITE PLAN NO. SP-2025-09
2001 TRUMAN INDUSTRIAL BLVD.**

**MAY 11, 2026
BY LARA BERRY**

APPLICANT: Larry Walker
Bax Engineering Company
221 Point West Boulevard
St. Charles, Missouri 63301

OWNER: Trinity Products, LLC
1969 W Terra Lane
O’Fallon, Missouri 63366

ADDRESS/LOCATION: 2001 Truman Industrial Blvd.
Ward 6

ACREAGE: 26.905 acres (more or less)

EXISTING ZONING: I-2 Heavy Industrial District

REQUEST

The applicant is requesting approval of an amended Site Plan for the 26.9-acre subject property located east of Harry S Truman Boulevard.

The current proposal depicts one (1) approximately 65,000-square-foot manufacturing building, representing a substantial increase from both the originally approved building (11,673 square feet) and a subsequent amended proposal (23,800 square feet). The building has also been shifted slightly to the west from the previously approved locations.

The remainder of the site is proposed to continue to be utilized for outdoor storage of steel pipes and beams. No significant changes are proposed to previously approved architectural materials or required landscaping and buffering elements.

While the overall use of the property remains consistent with prior approvals, the configuration and intensity of development have evolved through multiple amendments since the original site plan approval.

BACKGROUND

Original Approval (2022)

At the May 23, 2022 Planning and Zoning Commission meeting, the Site Plan (SP-2022-14) was reviewed in conjunction with a rezoning request (Z-2022-07). The Commission recommended approval, and the rezoning to the I-2 Heavy Industrial District was approved by City Council on June 21, 2022.

The original Site Plan included a manufacturing building of approximately 11,673 square feet and outdoor storage areas, subject to conditions related to paving, landscaping, and compliance with Industrial Performance Standards.

Subsequent Amendment (2023)

Since the original approval, the applicant has submitted multiple revisions to the Site Plan, including increases in building size and modifications to site layout. The current amendment represents the largest expansion to date, increasing the building footprint to approximately 65,000 square feet and adjusting its location on the site.

These revisions have generally maintained the same overall use but have incrementally altered the scale and configuration of development.

Board of Adjustment Determination (Paving Interpretation)

During implementation of previously approved site plan conditions, alternative surface materials were evaluated in the field to assess their performance under anticipated industrial traffic and heavy equipment loads. These evaluations were conducted to determine whether such materials would be suitable for use in required drive aisles and maneuvering areas.

Following these evaluations, the applicant determined that the initially considered materials did not adequately meet operational needs and proposed the use of chip and seal as an alternative surface treatment.

Upon review of this proposal, staff determined that chip and seal does not meet the requirements of the Zoning Ordinance definition of “paving” or the City’s standards for required vehicular circulation surfaces. Based on this determination, the matter was brought before the Board of Adjustment for interpretation (BOA-2026-03).

Following a public hearing, the Board of Adjustment upheld staff’s interpretation, determining that chip and seal does not meet the definition of paving. This determination confirms that all required vehicular circulation areas must be constructed of approved paving materials consistent with City Code.

Related Site Compliance (3251 Harry S Truman Boulevard)

During the review of this amended Site Plan, discussions also occurred regarding the applicant’s existing facility located at 3251 Harry S Truman Boulevard. That site has been identified as not in compliance with its approved site plan, specifically with respect to the paving of required drive aisles.

To address this issue and allow continued review of the current application, the applicant’s contractor has submitted an executed contract to complete paving improvements at the existing site, with work scheduled to begin June 1, 2026.

However, should this request be approved, it should be noted that a building permit for the proposed development on the subject property will not be issued until all required paving improvements at the existing facility have been completed in compliance with City Code and the approved site plan.

ANALYSIS OF THE SITE PLAN

Overview/Proposed Use

The applicant has submitted an amended Site Plan for the 26.9-acre subject property to accommodate the manufacturing/fabrication of structural steel for Trinity Products along with outdoor storage of pipes and beams.

The current proposal depicts one approximately 65,000-square-foot manufacturing building, representing a significant increase from previously approved plans. The building has been shifted slightly to the west, with the remainder of the site continuing to be utilized for outdoor storage and associated operations.

While the overall use of the property remains consistent with prior approvals, this amendment reflects the most comprehensive revision to the site plan to date. Approval of this Site Plan shall supersede all previously approved site plans associated with SP-2022-14.

Architectural

The applicant has submitted elevation/façade examples for the proposed metal frame building, which is intended to match the main building on Trinity's existing site across Harry S Truman Boulevard. The structure is proposed with standing seam metal wall panels in a light stone color with solar white trim.

Although the Architectural and Design Standards call for 100% masonry exterior walls, the ordinance allows flexibility where proposed materials are consistent with existing development in the area. The applicant has provided justification for the proposed materials, and the building's location, combined with required berming and landscaping, will limit visibility from adjacent roadways. Staff does not object to the proposed materials; however, final approval remains at the discretion of the Commission.

Industrial Performance Standards

Landscaping/Buffering

In accordance with the Industrial Performance Standards, the front yard areas along Harry S Truman Boulevard and Truman Industrial Boulevard are proposed to include landscaped berms with plantings of trees and shrubs. The submitted plans indicate continued compliance with the City's screening and buffering requirements.

These improvements are intended to mitigate visual impacts and provide separation from surrounding properties. A sight-proof gate is also proposed at the site access, consistent with prior conditions.

Sound

The Industrial Performance Standards require compliance with established sound intensity limits. The proposed increase in building size may allow for a greater portion of manufacturing and fabrication activities to occur within an enclosed structure, which is required by Code.

This has the potential to reduce noise impacts associated with outdoor operations. Staff recommends that appropriate sound mitigation measures be incorporated into the building design and that compliance with performance standards be verified prior to issuance of a building permit.

Required berming, landscaping, and the site's separation from residential areas will continue to assist in buffering sound impacts. Outdoor manufacturing activities are not permitted and must occur within the enclosed structure.

Access/Parking/Pavement

Access to the site is provided from Truman Industrial Boulevard, with no direct access proposed from Harry S Truman Boulevard. The site includes a paved entry drive and parking area (4 spaces), consistent with Code requirements.

All drive aisles and vehicular circulation areas are required to be constructed with an approved paving section consisting of three (3) inches of asphalt over eight (8) inches of rock base, in accordance with City standards.

The applicant has previously expressed concern that traditional paving methods may not withstand the weight and frequency of heavy equipment and materials associated with their operations. This concern has contributed to the applicant's preference for alternative surface materials in prior submittals. However, no enhanced paving section or alternative engineered design has been proposed with this amendment to address these stated concerns.

As such, the applicant will be required to construct all drive aisles in compliance with City Code and maintain the integrity and performance of the paved surfaces over time, including repair or replacement as necessary to ensure continued functionality and compliance under heavy industrial use.

As previously noted, the Board of Adjustment upheld staff's interpretation that materials such as asphalt millings and chip and seal do not meet the definition of paving. Therefore, these materials are not permitted for required drive aisles or maneuvering areas.

Additionally, during the review of this application, discussions occurred regarding the applicant's existing facility at 3251 Harry S Truman Boulevard, which is not currently in compliance with its approved site plan with respect to paving. While documentation has been submitted indicating paving work is planned, a building permit for this site will not be issued until paving improvements at the existing facility are completed in compliance with City Code.

STAFF RECOMMENDATION

After review of the amended Site Plan against the City's Zoning Ordinance and applicable development standards, staff finds the proposed plan generally consistent with the intent of the I-2 Heavy Industrial District and compatible with surrounding industrial development patterns. The proposed amendment reflects an increase in building size and minor site reconfiguration, while maintaining compliance with required setbacks, buffering, and permitted land uses.

However, given the history of site plan implementation and outstanding compliance issues associated with required paving standards, staff recommends approval of the Site Plan, subject to the following conditions:

1. Approval of this Site Plan is subject to compliance with all applicable requirements of the City of St. Charles Zoning Ordinance and Building Code.

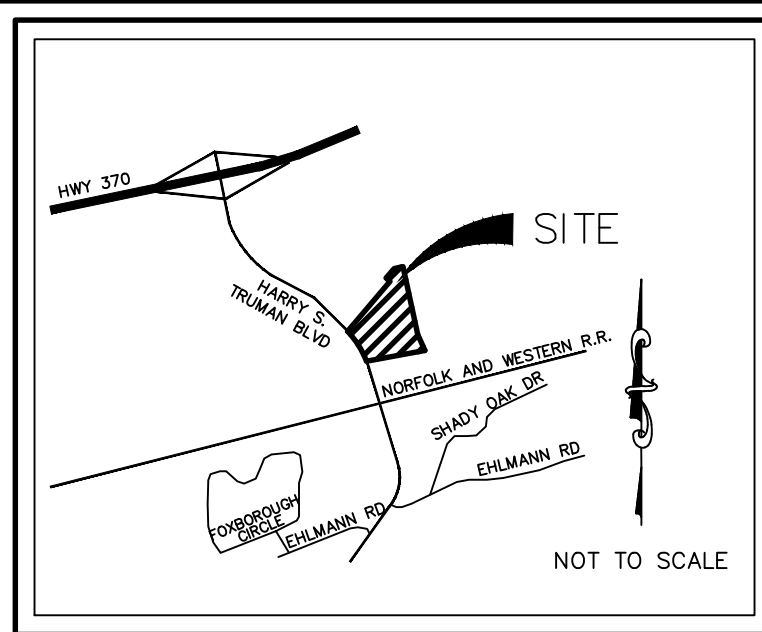
2. This Site Plan shall supersede all previously approved site plans for SP-2022-14 upon approval.
3. All drive aisles depicted on the site plan shall be constructed with approved paving materials in compliance with City Code and maintained in a condition that preserves their structural integrity for industrial use. This requirement shall also apply to any future drive aisles that may be added to the site subsequent to approval of this site plan. Maintenance of all paved drive aisles shall be the responsibility of the property owner to ensure continued compliance with City property maintenance standards.
4. A floodplain development permit and an elevation certificate (both pre- and post-construction) shall be required for the new structure.
5. Prior to the issuance of a building permit for the proposed structure, confirmation that proposed work will be compliant with the I-2 Performance Standards (noise) shall be documented.
6. Approval from the City's Fire Marshal shall be documented prior to approval of a building permit.
7. A building permit for the proposed structure shall not be issued until all required paving improvements at the applicant's existing facility located at 3251 Harry S Truman Boulevard have been completed in compliance with its approved site plan and City Code.

Recommended Motion:

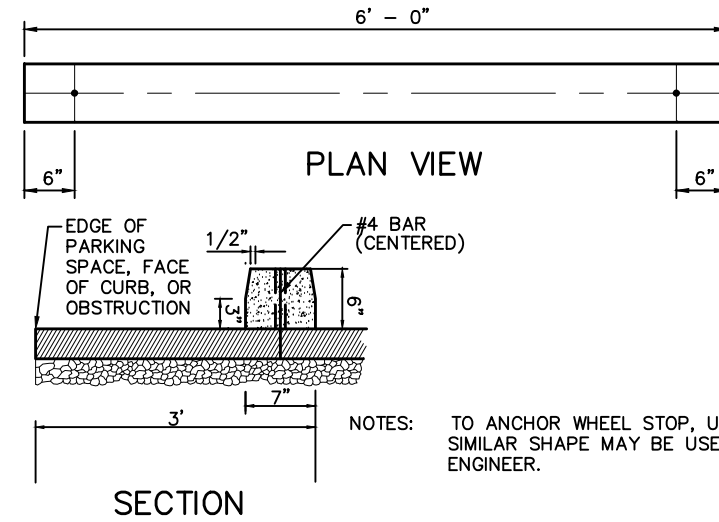
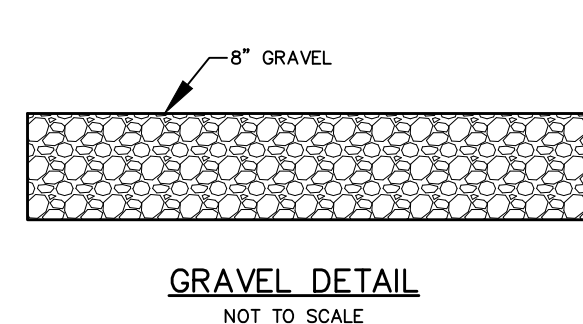
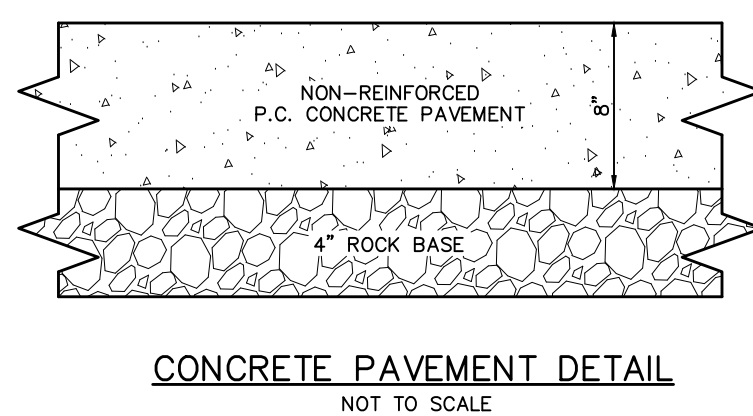
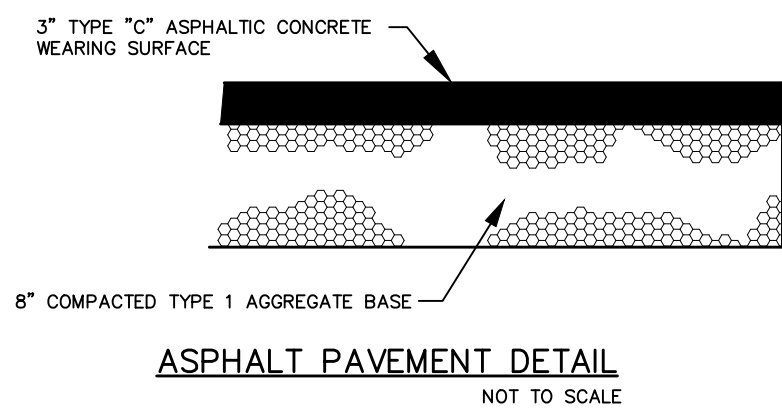
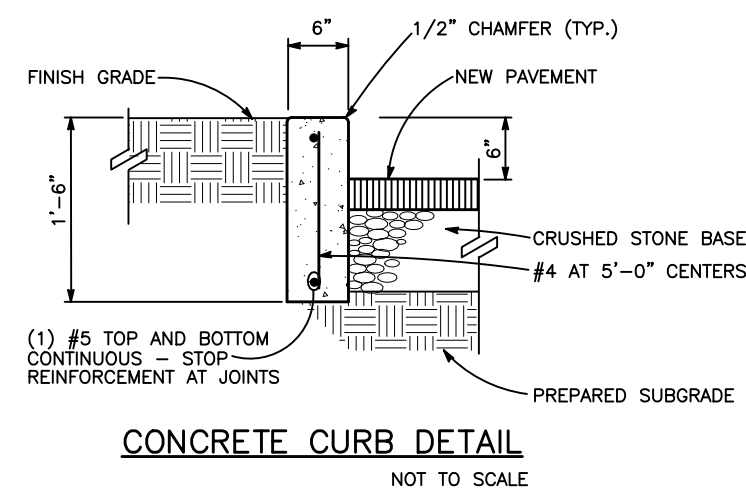
Motion to approve Site Plan SP-2025-09, subject to the conditions recommended by staff.

A SITE PLAN FOR MANUFACTURING BUILDING & STORAGE LOT

A TRACT OF LAND BEING ALL OF ADJUSTED LOT 4B OF
"TRUMAN BUSINESS CENTER PLAT TWO RESUBDIVISION OF LOT 4"
DOCUMENT NO. 2022R-010903,
IN U.S. SURVEY 291, TOWNSHIP 47 NORTH, RANGE 4 EAST
OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF ST. CHARLES
ST. CHARLES COUNTY, MISSOURI

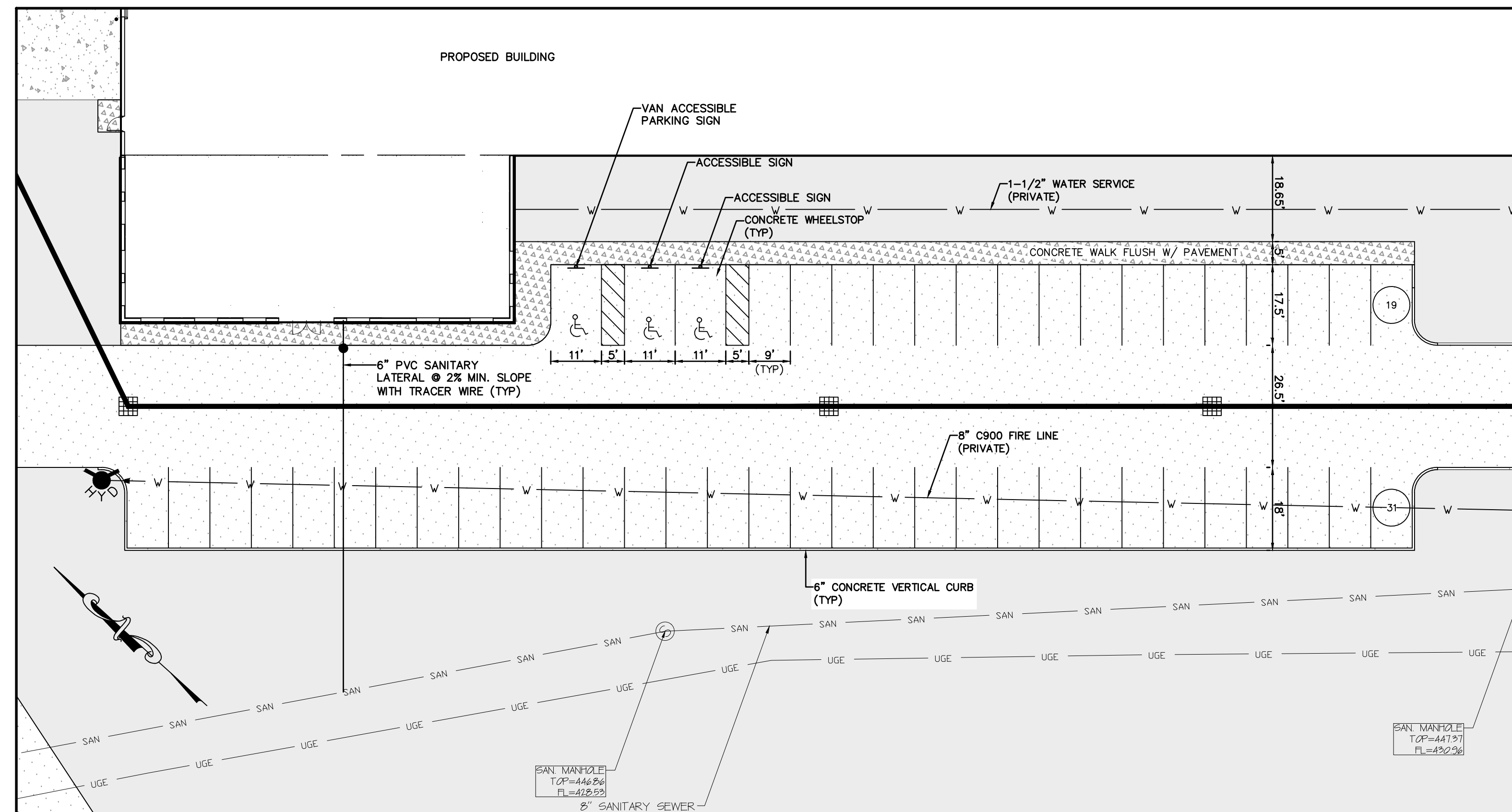


Location Map



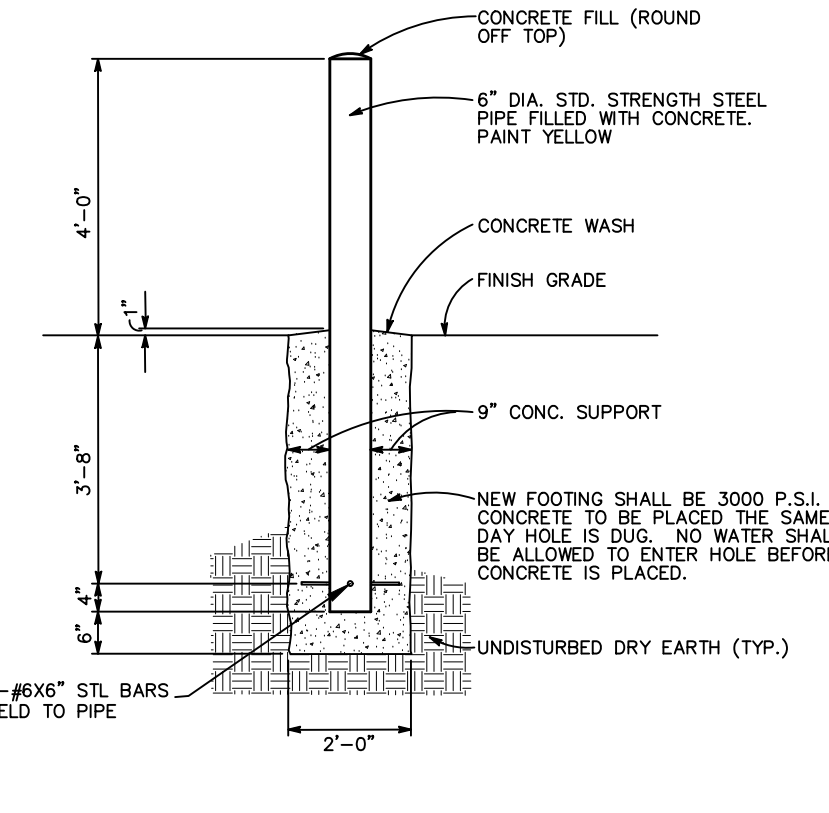
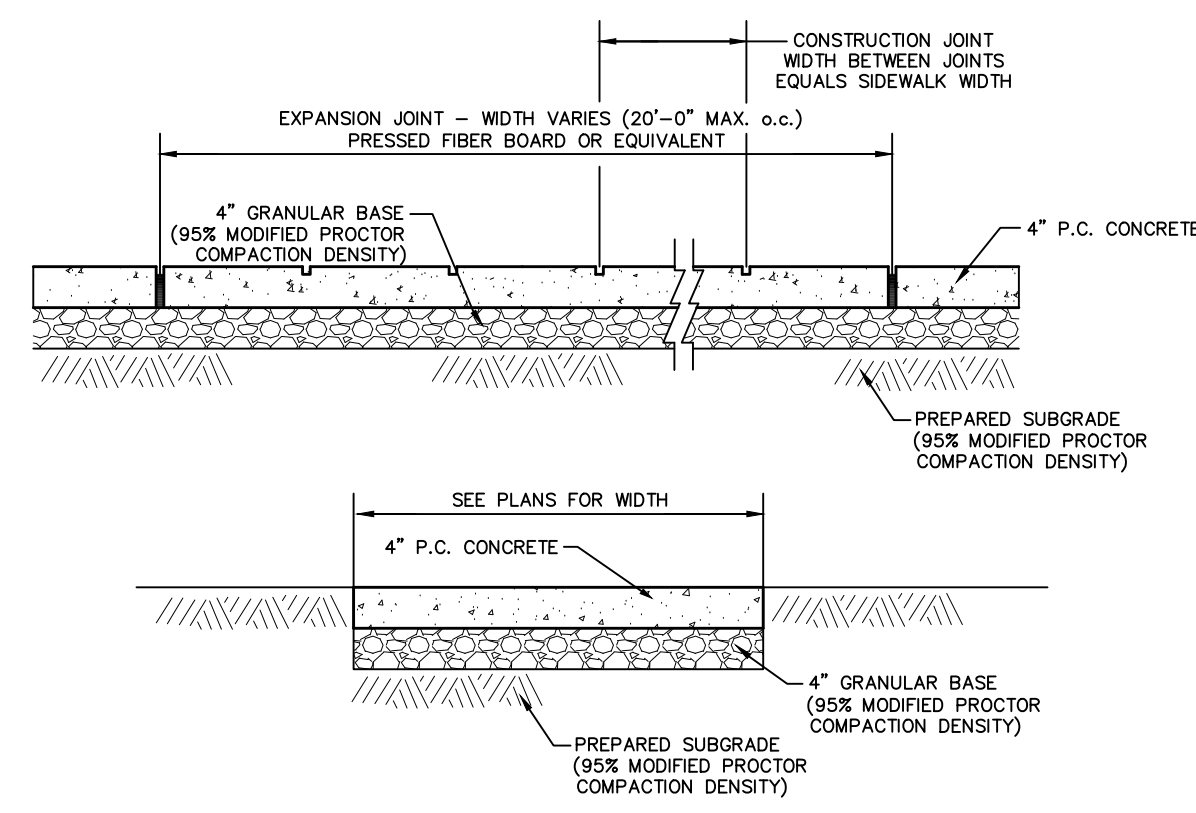
Legend

	FLARED END SECTION		POWER POLE
	CURB/AREA INLET		GUY WIRE
	GRATED INLET		LIGHT STANDARD
	SANITARY SEWER MANHOLE		BOLLARD
	FIBER OPTIC MARKER		WATER WELL
	AC UNIT		UTILITY BOX
	ELECTRIC BOX		TREE
	TELEPHONE CABLE PEDESTAL		L.A. LANDSCAPED AREA
	ELECTRIC METER		BURIED ELECTRIC
	GAS METER		OVERHEAD UTILITIES
	WATER METER		BURIED GAS
	WATER VALVE		BURIED WATER
	FIRE HYDRANT		BURIED TELEPHONE
	ELECTRIC STUB		SANITARY SEWER
	YARD DRAIN		BURIED FIBER OPTIC
	CLEANOUT		TO BE REMOVED
	MAILBOX		USE IN PLACE
	SIGN		



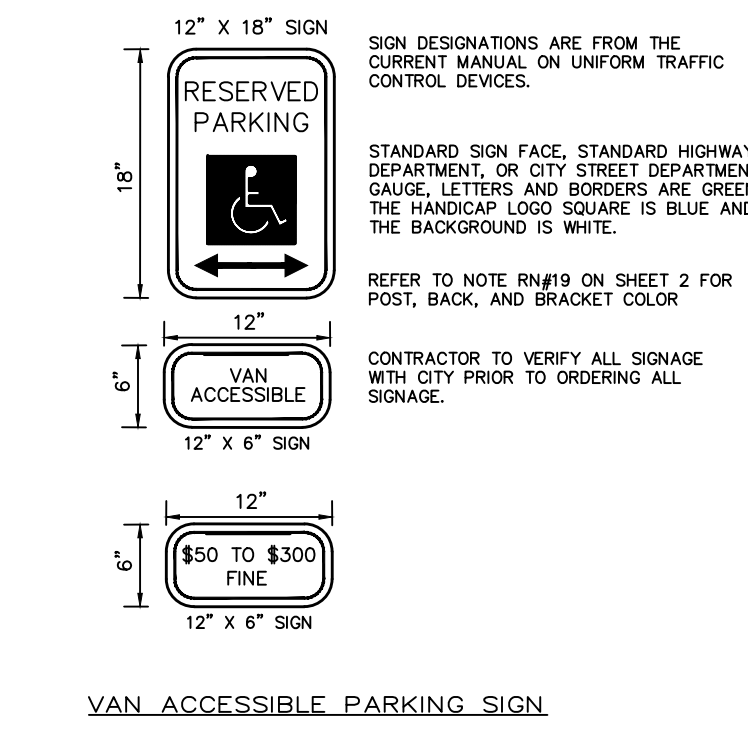
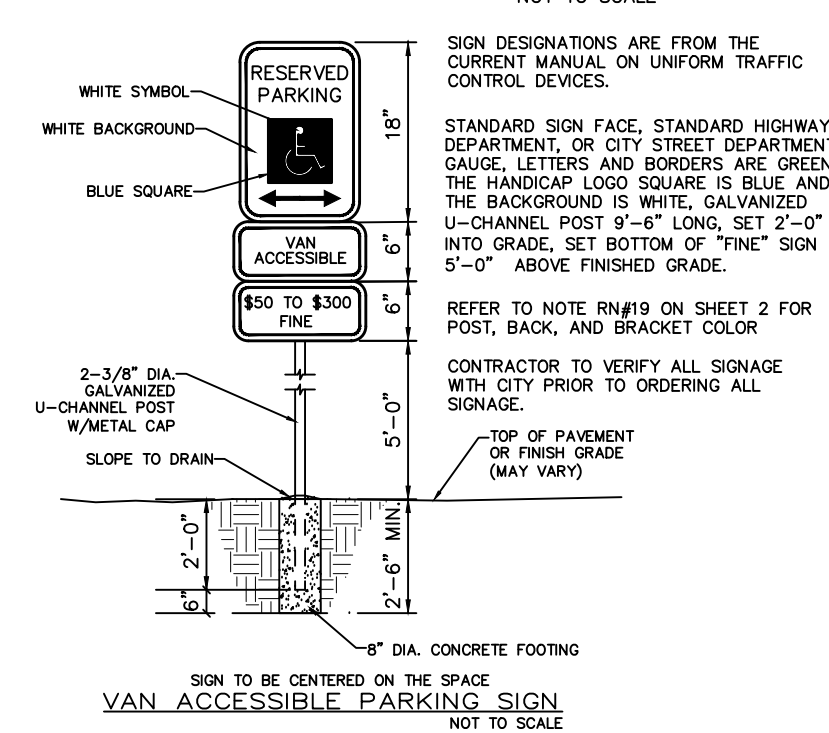
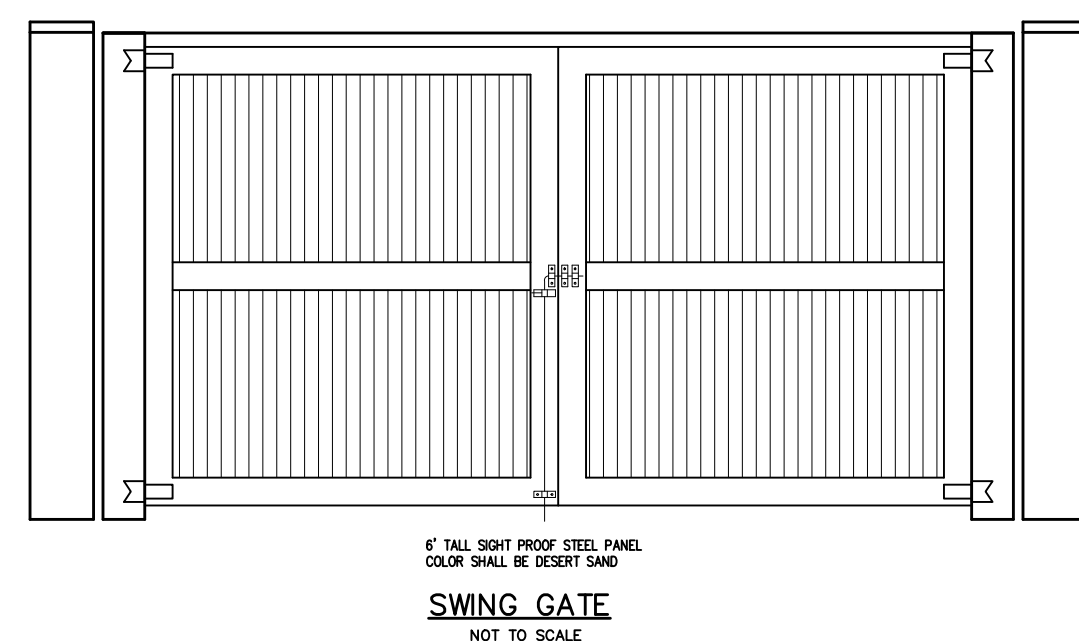
Parking Lot Detail

SCALE: 1" = 20'



LEGEND:

- 4" CONCRETE OVER 4" ROCK
- 8" CONCRETE OVER 4" ROCK
- 3" ASPHALT OVER 8" ROCK
- 8" GRAVEL - GRAVEL STORAGE AREA



Development Notes:

- THIS PROPERTY IS CURRENTLY UNDER THE FOLLOWING PARCEL LOCATION NUMBER IN THE ST. CHARLES COUNTY ASSESSORS' OFFICE: 6-0003-D392-00-0048.0000000
- AREA OF TRACT: 26.905 ACRES
- ADDRESS OF SITE: 2001 TRUMAN INDUSTRIAL BLVD. ST. CHARLES, MO 63301
- OWNER: TRINITY PRODUCTS LLC 1969 WEST TERRA LN OFALLON MO 63366-2347
- EXISTING ZONING: I-2 HEAVY INDUSTRIAL
- PROPOSED USE: OUTDOOR STORAGE LOT & MANUFACTURING BUILDING
- BUILDING SETBACKS: FRONT = 35 FEET SIDE = NONE REAR = NONE
- THIS PROPERTY IS SERVED BY THE FOLLOWING UTILITIES: AMEREN MISSOURI ELECTRIC 636-359-8201 ATT DISTRIBUTION 636-949-4230 CHARTER COMMUNICATIONS 636-441-7737 SPIRE INCORPORATED 636-978-2263 CITY OF ST. CHARLES FIRE DEPT 636-949-3250 CITY OF ST. CHARLES SEWERS 636-949-3237 CITY OF ST. CHARLES WATER 636-949-3366
- TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): CITY OF ST. CHARLES, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0260H, WITH AN EFFECTIVE DATE OF MARCH 3, 2021. COMMUNITY: CITY OF ST. CHARLES NUMBER: 290318 PANEL: 0260 SUFFIX: H BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONES: ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE." THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THIS DATE. 100 YEAR BASE FLOOD ELEVATION = 442.0'
- LOT COVERAGE CALCULATIONS: TOTAL AREA = 1,171,960 SQ. FT. (26.905 ACRES) BUILDING = 68,157 SQ. FT. = 6% GRAVEL = 581,104 SQ. FT. = 50% PAVEMENT = 118,822 SQ. FT. = 10% GREEN SPACE = 403,877 SQ. FT. = 34%
- PARKING CALCULATIONS: INDUSTRIAL: 1 SPACE PER 2 EMPLOYEES ON MAXIMUM SHIFT, PLUS SPACE FOR BUSINESS VEHICLES 35/2 EMPLOYEES X 1 SPACE = 18 SPACES PROVIDED PARKING = 50 SPACES (INCLUDING 3 ACCESSIBLE SPACES) REQUIRED PARKING = 18 SPACES
- LANDSCAPE CALCULATIONS: 15' LANDSCAPE BUFFER: 1 SHADE TREE PER 50 FT. FRONTAGE ALONG PUBLIC RIGHT-OF-WAY 1 SHRUB PER 5 FT. FRONTAGE ALONG PUBLIC RIGHT-OF-WAY 1,447.87/50 FT. FRONTAGE X 1 SHADE TREE = 28.96 = 29 SHADE TREES REQUIRED 1,447.87/5 FT. FRONTAGE X 1 SHRUB = 289.57 = 290 SHRUBS REQUIRED TOTAL TREES PROVIDED = 54 TREES TOTAL SHRUBS PROVIDED = 290 SHRUBS NATIVE DROUGHT-RESISTANT PLANT SPECIES ARE PROPOSED. NO UNDERGROUND IRRIGATION IS THEREFORE PROPOSED FOR STORAGE LOT LANDSCAPING PER THE "GR5G"
- A MISSOURI REGISTERED LANDSCAPE ARCHITECT OR ARBORIST IS REQUIRED TO SIGN AND SEAL THE LANDSCAPE PLAN IF NATIVE DROUGHT-RESISTANT PLANTINGS ARE PROPOSED.
- A FLOODPLAIN DEVELOPMENT PERMIT WILL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY PERMITS.
- THE OWNER SHALL IMPLEMENT A WATERING PROGRAM AS NEEDED TO CONTROL THE DUST FROM THE STORAGE LOT PER CITY ORDINANCE. THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING LOT AND CONTROLLING WEEDS.
- NO NEW LIGHT STANDARDS ARE PROPOSED.
- DETENTION WAS WAIVED PER VARIANCE GRANTED BY ORDINANCE 19-268. WATER QUALITY IS PROVIDED WITH THE EXISTING BASINS WITHIN TRUMAN BUSINESS CENTER.
- THESE PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION.

Benchmarks:

REFERENCE BENCHMARK: RM 106 ELEV 443.19
CHISELED SQUARE ON TOP OF THE NORTHWEST CORNER OF HEADWALL OF RAILWAY BRIDGE OVER SANDFORD CREEK.
SITE BENCHMARK: ELEV. 442.79
SANITARY SEWER MANHOLE LOCATED APPROXIMATELY 464 FEET NORTHEAST AND 17 FEET SOUTHEAST FROM SUBJECT PROPERTIES SOUTHWEST PROPERTY CORNER. SAID MANHOLE IS ALSO APPROXIMATELY 106 FEET NORTHEAST OF EXISTING LIFT STATION.

Sheet Index

- C1 COVER SHEET
- C2 SITE PLAN
- C3 GRADING PLAN
- C4 FIRE TRUCK

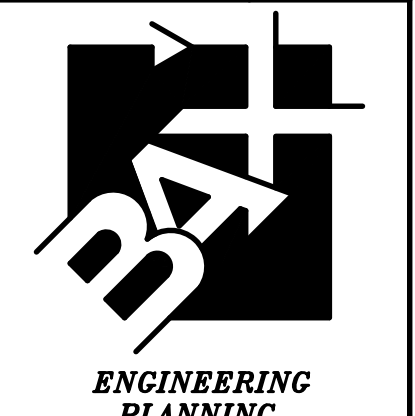


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*UNDERGROUND PIPELINES PRESENT

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A SITE PLAN FOR
MANUFACTURING BUILDING & STORAGE LOT
2001 TRUMAN INDUSTRIAL BLVD.
ST. CHARLES, ST. CHARLES COUNTY, MISSOURI, 63301

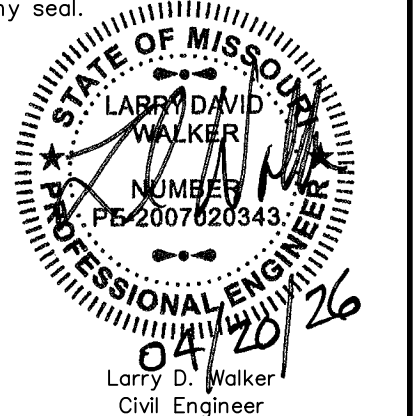


ENGINEERING SURVEYING
221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
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Engineering #000555
Missouri State Certificate of Authority
Surveying #00144

REVISIONS	CITY COMMENTS
11-03-25	
04-20-26	

DISCLAIMER OF RESPONSIBILITY
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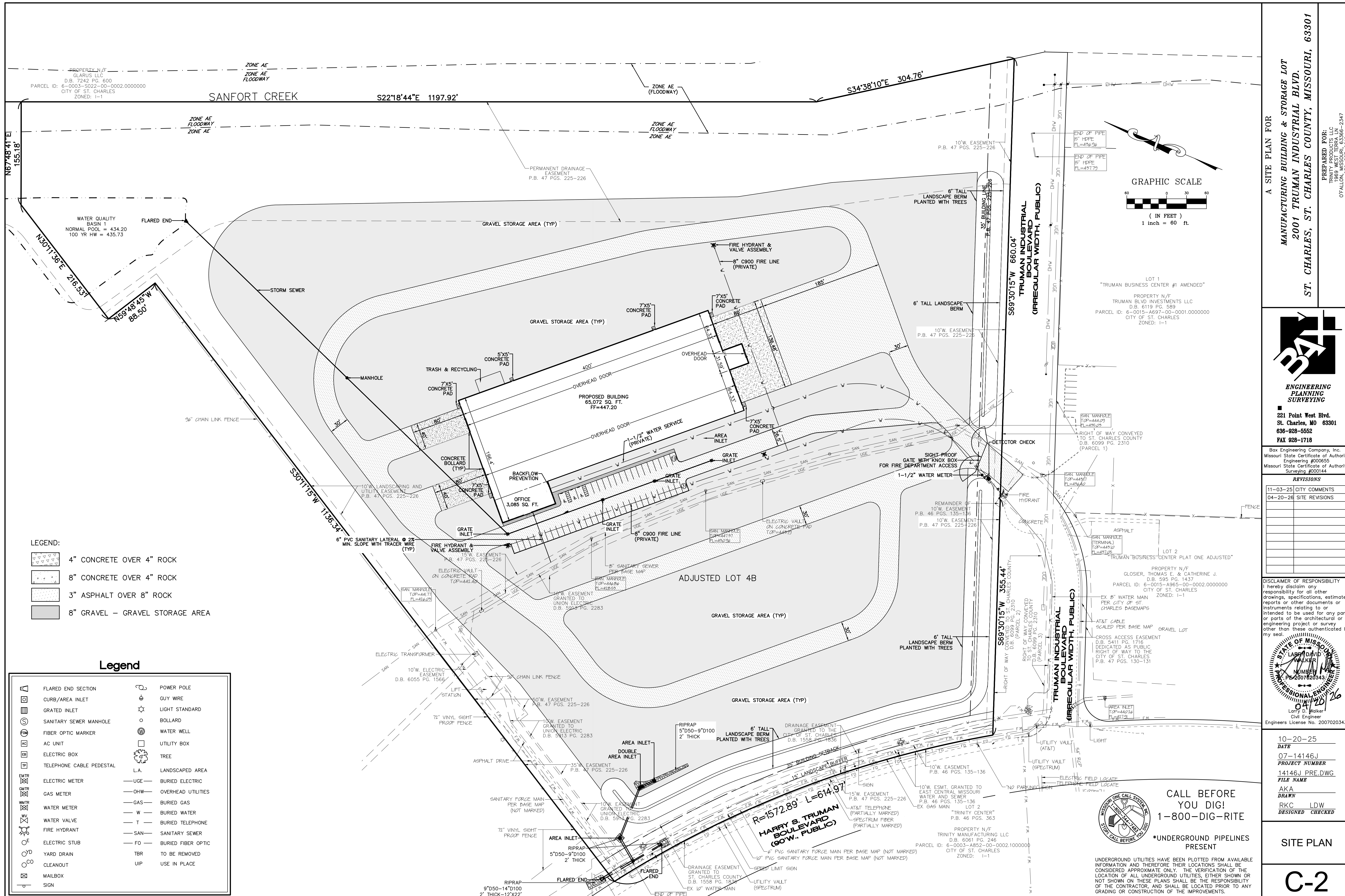


10-20-25
DATE

07-14146J
PROJECT NUMBER
14146J PRE.DWG
FILE NAME
AKA
DRAWN
RKC LDW
DESIGNED CHECKED

COVER SHEET

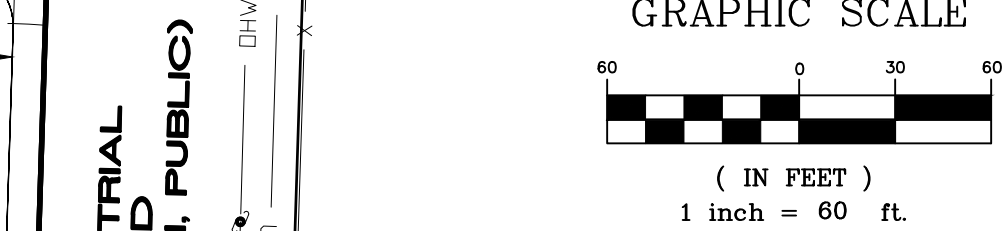
C-1



PROPERTY N/F
GLARUS LLC
D.B. 7242 PG. 600
PARCEL ID: 6-0003-5022-00-0002.000000
CITY OF ST. CHARLES
ZONED: 1-1

SANFORD CREEK
S22'18'44"E 1197.92'

S34'38'10"E 304.76'



- LEGEND:
- 4" CONCRETE OVER 4" ROCK
 - 8" CONCRETE OVER 4" ROCK
 - 3" ASPHALT OVER 8" ROCK
 - 8" GRAVEL - GRAVEL STORAGE AREA

Legend

- | | | | |
|--|--------------------------|--|----------------------|
| | FLARED END SECTION | | POWER POLE |
| | CURB/AREA INLET | | GUY WIRE |
| | GRATED INLET | | LIGHT STANDARD |
| | SANITARY SEWER MANHOLE | | BOLLARD |
| | FIBER OPTIC MARKER | | WATER WELL |
| | AC UNIT | | UTILITY BOX |
| | ELECTRIC BOX | | TREE |
| | TELEPHONE CABLE PEDESTAL | | L.A. LANDSCAPED AREA |
| | ELECTRIC METER | | BURIED ELECTRIC |
| | GAS METER | | OVERHEAD UTILITIES |
| | WATER METER | | BURIED GAS |
| | WATER VALVE | | BURIED WATER |
| | FIRE HYDRANT | | BURIED TELEPHONE |
| | ELECTRIC STUB | | SANITARY SEWER |
| | YARD DRAIN | | BURIED FIBER OPTIC |
| | CLEANOUT | | TO BE REMOVED |
| | MAILBOX | | USE IN PLACE |
| | SIGN | | |

A SITE PLAN FOR
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ST. CHARLES, ST. CHARLES COUNTY, MISSOURI, 63801

BAT
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PLANNING
SURVEYING
221 Point West Blvd.
St. Charles, MO 63801
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Missouri State Certificate of Authority
Surveying #000144

REVISIONS

11-03-25	CITY COMMENTS
04-20-26	SITE REVISIONS

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drawings, specifications, estimates,
reports or other documents or
instruments relating to or
intended to be used for any part
or parts of the architectural or
engineering project or survey
other than these authenticated by
my seal.

STATE OF MISSOURI
LARRY D. WALKER
PROFESSIONAL ENGINEER
NO. 2007020343
EXPIRES 12/31/26
Civil Engineer
Engineers License No. 2007020343

10-20-25
DATE
07-14146J
PROJECT NUMBER
14146J PRE.DWG
FILE NAME
AKA
DRAWN
RKC LDW
DESIGNED CHECKED

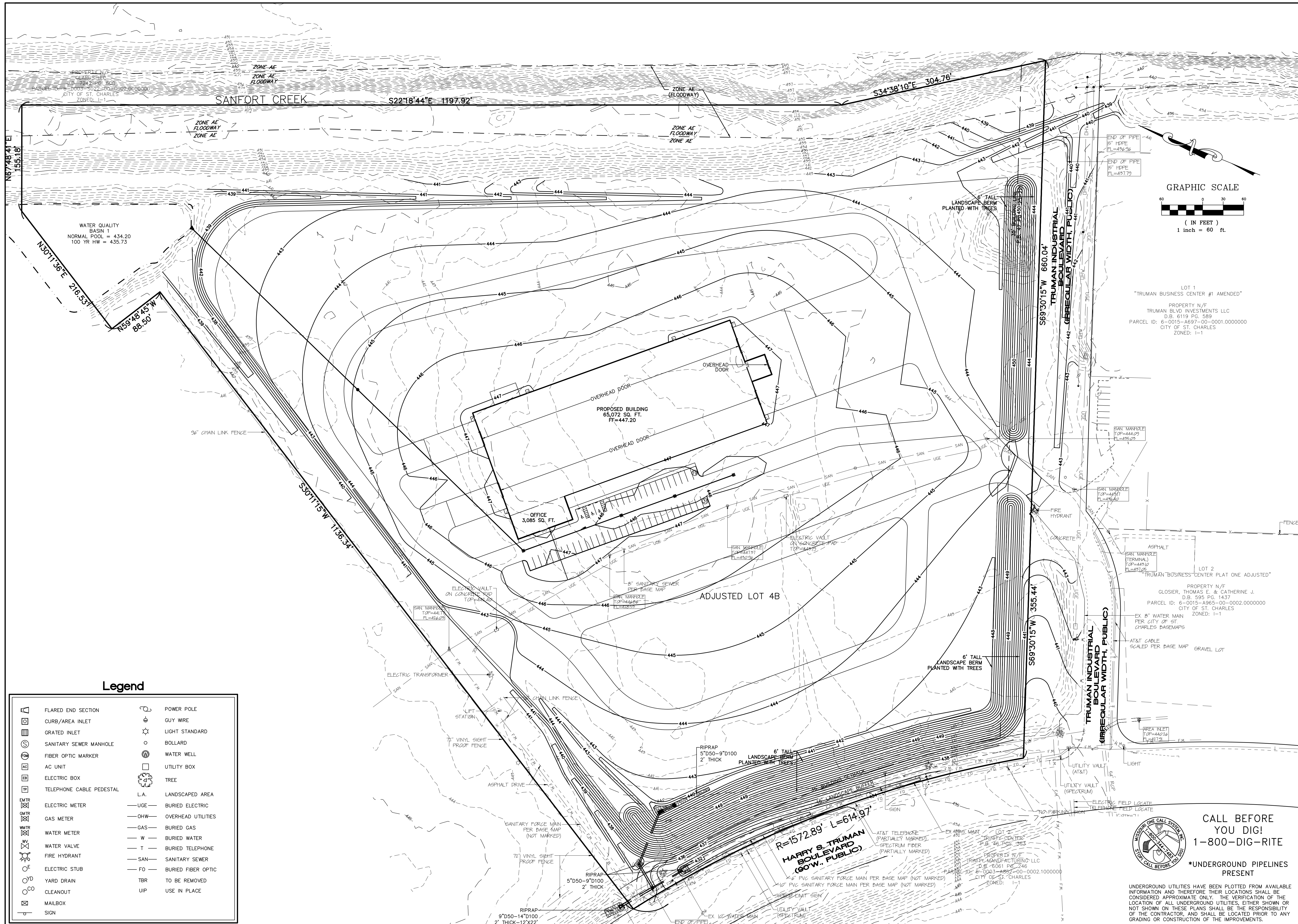
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*UNDERGROUND PIPELINES
PRESENT



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SITE PLAN
C-2



PROPERTY LINE
CLARUS LLC
1307136'E 216.53'
159'48'45"W 88.50'

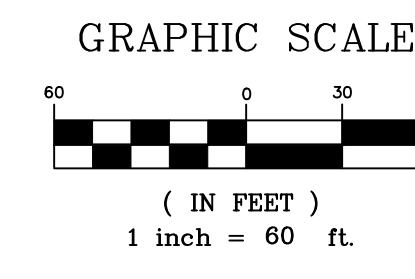
SANFORD CREEK
S22°18'44"E 1197.92'

S34°38'10"E 304.76'

WATER QUALITY
BASIN 1
NORMAL POOL = 434.20
100 YR HW = 435.73

Legend

	FLARED END SECTION		POWER POLE
	CURB/AREA INLET		GUY WIRE
	GRATED INLET		LIGHT STANDARD
	SANITARY SEWER MANHOLE		BOLLARD
	FIBER OPTIC MARKER		WATER WELL
	AC UNIT		UTILITY BOX
	ELECTRIC BOX		TREE
	TELEPHONE CABLE PEDESTAL	L.A.	LANDSCAPED AREA
	ELECTRIC METER	— UGE	BURIED ELECTRIC
	GAS METER	— OHW	OVERHEAD UTILITIES
	WATER METER	— GAS	BURIED GAS
	WATER VALVE	— W	BURIED WATER
	FIRE HYDRANT	— T	BURIED TELEPHONE
	ELECTRIC STUB	— SAN	SANITARY SEWER
	YARD DRAIN	— FO	BURIED FIBER OPTIC
	CLEANOUT	TBR	TO BE REMOVED
	MAILBOX	UIP	USE IN PLACE
	SIGN		



LOT 1
"TRUMAN BUSINESS CENTER #1 AMENDED"
PROPERTY N/F
TRUMAN BLVD INVESTMENTS LLC
D.B. 6119 PG. 589
PARCEL ID: 6-0015-AB97-00-0001.0000000
CITY OF ST. CHARLES
ZONED: 1-1

A SITE PLAN FOR
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**ENGINEERING
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St. Charles, MO 63301
636-928-5552
FAX 928-1718

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Engineering #000655
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Larry D. Walker
Civil Engineer
Engineers License No. 2007020343

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DRAWN

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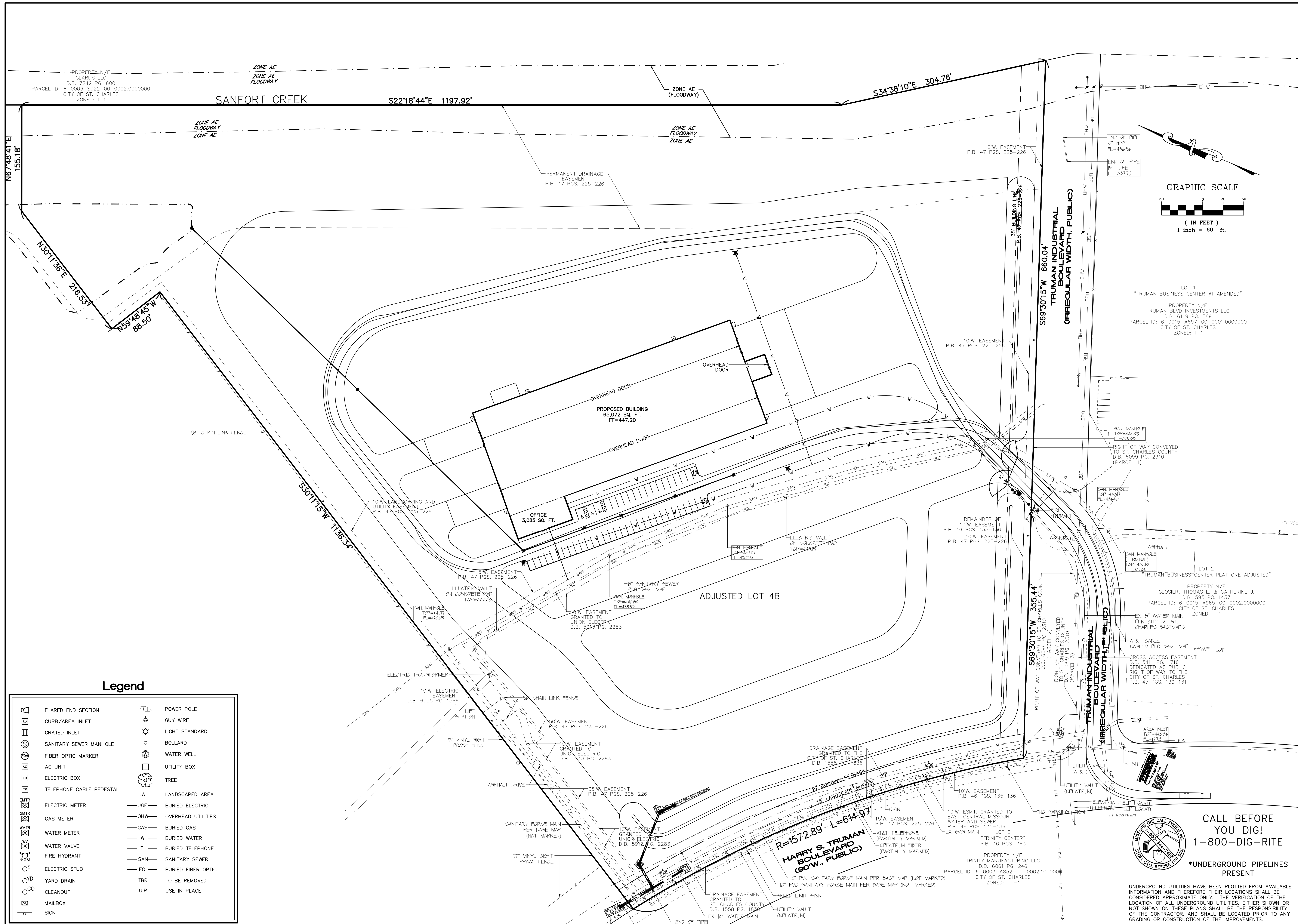
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GRADING PLAN

C-3



PROPERTY N/F
GLARUS, LLC
D.B. 7242 PG. 600
PARCEL ID: 6-0003-5022-00-0002.0000000
CITY OF ST. CHARLES
ZONED: I-1

SANFORD CREEK S22°18'44"E 1197.92'

S34°38'10"E 304.76'

GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.

Legend

- | | | | |
|--|--------------------------|-------|--------------------|
| | FLARED END SECTION | | POWER POLE |
| | CURB/AREA INLET | | GUY WIRE |
| | GRATED INLET | | LIGHT STANDARD |
| | SANITARY SEWER MANHOLE | | BOLLARD |
| | FIBER OPTIC MARKER | | WATER WELL |
| | AC UNIT | | UTILITY BOX |
| | ELECTRIC BOX | | TREE |
| | TELEPHONE CABLE PEDESTAL | L.A. | LANDSCAPED AREA |
| | ELECTRIC METER | —UG— | BURIED ELECTRIC |
| | GAS METER | —OHW— | OVERHEAD UTILITIES |
| | WATER METER | —GAS— | BURIED GAS |
| | WATER VALVE | —W— | BURIED WATER |
| | FIRE HYDRANT | —T— | BURIED TELEPHONE |
| | ELECTRIC STUB | —SAN— | SANITARY SEWER |
| | YARD DRAIN | —FO— | BURIED FIBER OPTIC |
| | CLEANOUT | TBR | TO BE REMOVED |
| | MAILBOX | UIP | USE IN PLACE |
| | SIGN | | |

A SITE PLAN FOR
MANUFACTURING BUILDING & STORAGE LOT
2001 TRUMAN INDUSTRIAL BLVD.
ST. CHARLES, ST. CHARLES COUNTY, MISSOURI, 63801

PREPARED FOR:
 TRINITY PRODUCTS, LLC
 63366-2347
 OF FALLON, MISSOURI
 636-887-9816

**ENGINEERING
 PLANNING
 SURVEYING**

221 Point West Blvd.
 St. Charles, MO 63801
 636-928-5552
 FAX 928-1718

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS
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Larry D. Walker
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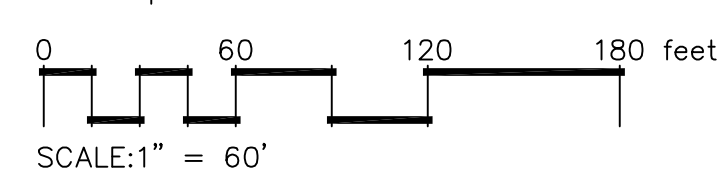
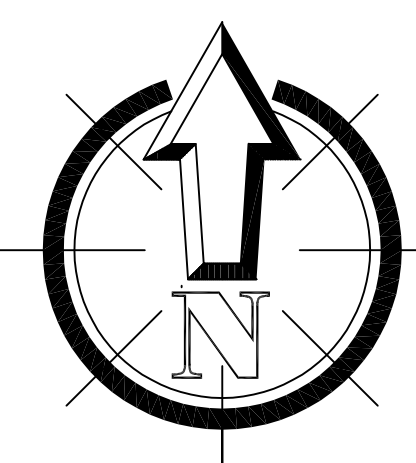
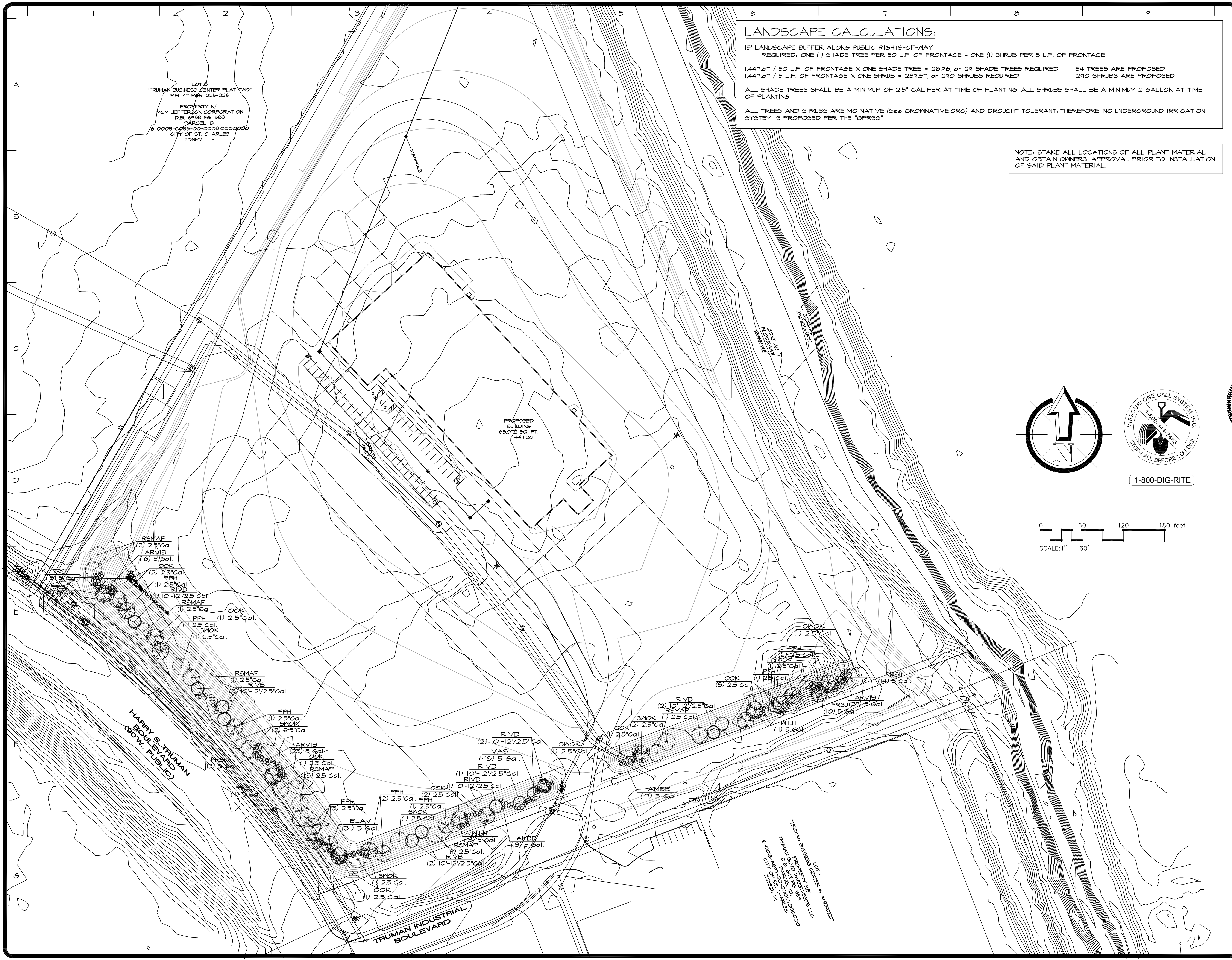
**FIRE TRUCK
 EXHIBIT**

C-4

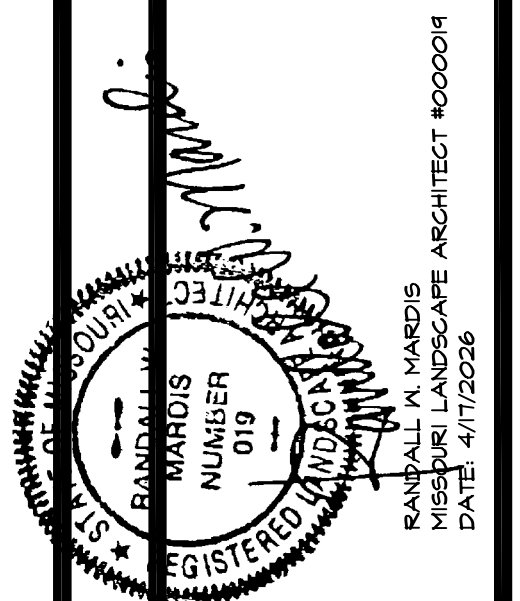
REVISIONS	BY
10/18/2025	RMM
4/17/2026	RMM

LANDSCAPE CALCULATIONS:
 15' LANDSCAPE BUFFER ALONG PUBLIC RIGHTS-OF-WAY
 REQUIRED: ONE (1) SHADE TREE PER 50 L.F. OF FRONTAGE + ONE (1) SHRUB PER 5 L.F. OF FRONTAGE
 1,447.87 / 50 L.F. OF FRONTAGE X ONE SHADE TREE = 28.96, or 29 SHADE TREES REQUIRED 54 TREES ARE PROPOSED
 1,447.87 / 5 L.F. OF FRONTAGE X ONE SHRUB = 289.57, or 290 SHRUBS REQUIRED 290 SHRUBS ARE PROPOSED
 ALL SHADE TREES SHALL BE A MINIMUM OF 2.5" CALIPER AT TIME OF PLANTING; ALL SHRUBS SHALL BE A MINIMUM 2 GALLON AT TIME OF PLANTING
 ALL TREES AND SHRUBS ARE MO NATIVE (See GROWNATIVE.ORG) AND DROUGHT TOLERANT; THEREFORE, NO UNDERGROUND IRRIGATION SYSTEM IS PROPOSED PER THE "6FR56"

NOTE: STAKE ALL LOCATIONS OF ALL PLANT MATERIAL AND OBTAIN OWNERS' APPROVAL PRIOR TO INSTALLATION OF SAID PLANT MATERIAL.



landscape TECHNOLOGIES
 87 Jacobs Creek Drive, Suite 100
 St. Louis, MO 63114
 (636) 428-1200
 www.landscape-technologies.com



PLANTING PLAN FOR THE STREETScape OF FAB. BUILDING / STORAGE LOT.
Trinity Products
 HARRY S. TRUMAN BLVD. SAINT CHARLES COUNTY, MO 63301

DRAWN	R. HARDS
CHECKED	RMM/EL
DATE	7/29/2022
SCALE	1"=60'-0"
JOB No.	2022-51
SHEET	

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- 1.) Base map information is accurate as of the date of drawing printed in this package.
- 2.) It shall be the landscape contractor's responsibility to:
 - A.) Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - B.) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - C.) Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- 3.) The contractor shall be in compliance with all codes applicable to this work.
- 4.) All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- 5.) The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Any damage to the existing improvements shall be the responsibility of the contractor. It shall be the responsibility of the contractor to restore all areas of the site where disturbed by said contractor. Refer to additional drawings for further coordination of work to be done.
- 6.) Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
- 7.) Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- 8.) Plant material shall be typical in shape and form for species specified. Plants planted in groupings and masses shall also be matched. Container grown plant material shall not be root-bound and balled-and-burlapped material shall have root balls as dictated by American Standard for Nursery Stock.
- 9.) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- 10.) Provide single-stem trees unless otherwise noted in plant schedule.
- 11.) All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- 12.) It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- 13.) All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- 14.) Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- 15.) All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- 16.) Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- 17.) All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- 18.) Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- 19.) All substitutions of plant material shall be submitted to landscape architect for approval.

PRUNING:

- 1.) Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- 2.) All pruning shall comply with ANSI A300 standards.

INSURANCE:

- 1.) The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

MULCH:

- 1.) All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.

MAINTENANCE:

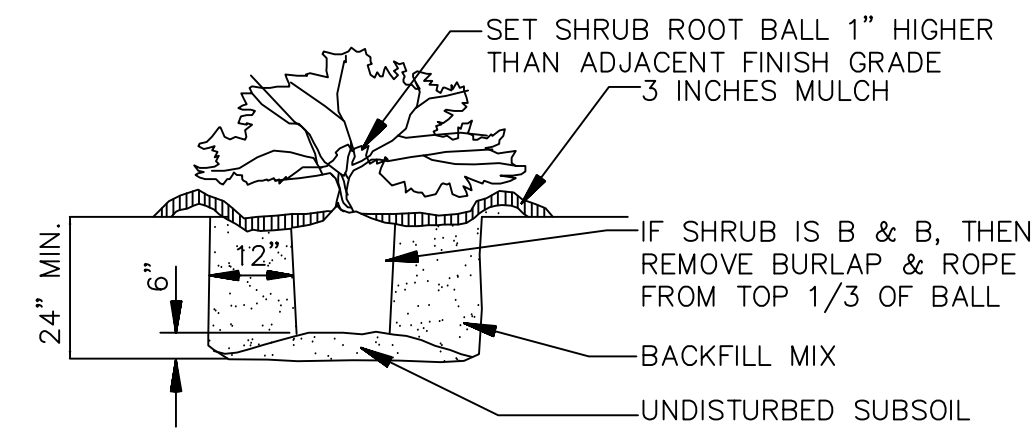
- 1.) Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- 2.) Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.

TOPSOIL:

- 1.) Topsoil mix for all proposed landscape plant material (excluding turf areas) shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- 2.) Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- 3.) Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.

WARRANTY:

- 1.) All plant material are to be warranted for a period of 12 months after complete installation of all areas depicted on drawings and as shown on price. All plant material of dead branches by the landscape architect shall be replaced under this warranty.
- 2.) Any plant material found to be defective shall be removed and replaced within 90 days of notification or in growth season determined to be best for that plant.
- 3.) Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
- 4.) Landscape contractor shall not be liable due to acts of God or vandalism.
- 5.) A written guarantee shall be provided to the owner per conditions outlined in #1 above.



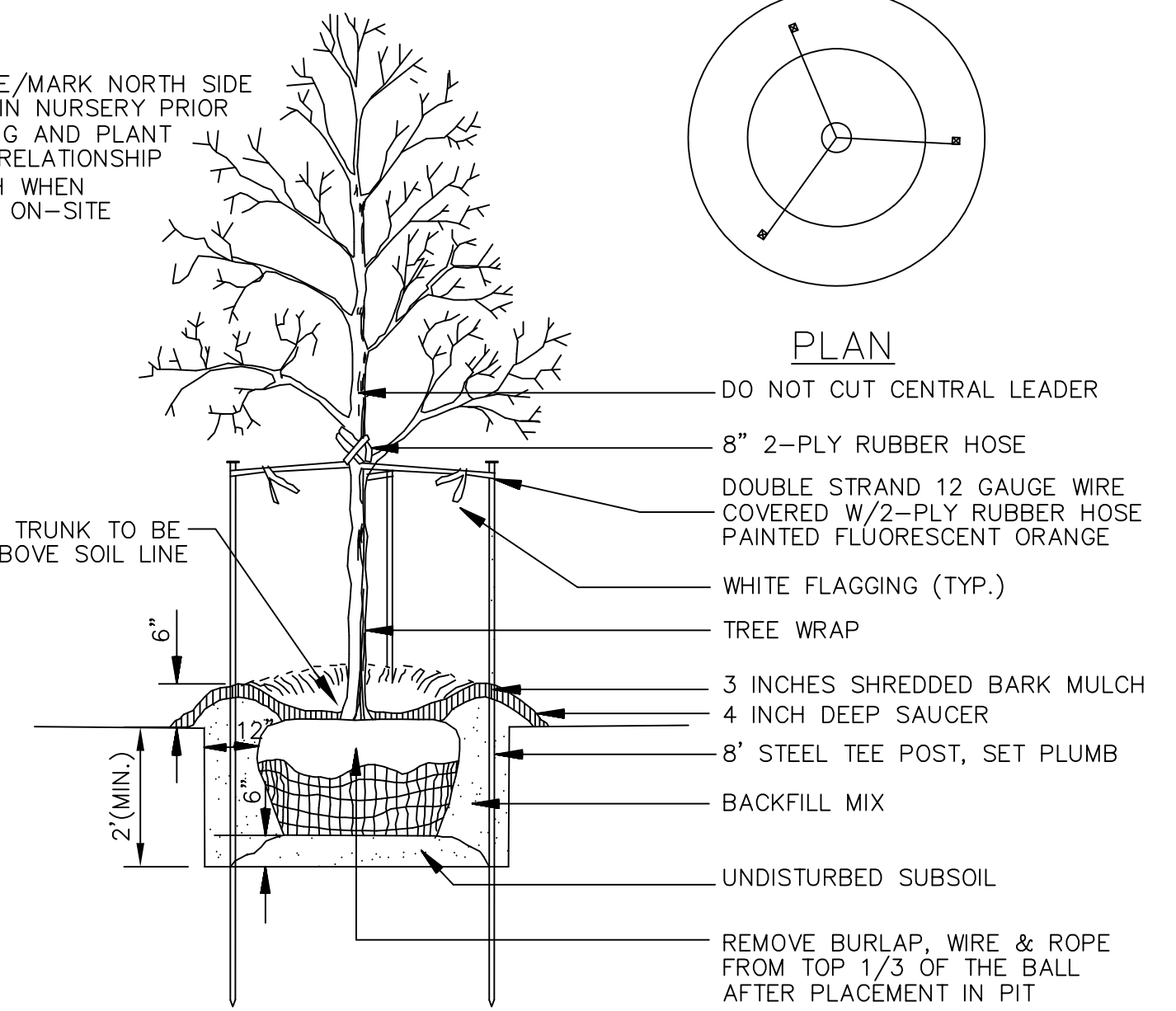
PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN / CRUMBLING ROOT BALLS WILL BE REJECTED.

SHRUB PLANTING

N.T.S.

DETERMINE/MARK NORTH SIDE OF TREE IN NURSERY PRIOR TO DIGGING AND PLANT IN SAME RELATIONSHIP TO NORTH WHEN PLANTING ON-SITE

FLARE OF TRUNK TO BE VISIBLE ABOVE SOIL LINE



DECIDUOUS TREE PLANTING

N.T.S.

PLANT SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE
NATIVE TREES			
RIVB	12	HERITAGE RIVER BIRCH / BETULA NIGRA 'CULLY' TM	10'-12'/2.5" CAL
OOK	11	OVERCUP OAK / QUERCUS LYRATA	2.5" CAL.
PPH	12	PRAIRIE PRIDE HACKBERRY / CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	2.5" CAL.
RSMAP	9	RED SUNSET MAPLE / ACER RUBRUM 'FRANKSRED' TM	2.5" CAL.
SWOK	10	SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL.
NATIVE SHRUBS			
AMBB	30	AMERICAN BEAUTYBERRY / CALLICARPA AMERICANA	5 GAL.
ARVIB	66	ARROWWOOD VIBURNUM / VIBURNUM DENTATUM 'ARROWWOOD'	5 GAL.
BLAV	31	BLACKHAW VIBURNUM / VIBURNUM PRUNIFOLIUM	5 GAL.
FRSU	72	FRAGRANT SUMAC / RHUS AROMATICA	5 GAL.
VAS	48	VIRGINIA SWEETSPIRE / ITEA VIRGINICA	5 GAL.
WILH	42	WILD HYDRANGEA / HYDRANGEA ARBORESCENS	5 GAL.

REVISIONS	BY
10/18/2025	RHM
4/17/2026	RHM

Trinity Products
 LANDSCAPE TECHNOLOGIES
 67 Jacobs Creek Drive, Suite 100
 St. Louis, MO 63105
 (636) 426-1200
 www.trinityproducts.com
 800-230-0992

PLANTING PLAN FOR THE STREETScape OF FAB. BUILDING / STORAGE LOT.
Trinity Products
 HARRY S. TRUMAN BLVD. SAINT CHARLES COUNTY, MO 63301

DRAWN
 R. HARDS
 CHECKED
 RUMMEL
 DATE
 7/29/2022
 SCALE
 N.A.
 JOB No.
 2022-51
 SHEET
L-2
 OF TWO SHEETS



Memorandum

To: Planning and Zoning Commission

From: Madelyn P. Brown, Planner

Date: May 11, 2026

Subject: CU-2025-09 Conditional Use Extension

At the May 12, 2025 Planning and Zoning Commission meeting, a Conditional Use application for liquor sales and a microbrewery use (CU-2025-09) was presented for consideration. This application was a new business, Side Project Brewing, at 1001 and 1005 N 2nd Street. The application received a favorable recommendation, with final approval granted at the June 3, 2025 City Council meeting.

The conditional use approval is approaching one year since its final approval, and the applicant has not yet proceeded with implementation of the approved use.

Per Section 400.961(B) of the City of Saint Charles zoning code

“Approval of a conditional use shall be valid for a period of one (1) year after the date of approval and thereafter shall become null and void unless construction or use is substantially underway during such one-year period or unless an extension of time, not exceeding one (1) year, is approved by the Planning and Zoning Commission for good reasons shown before the expiration of such one-year period”.

Per the applicant, the current tenant of the subject property has had delays in construction of their new location, resulting in an extension of their lease at 1001 and 1005 N 2nd Street. As such, Side Project Brewing has had to extend their own timeline. Attached to this memo is the applicant’s testimony. Staff agrees with the applicant and believes an extension is warranted for an additional twelve (12) months.

This requested extension requires approval from the Planning and Zoning Commission only. This request will not be forwarded to the City Council, and a public hearing is not required.

Staff Recommendation

The Department of Community Development recommends that the Conditional Use Extension request be **APPROVED**.

Recommended Motion:

Motion to approve a twelve (12) month extension for Conditional Use Permit CU-2025-09.

City of Saint Charles
200 North Second Street
St. Charles, MO 63301

Side Project Brewing
1003 N 2nd St
St. Charles, MO 63301

To Whom It May Concern:

Cory King of Side Project Brewing would like to request an extension on the approved Conditional Use Permit for our location at 1003 N 2nd Street.

Our current tenant, American Iron Company, has had to extend their lease for an additional 2 months, ending potentially at the end of November due to some construction delays on their new location.

Please reach out with any questions you might have and I appreciate your consideration into this delay.

Cory King
Side Project Brewing
573.450.5725
Cory@SideProjectBrewing.com



Memorandum

To: Planning and Zoning Commission

From: Madelyn P. Brown, Planner

Date: May 11, 2026

Subject: Recreational Vehicle Storage Text Amendment Proposal

Planning staff has received an inquiry from a business owner regarding the storage of recreational vehicles/campers at a property within the C-2 General Business District. This would be in lieu of standard vehicles. Upon research of this request, it was determined that recreational vehicles storage cannot occur until the C-3 Highway Business District. Staff believes that a text amendment to allow storage of recreational vehicles in C-2 would be appropriate. While a specific business owner approached staff with this inquiry, an approved text amendment would impact all properties, City wide.

Per Section 400.230(C)(1)(h) of the City of St. Charles zoning code, recreational vehicle storage/sales is grouped with the sale, storage, and display of mobile homes, and cannot occur until the C-3 Highway Business District zoning via the approval of a conditional use. On the contrary, standard motor vehicle storage can occur via conditional use, beginning in the C-2 General Business District.

Section 400.220(C)(1)(c) lists vehicle sales and storage as a use permitted through conditional use approval within the C-2 district.

This section also lists the following Conditional Use Regulations related to the use:

- a) *“The setback of any overhead canopy or similar structure shall be a minimum of ten (10) feet from all street rights-of-way lines, a minimum of twenty (20) feet from all residentially zoned property lines and shall be a minimum of five (5) feet from all other property lines. The total height of any overhead canopy or similar structure shall not exceed twenty (20) feet as measured to the highest part of the structure. The setback requirements may be recommended for modification by the Planning and Zoning Commission and modified by the City Council where it is found that due to pre-existing circumstances the provision of said setback will cause an undue burden on the ability to effectively use the property.*
- b) *All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum four-ton axle load.*
- c) *The facility shall provide a minimum six-foot-high, solid, earth-tone-color, vinyl fence with a combination of shrubs [eighteen (18) inches to twenty-four (24) inches tall or three (3) feet to four (4) feet wide at the time of planting], understory trees [six (6) feet to eight (8)*

feet tall at the time of planting] and canopy trees [two and one-half (2 1/2) inches to three (3) inches caliper at the time of planting] as recommended by the Planning and Zoning Commission and approved by the City Council along all borders of the property directly abutting a residentially zoned property. These requirements may be recommended for modification by the Planning and Zoning Commission and modified by the City Council where it is found that due to pre-existing circumstances the provision of the setback will cause an undue burden on the ability to effectively use the property.”

Based on staff review, recreational vehicles storage would have a similar or lesser potential impact on the neighbors and neighborhood compared to standard vehicles. Recreational vehicles are typically transported less frequently due to longer term storage and lower purchasing compared to standard vehicles. As a result, associated impacts such as traffic generation, noise, and daily activity on a site are expected to be less than that of standard vehicle storage.

Additionally, buffers and screening measures have been put into place for any type of outdoor vehicle storage, which would further mitigate potential adverse affects. These requirements would remain applicable regardless of vehicle type and would continue to ensure compatibility with adjacent properties. It should also be noted that this use would remain permitted only through conditional use approval, allowing for conditions to be applied and ensuring review on a case by case basis to address site-specific impacts. Furthermore, it may be more preferable to store larger vehicles at C-2 properties which are not adjacent to highway frontage, as C-3 properties are intended to. This could allow C-3-zoned properties to remain focused on higher-visibility commercial uses along major corridors.

With that, there are three options for a potential text amendment:

1. Recreational vehicle sale and storage is removed from section 400.230(C)(1)(h) and added to the vehicle sale/storage section 400.220(C)(1)(c) with the existing conditional use regulations applicable to both vehicle types.
2. Recreational vehicle storage **only** is removed from section 400.230(C)(1)(h) and added to the vehicle sale/storage section 400.220(C)(1)(c) with the existing conditional use regulations applicable to both vehicle types. Recreational vehicle sales remains unchanged.
3. A new section is created within 400.220(C)(1), specific for recreational vehicle storage (with or without sales) within the C-2 zoning district, with independent conditional use regulations.

It is the opinion of staff that option one (1) would be the most appropriate; however, this is up for further discussion by the Planning and Zoning Commission.

If the Planning and Zoning Commission agrees, staff will move forward with the introduction of a text amendment at the June Planning and Zoning Commission meeting. This would allow for further discussion and formal consideration of the proposed amendment by the Commission.