



LANDMARKS BOARD

AGENDA FOR REGULAR MEETING

May 18, 2026

LANDMARKS BOARD:

Steve Martin, Chair
Jill Ryan, Vice Chair
Michelle Beucke
Dave Settle
John Donnelly
Christi Tennyson
Laura Shadow
Steve Hollander, Council Liaison

Mesdames and Gentlemen:

On Monday, May 18, 2026, at 6:00 p.m., the City of St. Charles Landmarks Board will hold its regular monthly meeting in the Council Chambers on the fourth floor of City Hall, 200 North Second Street, St. Charles, Missouri. The agenda for this meeting is as follows:

- 1. Call to order and call the roll**
- 2. Pledge of Allegiance**
- 3. Consent Agenda**

- (A) Case No. EC-2026-26 201 North Main Street. Joe Ancmon. The applicant is requesting permission to make several alterations to the existing patio area [Historic Downtown District, Ward 1].
- (B) Case No. EC-2026-27 401 South 2nd Street. Adam Wright. The applicant is requesting permission to make alterations to the front porch on the dwelling [Extended Historic Preservation District, Ward 2].
- (C) Case No. EC-2026-28 1216 South Main Street. Mark S. Tisius. The applicant is requesting permission to replace ten windows on the dwelling [Landmarks Preservation District, Ward 2].
- (D) Case No. EC-2026-29 700 North 3rd Street. Shelton Flynt & Naomi Miali. The applicant is requesting permission to replace the overhead door on a detached garage [Frenchtown Preservation District, Ward 1].
- (E) Case No. EC-2026-30 1310 North 3rd Street. Renewal by Anderson. The applicant is requesting permission to replace six windows on the dwelling [Frenchtown Preservation District, Ward 1].
- (F) Case No. EC-2026-31 1714 North 4th Street. John Hoffman. The applicant is requesting permission to replace the rear deck on the dwelling [Extended Historic Preservation District, Ward 1].
- (G) Case No. EC-2026-34 1117 North 3rd Street. Jasmina Basic. The applicant is requesting permission to make alterations and repairs to a rear garage on the property [Frenchtown Preservation District, Ward 1].

4. Removed Consent Items

5. Sign Permit Applications

- (A) Sign Permit No. 2026-1884 418 South Main Street. Susan Davis. The applicant is requesting permission to install a new projecting sign for the business “Under the Yellow Umbrella South” [South Main Preservation District, Ward 2].
- (B) Sign Permit No. 2026-2272 612 South Main Street. Denise Krekeler. The applicant is requesting permission to install a new projecting sign for the business “Yeti Gaming” [South Main Preservation District, Ward 2].

6. Structure Review

- (A) Case No. EC-2026-24 902-904 South Main Street. Leslie Pugh. The applicant is requesting to change the siding on the structure [South Main Preservation District, Ward 2].
- (B) Case No. EC-2026-32 339 North Main Street. Steve Hollander. The applicant is requesting permission to rehabilitate the storefront of the structure [Historic Downtown District, Ward 1].
- (C) Case No. EC-2026-33 905 North 2nd Street. Becky Niebruegge. The applicant is requesting permission to remove an existing rear deck and construct a new one in the same location [Frenchtown Preservation District, Ward 1].
- (D) Case No. EC-2026-35 553 Jefferson Street. Jesse Ray. The applicant is requesting permission to install new windows and make changes to both the front and rear porches on the dwelling [Extended Historic Preservation District, Ward 2].
- (E) Case No. SP-2026-16 701-703 Riverside Drive. Jodi Devonshire. The applicant is requesting permission to construct a new addition on the side of the structure [South Main Preservation District, Ward 2].
- (F) Case No. SP-2026-17 702 Jackson Street. Micki Beucke. The applicant is requesting permission to construct a new single-family dwelling and rear detached garage on the vacant lot [Extended Historic Preservation District, Ward 2].
- (G) Case No. SP-2026-18 1200 North 3rd Street. Dennis Sharp. The applicant is requesting permission to construct a new detached garage at the rear of the property [Frenchtown Preservation District, Ward 1].

7. Announcements

8. Staff Reports

9. Approval of April 20, 2026, regular meeting minutes

10. Adjournment

The next regular meeting of the Landmarks Board is scheduled for

Monday, June 15, 2026, at 6:00pm

The submittal deadline for the Jun 15, 2026, meeting is May 18, 2026.

(June 1, 2026, for signs)

INCLEMENT WEATHER: In case of inclement weather, please call 636-949-3222 after 4:00 p.m. on the day of the meeting to be informed of the status of the meeting.

The City of St. Charles offers all interested citizens the opportunity to attend public meetings. If you wish to attend this public meeting and require an accommodation due to a disability, please contact the Office of the City Clerk to coordinate an accommodation at least two (2) business days in advance of the scheduled meeting at 636-949-3282 or 636-949-3289 (TTY – for the hearing impaired).

The City of St. Charles, Missouri fully complies with Title VI of the Civil Rights Act of 1964 and related statutes and regulations in all programs and activities. For more information or to obtain a Title VI Complaint Form, please call the City Clerk's Office at 636-949-3282 or visit City Hall located at 200 North Second Street, St. Charles, Missouri, 63301.

Agenda posted on 5/13/2026 @ 4pm by TRM



**STAFF REPORT
PATIO UPDATES
201 NORTH MAIN STREET
CASE NO. EC-2026-26**

BY TAYLOR MOORE

APPLICANT: Joe Ancmon
201 North Main Street
St. Charles, MO 63301

OWNER: 973 Foods & MBR Management
201 North Main Street
St. Charles, MO 63301

ADDRESS/LOCATION: 201 North Main Street

ZONING: CBD—Central Business District
HDD—Historic Downtown District

USE: Commercial—Novellus

MEETING DATE: May 18, 2026

BACKGROUND

The subject property is the two-story, three-bay, brick commercial building located at 201 North Main Street in the Historic Downtown District. According to the County’s tax parcels database, the building was constructed in 1890. The applicant is proposing to make alterations to an existing patio area located on the south side of the structure. The existing patio area is utilized by the restaurant “Novellus” and is adjacent to the Washington Street walkway and colonnade structure. The alterations consist of new plants, privacy screens, and bistro string lights being added to the space. Accompanying the application are photographs of the existing space, a site plan showing the proposed changes, and material examples.

APPLICABLE DESIGN GUIDELINES

SECTION 400.350: “HDD” HISTORIC DOWNTOWN DISTRICT.

C. Building, Sign and Occupancy Permits.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, including signs, or in any way change the outward appearance of any building or structure in the Historic Downtown District overlay without having obtained a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE HISTORIC DOWNTOWN DISTRICT

Chapter 4: Guidelines for Historic Properties

Design of Alterations

- 4.1 Design an alteration to be compatible with the historic character of the property.
 - a. Avoid alterations that would hinder the ability to perceive the historic architecture of the original building.
- 4.2 Avoid alterations that would damage historic features.
 - a. For example, mounting a sign panel in a manner that cause decorative moldings to be damaged would be inappropriate.

Site Planning and Site Features

- 4.3 Maintain the historic relationship of the structure to its site and the street when adding or altering site elements.

Street Facades

The ability of the pedestrian to understand the history of the district from the street should not be confused despite a structure's current use, it should retain most of the character defining features that make it significant. Generally speaking, these important architectural features should be preserved whenever possible.

- 4.26 Preserve the historic character of the building façade when it is intact
- 4.27 If the street façade is already altered, restoring it to the original design is preferred.

STAFF RECOMMENDATION

The proposed alterations are minor and temporary to the structure. The installation of plants on the patio does not require any special approval. The proposed privacy screens are on wheels and movable, allowing them to be removed easily if needed. They will be placed along the existing fence to the patio area to act as additional screening from the pedestrian walkway. Regarding the bistro lights, all lighting in the Historic Downtown District is required by code to receive a Certificate of Appropriateness application. The proposed light fixtures are like what can be seen throughout the district and into the South Main Preservation District. The bulbs in the installed string lights are less than 20 watts; they do not produce a glare that detracts from the streetscape. The bulbs also noted to be dimmable, furthering the ability to not produce glare. It is staff's opinion that the installed lighting does not have an adverse effect on the building or the district. Therefore, Staff recommends approval of the patio changes, as submitted.

Recommended Motions:

Motion to approve the alterations to an existing patio area at 201 North Main Street, as submitted.



Figure 1: Existing patio seen from North Main Street.



Figure 2: Proposed bistro lights for patio area.

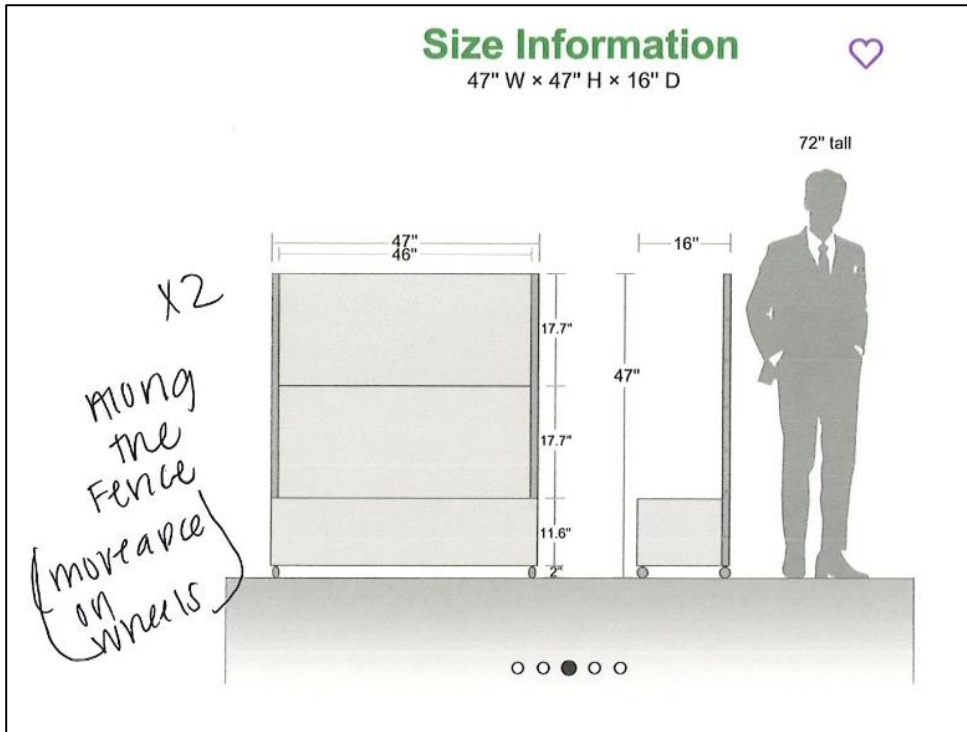


Figure 3: Proposed privacy screens for patio area.



Figure 4: Illustrated details for the patio area.



Figure 5: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 201 N main st

BUSINESS NAME (if applicable): NOVELLUS

APPLICANT: Joe Ancmon
(Name)

201 N. main st
(Address)

973-699-5305 joeancmon@yahoo.com
(Phone & Email Address)

PROPERTY OWNER: 973 Foods & MBR management
(Name)

201 N main st.
(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: UNKNOWN

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Just a fence along alley/walk way.
tables, chairs, umbrellas.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): plants, trees, wall plants

Other (briefly explain): string lights
privacy wall

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Add in wall for privacy two left walls
along side of fence next to the alley/
walk way. Adding in string lights and
couple of wall plants so it looks more
inviting

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 4/20/24

Signature of the property owner: Andrea Stephenson
Property manager for MBR Management

Date: 4-20-26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

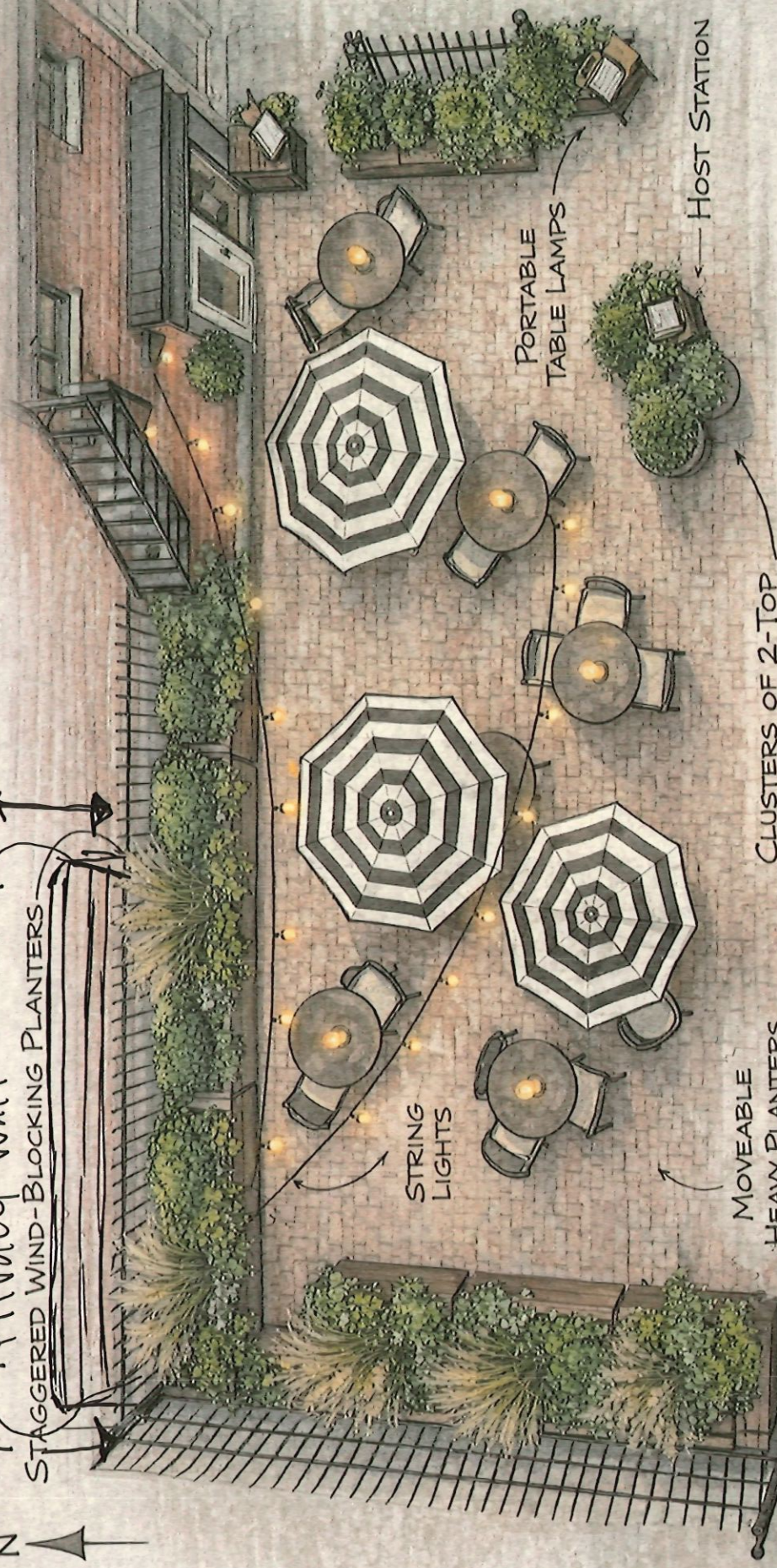
Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00

ALLEY

Privacy Wall 2x6ft
Staggered Wind-Blocking Planters

N



PORTABLE TABLE LAMPS

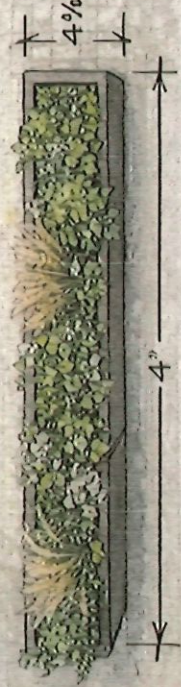
Host Station

CLUSTERS OF 2-TOP & 4-TOP TABLES

STRING LIGHTS

MOVEABLE HEAVY PLANTERS

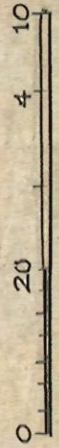
STRING LIGHTS



SCALE: 1/4" = 12"

OUTDOOR PATIO DESIGN - BIRD'S EYE VIEW

Scale: 1/4" = 1' 0"



Patio

From: hannah smith (smithhan04@gmail.com)

To: joeancmon@yahoo.com

Date: Friday, April 17, 2026 at 04:18 PM CDT



Patio

From: hannah smith (smithhan04@gmail.com)

To: joeancmon@yahoo.com

Date: Friday, April 17, 2026 at 04:18 PM CDT





Lighting / Outdoor Lighting / String Lights / SKU: W112923027

100FT LED Outdoor String Lights Patio Lights with 50 Shatterproof ST38 Bulbs,Connectable Dimmable Waterproof LED String Lights for Party,Garden,Birthday,Wedding,Backyard,Porch,Deck,Balcony,Christmas,Halloween, 2700K Warm White

By [Arlmont & Co.](#)

4.9 ★★★★★ [25 Reviews](#)

👁 Popular 6 people viewed in the last 5 hrs



\$44.99

~~\$49.99~~

10% Off

\$12 in 4 interest-free

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Metal Planter Box with Trellis and Wheels

By [Latitude Run®](#)

4.6 ★★★★★ [544 Reviews](#)

This item is Wayfair Verified

Popular 21 people viewing now

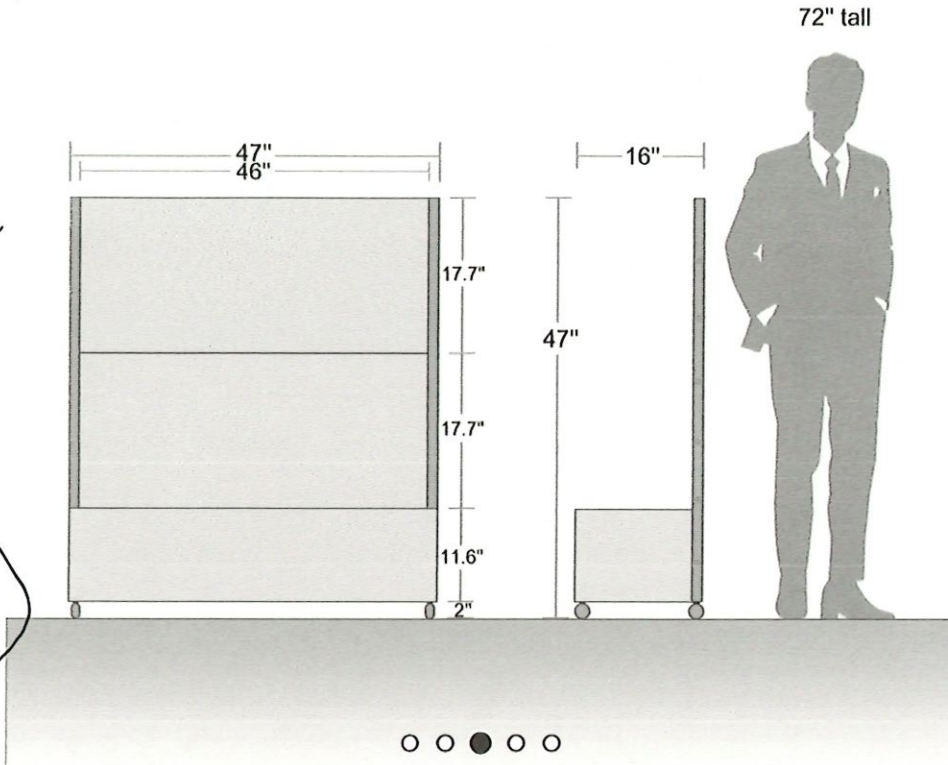
Size Information

47" W x 47" H x 16" D



72" tall

X2
Along
the
Fence
(moveable
on
wheels)



\$173.99

\$183.99

5% Off

\$44 in 4 interest-free

or payments with Klarna or

Afterpay

Get the App



Size: 47" H x 47" W x

wayfair.com





AGENDA ITEM #3B

**STAFF REPORT
FRONT PORCH REPAIRS
401 SOUTH 2ND STREET
CASE NO. EC-2026-27**

BY TAYLOR MOORE

APPLICANT: Adam Wright
401 South 2nd Street
St. Charles, MO 63301

OWNER: Same

ADDRESS/LOCATION: 401 South 2nd Street

ZONING: CRD-2 - Central Residential District
EHP - Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: May 18, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is the 1½-story, craftsman bungalow single-family dwelling located at 401 South 2nd Street. According to the County’s tax parcels database, the house was built circa 1930. The applicant is requesting approval to replace the front porch floorboards and railing. Accompanying this application are material examples and photographs of the existing structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

- 3. Building Design
 - c. Materials

- (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
- a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
- a. Conformance to ordinances and the Appearance Code.
 - e. Attractiveness
 - f. Material selection
 - g. Harmony and compatibility
 - i. Maintenance aspects.

STAFF RECOMMENDATION

The applicant originally planned to replace the existing wooden railing system with a new pre-assembled black aluminum railing. Staff advised against this alteration due to the material change not being compatible with architectural character of the structure. The applicant agreed to keep the original railing and repaint it all white rather than replace it. The proposed new flooring will be composite decking, and the applicant has indicated the new decking boards will be installed perpendicular to the structure to maintain the historic appearance of traditional porch floorboards. With the retention of the original wooden railing, this project will have no adverse impact on the structure and will improve the overall appearance. Therefore, Staff recommends approval of the proposed project, as submitted.

Recommended Motion:

Motion to approve the front porch alterations at 401 South 2nd Street, as submitted.



Figure 1: Subject property seen from South 2nd Street.



Figure 2: Front porch on property seen currently.



Figure 3: Existing flooring on front porch.



Figure 4: Example of proposed flooring.



Figure 5: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 401 S 2nd Street, St. Charles, MO 63301

BUSINESS NAME (if applicable): _____

APPLICANT: Adam Wright

(Name)

401 S 2nd Street, St. Charles, MO 63301

(Address)

314-608-9108 - atw0031@gmail.com

(Phone & Email Address)

PROPERTY OWNER: Adam Wright

(Name)

401 S 2nd Street, St. Charles, MO 63301

(Address)

314-608-9108 - atw0031@gmail.com

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- | | |
|---|---|
| <input type="checkbox"/> Commons Preservation District | <input checked="" type="checkbox"/> Extended Historic Preservation District |
| <input type="checkbox"/> Frenchtown Preservation District | <input type="checkbox"/> Historic Downtown Preservation District |
| <input type="checkbox"/> South Main Preservation District | |

DATE OF ORIGINAL CONSTRUCTION: Unknown on porch

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Single Family Home

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): Replace porch decking and railing

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Replace porch decking with composite decking and replace railing with new aluminum railing

Existing Photos







401

Proposed Materials

Trex Transcend® Lineage® Composite Decking

Transcend® Lineage®



Color: Hatteras

A neutral brown born from windswept dunes, Hatteras invites you to sit back, relax and savor the unmatched beauty of where surf and sand meet







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ABOUT ARIA RAILING®

ARIA Railing® is dedicated to providing you with a low maintenance aluminum railing system that will look great for years. We manufacture high-quality premium powder-coated aluminum baluster railing systems for decks, and patios with low-maintenance living in mind. Our dedication to research and development has produced an easy to install, do-it-yourself railing system while meeting North American commercial and residential building codes.

ARIA's high-performance railings are made of durable lightweight aluminum with a long-lasting powder-coated finish to stay looking like new. You will be satisfied with your railing for years backed up with a 20-year limited warranty.

Additionally, ARIA Railing® strives to be good stewards of the environment and the quality of life of its employees by developing maintenance-free products, which are recyclable, and through our manufacturing process, waste is disposed of in a responsible manner.

WHY CHOOSE ARIA RAILING®?

The ARIA aluminum baluster railing adds a durable and contemporary look to any home or commercial property. With do-it-yourself construction on the rise, we have developed a simple, easy-to-install railings system.

- **CONVENIENT KITS**
For Fast and Easy Installation
- **HIDDEN FASTENER SYSTEM**
No Welds or Rivets
- **EASY INSTALLATION**
Minimal Tools Required
- **BEAUTIFUL & DURABLE**
Architectural Grade Powder Coat Finish
- **LOW MAINTENANCE**
No Rusting, Cracking, Peeling, or Repainting
- **ENGINEERED & TESTED**
Commercial and Residential Approved
- **COMMERCIAL GRADE RAILING**
Meets Multifamily ICC-ES Criteria

WHAT YOU NEED TO GET STARTED:



PANELS CAN BE CUT TO FIT

FOR INSTRUCTIONS & VIDEOS
VISIT WWW.ARIARAILING.COM



CONVENIENT KITS
FOR MULTI-FAMILY, RESIDENTIAL
& COMMERCIAL USE

PANELIZED SYSTEM
FOR EASY ESTIMATING & INSTALLATION

**AMMA 2604
ARCHITECTURAL COATING**

HIDDEN FASTENERS
NO WELDS OR RIVETS

**3 EASY
STEPS**



PLAN YOUR
PROJECT



SELECT YOUR
KITS



INSTALL YOUR
RAILING



BLACK



WHITE



BRONZE



PIANO

**4 COLOR
OPTIONS**

ARCHITECTURAL GRADE POWDER COAT

Our products have a long-lasting AMMA 2604 textured powder-coated finish available in 4 different colors that won't fade, chip, or weather.

RAILING SPECIFICATIONS

- 6' Panels - Actual Sizes: 33.1618"H X 69.43" or 38.7318"H X 69.43"
- 8' Panels - Actual Sizes: 33.1618"H X 91.31" or 38.7318"H X 91.31"
- Balustrade Dimensions = 1/2" x 3/4" (.055" wall)
- Balustrade Spacing = 3.875"
- Top Rail - 2" x 1.92" (.050" wall)
- Bottom Rail - 1 1/2" x 1 1/2" (.050" wall)
- 3" x 3" x 36" Post - Actual Length: 38.25" (.065" wall)
- 3" x 3" x 42" Post - Actual Length: 43.5" (.065" wall)
- 3" x 3" x 48" Post - Actual Length: 49.5" (.065" wall)
- Support Leg Dimensions: 1.50" x 1.50" x 3.863" OA. This has a notch at 3.363", so from the resting surface to the bottom of the bottom snap is 3.363"

TOP RAIL PROFILE





AGENDA ITEM #3C

STAFF REPORT
REPLACE WINDOWS
1216 SOUTH MAIN STREET
CASE NO. EC-2026-28

BY TAYLOR MOORE

APPLICANT: Mark S. Tisius
1216 South Main Street
St. Charles, MO 63301

OWNER: Same as above

ADDRESS/LOCATION: 1216 South Main Street

ZONING: PD-RF – Planned Development Riverfront
LMPD—Landmark Preservation District

USE: Residential

MEETING DATE: May 18, 2026

BACKGROUND

The subject property is the 2-story townhouse at 1216 South Main Street in the Landmark Preservation District. The building was constructed in 2003 as part of the Waterworks Place Townhomes development. The applicant is requesting approval to replace ten (10) deteriorated wood windows with Provia Endure vinyl windows to match the existing. The new windows will match the existing in size, design, and pane configuration (both 3/1 and 1/1 sashes will be replaced with matching). Accompanying the application is a photograph of the house and product specs for the proposed windows.

APPLICABLE DESIGN GUIDELINES

SECTION 400.380: “LMPD” LANDMARK PRESERVATION DISTRICT

C. Building, Sign and Occupancy Permits.

1. No person shall build, erect, construct or alter buildings or structures on the designated property other than routine maintenance or repairs, without first having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. In reviewing applications for certificates of appropriateness, design guidelines approved by the City Council for the property shall be used. Furthermore, no person shall demolish or remove structures, in whole or in part, without first having obtained a certificate of demolition or removal from the Historic Landmarks Preservation and Architectural Review Board. In reviewing applications for a certificate of demolition or removal, criteria provided in Section 400.1280 shall be used. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are used.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN HISTORIC DISTRICT

Chapter IV: Guidelines for Historic Properties

Windows

- 4.36 Preserve the functional and decorative features of a historically important window when physical conditions permit.
- a. Such features may include frames, sash, muntins, mullions, glazing, sills, heads, jambs and moldings.
 - c. If replacement is necessary, replace it in kind, to match the original.
- 4.37 Preserve historically important window design on primary facades.
- 4.38 Maintain the historic number of panes in a window.
- 4.40 When a replacement window is necessary, use materials like those seen historically.
- a. Replacing a historically significant wood window with another wood window is preferred. However, other materials may be considered if the appearance is similar to that of the significant wood window in dimension, profile and finish.

STAFF RECOMMENDATION

The new windows will match the design of the existing sashes but will be vinyl with all existing trims wrapped with custom bent aluminum. The front four (4) windows will feature the same 3/1 grid pattern as the existing, and the rear six (6) windows likewise will match the 1/1 pattern. The design guidelines for the district state that replacing a wood window with another wood window is preferred but other materials may be considered if the appearance is like that of the historic wood window in dimension, profile and finish. Therefore, Staff recommends approval of the replacements, as submitted.

Recommended Motions:

Motion to approve the replacement of 10 windows on the townhome at 1216 South Main Street, as submitted.



Figure 1: Subject property seen from South Main Street.



Figure 2: Rear windows on the structure seen currently.

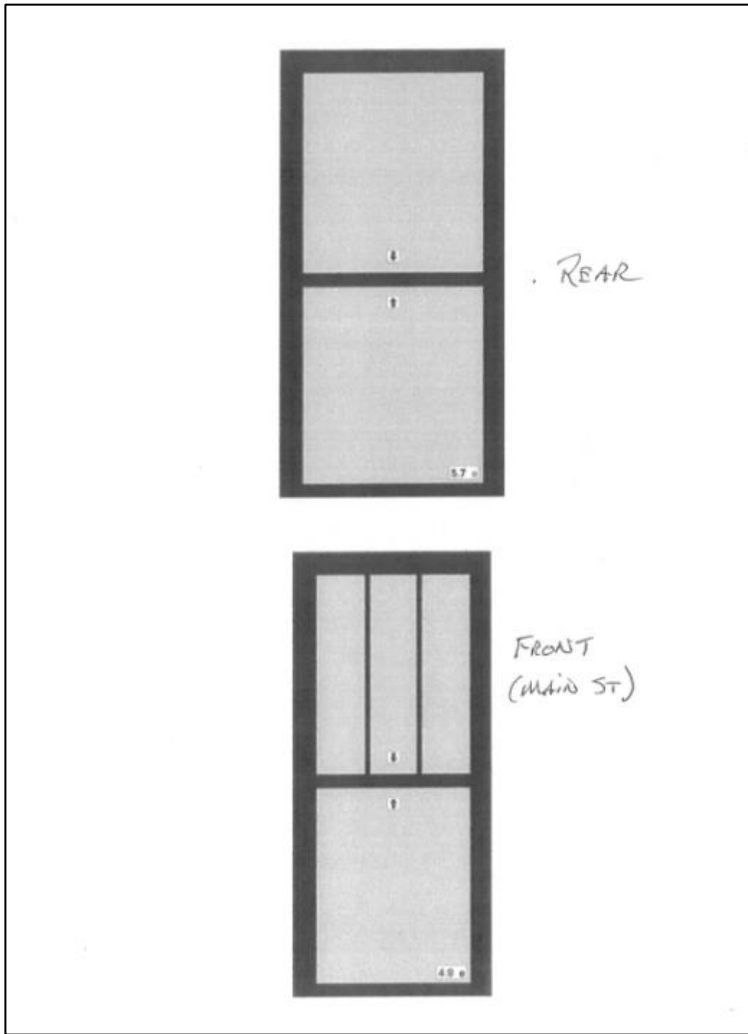


Figure 3: Proposed window design.



Figure 4: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1216 S MAIN ST

BUSINESS NAME (if applicable): —

APPLICANT: MARK S. TISIUS
(Name)

1216 S MAIN ST, ST CHARLES, MO 63301-3525
(Address)

832.573.7062 MT1953@SBCGLOBAL.NET
(Phone & Email Address)

PROPERTY OWNER: MARK S. TISIUS
(Name)

1216 S MAIN ST, ST CHARLES, MO 63301-3525
(Address)

832.573.7062 MT1953@SBCGLOBAL.NET
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 2004

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

2 STORY (FROM MAIN STREET VIEW) IN MIDDLE BLDG
OF 3 BLDG COMPLEX - WATERWORKS PLACE

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): REPLACE 10 WINDOWS

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

- NEW PROVIA/ENDURE SERIES WINDOWS, VINYL CONSTRUCTION
4 WINDOWS FACING MAIN ST, 50/50 W/GRIDS, TO
MATCH EXISTING STYLE
- 6 WINDOWS FACING KATHY TRAIL .50/50, NO GRIDS
- ALL EXISTING TRIM TO BE WRAPPED WITH CUSTOM BENT
ALUMINUM.
- ALL COLORS OF WINDOWS, ALUMINUM & CHALK ARE TO CLOSELY
MATCH EXISTING COLORS AS MUCH AS POSSIBLE
- EXISTING WINDOW UNITS REMOVED & ALL TRASH & DEBRIS
WILL BE HAULED OFF.

* BID DOCUMENT ATTACHED
HOA APPROVAL ATTACHED

APPLICATION SUBMITTAL:


Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

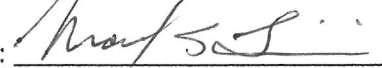
1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: 

Date: 04/13/26

Signature of the property owner: 

Date: 04/13/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00

ESTIMATE



Prepared For

Mark Tisius
1216 S. Mainstreet
St. Charles
(832) 573-7062

Colonial Construction

10120 Fite Circle
St. Louis, MO 63123
Phone: (314) 725-6080
Email: colonialstl@outlook.com
Web: colonialstl.com

Estimate # 4245
Date 03/30/2026
Expiration Date 05/31/2026
PO # Tisius-1216 S. Mainstreet

Description

Total

Windows

\$13,072.00

Information for Windows listed below

\$0.00

All windows listed below are bid in the following brand, and installed similarly in each room:

New windows will be:

Brand: ProVia

Series: Endure

Vinyl construction

Standard white hardware and locks

In operable windows, sliding half screens

ComforTech DLA-UV glass package (all windows will have Low-E and Argon for energy efficiency)

Depending on the room location and it's size and needs, windows will receive tempered glass if closer to the floor, if near a bathtub or shower to meet code requirements.

All exterior trim to be wrapped with custom bent aluminum.

All colors of windows, aluminum, and caulk are to closely match existing colors as much as possible.

Installation process:

- Drop cloths and floor protection set down. Furniture may be covered as needed to prevent dust from accumulating.
- Existing window units will be removed, and all trash and debris will be hauled off.
- New windows installed in each opening, and spray foam insulated on entire perimeter. On exterior and interior, custom bent aluminum and vinyl trim installed to fill gaps between drywall or

between brick/ siding, and then all edges sealed with high performance Quad Max silicone.
-Windows fully cleaned inside and out, and each room and area of floor/carpet vacuumed and cleaned.
Furniture in each room can be moved and put back by installers or placed as directed by homeowners.

Upstairs Master Bedroom (STREET FACING, ABOVE GARAGE)

Remove 4 old windows and install 4 new vinyl Provia Endure series windows. 50/50, grids SDL to match existing style (see attached picture). For soundproofing, we are going to have the manufacturer do offset glazing.

Upstairs Rear Bedroom

Remove 2 old windows and install 2 new vinyl Provia Endure series windows. 50/50, no grids.

Dining Room

Remove 2 old windows and install 2 new vinyl Provia Endure series windows. 50/50, no grids

Basement Bedroom

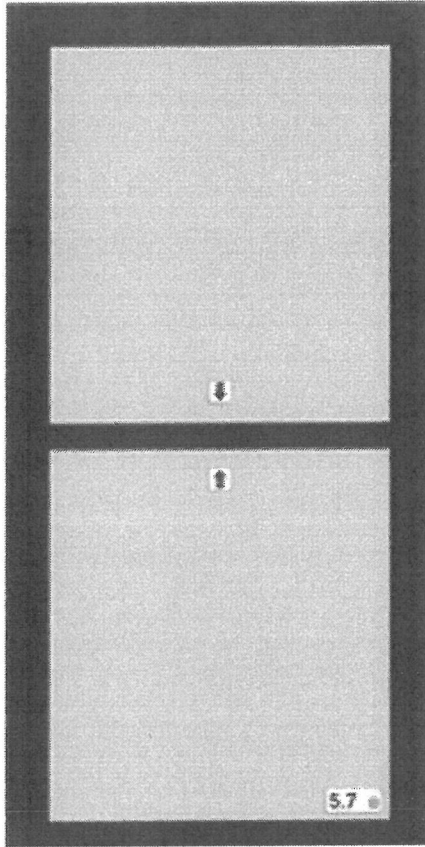
Remove 2 old windows and install 2 new vinyl Provia Endure series windows. 50/50, no grids.
Tempered glass to be installed on the bottom glass (to meet code).

Subtotal

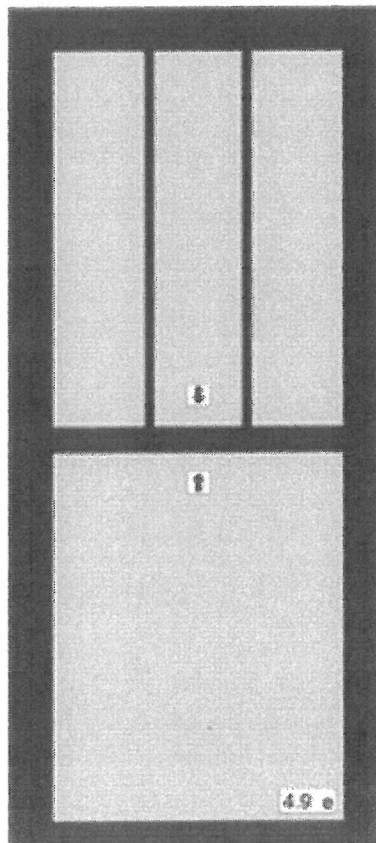
Total

Notes:

No money down. Payment due in full upon completion.



REAR



FRONT
(MAIN ST)

ARCHITECTURAL **APPROVAL NOTICE**

DESIGN OF WORK TAKING PLACE WAS APPROVED BY THE
BOARD OF THE Water Works Place Homeowners
Association

APPROVAL #: 005282

DATE APPROVED: Wednesday, April 15, 2026

Window Replacement

ADDRESS: 1216 S. Main St.

LOT #: 2B

DNI Properties Inc.

Larry Brewer

Community Manager

314-576-0700 ext. 304

lbrewer@dniproperties.com

OWNER/BUILDER IS RESPONSIBLE FOR SETBACK REQUIREMENTS

**POST THIS AR APPROVAL NOTICE IN A LOCATION VISIBLE FROM THE STREET AND PROTECTED
FROM THE WEATHER UNTIL PROJECT HAS BEEN COMPLETED AND REVIEWED BY THE BOARD.**

******THIS AR APPROVAL NOTICE AND APPROVED
COUNTY PERMITS MUST BE POSTED AT JOB SITE******

662 Office Parkway • Creve Coeur, MO 63141 • (314) 576-0700 • www.dniproperties.com

Water Works Place Homeowners Association



DNI Properties, Inc.
Managing Agent

Mark Tisius, as Trustee of The Mark & Sharon Tisius Revocable Trust
1216 S. Main St.
St. Charles, MO 63301

April 15, 2026

RE: Architectural Approval – Window Replacement

Dear Homeowner(s):

It is my pleasure to inform you that the Architectural Request you submitted, requesting **window replacement**, has been reviewed by the Board for the Water Works Place Homeowners Association, and **approved** with the following conditions.

1. The window(s) need to match the current color, style, etc as the other Units.
2. Vendors may not post advertising signs anywhere on your Lot or in the community.
3. If the improvement is not completed according to the approved specifications as submitted on your architectural request submission, it must be revised to meet compliance and/or removed at the request of the Board.
4. If the improvement presents a nuisance, aesthetically or functionally, it must be corrected and/or removed at the request of the Board.
5. The improvement must be in compliance with the restrictions set forth by your community's governing documents.
6. The improvement and any modifications to the grade may not alter, hinder, or obstruct drainage on or around your Lot or adversely impact any surrounding properties or areas around your Lot.
7. All construction costs, as well as future maintenance and improvements will be at the expense of the Homeowner.
8. The improvement must be completed within 90 days of the date of this approval notice.

Architectural controls help to ensure the community maintains a consistent appearance, and the Association thanks you for properly submitting your Architectural Request. **Please keep in mind that it is the Homeowner's responsibility to post the enclosed Architectural Approval Notice and to secure any building permits or other documents required by the county or municipality in which you reside.** Should you have any questions regarding your request or approval notice, please feel free to contact lbrewer@dniproperties.com or 314-576-0700 ext. 304.

Sincerely,
Larry Brewer
Community Manager
DNI Properties, Inc. on behalf of the Water Works Place Homeowners Association



AGENDA ITEM #3D

STAFF REPORT
GARAGE DOOR
700 NORTH 3rd STREET
CASE NO. EC-2026-29

BY TAYLOR MOORE

APPLICANT: Shelton Flynt & Naomi Miali
700 North Third Street
St. Charles, MO 63301

OWNER: Same as above

ADDRESS/LOCATION: 700 North 3rd Street

ZONING: R-1E—Single-Family Residential District
FHP—Frenchtown Historic Preservation District

USE: Single-Family Residential

MEETING DATE: May 18, 2026

BACKGROUND

The subject property is 700 North Third Street, an altered French Second Empire house constructed circa 1870, which is located in the Frenchtown Preservation District. In the rear of the property there is a 22' x 22' (484 sq. ft.) framed garage structure clad in vinyl siding. The detached garage was constructed in 1990 and still features the original 16' x 7' overhead garage door. The applicant is requesting approval to replace the garage door with a new one. Accompanying this application are product specs for the garage door as well as photographs of the existing garage.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: "FPD" FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

**ARCHITECTURAL DESIGN GUIDELINES FOR THE
FRENCHTOWN PRESERVATION DISTRICT**

Chapter V: Guidelines for New Construction and Alterations to Non-Contributing Structures

Doors & Entries

- 5.26 Clearly identify the primary entrance into the building.
 - a. The primary entrance should be easily identified from the street.
- 5.27 A new door shall reflect the proportions of historic doors found in the district.
 - a. A door shall appear similar to historic doors found throughout the district.
- 5.28 For a new door, use a design similar to those found historically on comparable buildings.
 - a. A door should be trimmed in wood. Use trim with a dimension similar to that used historically.
 - b. Used door lights which are similar in number and size as seen on historic buildings.

STAFF RECOMMENDATION

The proposal consists solely of replacing the existing overhead garage door on the rear detached structure. The proposed garage door features a panel design with a walnut-color finish and includes a row of windows along the upper section. The walnut-color finish and visual design of the door is compatible with the property and the surrounding streetscape. Due to its age, the structure is non-conforming to the district, and the proposed alteration will have no adverse impact on the building. Therefore, Staff recommended approval of the garage door replacement, as submitted.

Recommended Motion:

Motion to approve the replacement of an overhead door on the rear detached garage structure at 700 North Third Street, as submitted.



Figure 1: Subject rear garage seen from Decatur Street.



Current Garage



Garage with proposed new door

Figure 2: Current garage door vs. proposed replacement.



Figure 3: Subject property's location.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 700 N 3rd St 63301

BUSINESS NAME (if applicable): n/a residential

APPLICANT:

Shelton Keith Flynt + Naomi Miali
(Name)

700 N 3rd St 63301
(Address)

(618) 305-0387 naomi.miali@gmail.com
(Phone & Email Address)

PROPERTY OWNER:

Shelton Keith Flynt + Naomi Miali
(Name)

700 N 3rd St 63301
(Address)

(618) 305-0387 naomi.miali@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: circa 1870 (house)
1990 (garage)

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Built in 1990, the current detached garage, located at the rear of the property, is a 22' x 22' framed structure clad in vinyl siding with white trim, a side door and window on the side facing the house and a white 16' x 7' garage door facing Decatur St.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): Replace the 16' x 7' garage door.

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Martin Door will furnish and install the replacement door and electric opener as detailed in their proposal (attached).

No other changes to occur at this time.

Current exterior lighting, side door and paint colors will be modified at a later date.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Naomi Date: 4/20/26

Signature of the property owner: Sharon North Date: 4/20/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00



Proposal

DATE April 13, 2026

3037 North St. Peters Parkway
 St. Peters, Mo, 63376
 Phone: 636-928-3875 Fax: 636-447-8853

Contact: Keith Flynt
 Bill To: Keith Flynt
 700 N. 3rd St.
 St. Charles, MO 63301

Page 1 OF 3

Ship To: SAME

Phone: (618) 534-7962
 Contact: Keith
 Email: shelton43@aol.com

Please Note: Attached Terms And Conditions to the Contract

Salesperson:	Note:	Scope Of Work:	Revised From:
Shawn Jaeger	N/A	Replacement Garage Door & Electric Opener	N/A

Furnish & Install The Following Replacement Garage Door & Electric Opener As Listed Below:

QUANTITY	DESCRIPTION	PRICE
	<u>REPLACEMENT GARAGE DOOR</u>	
1.00	16'x 7', Clopay, Bridgeport Collection, 3 Layer Construction, Model BD2NU-W1, U.G. Walnut, Narrow Panel, Woodgrain Texture, Insulated, Steel, Traditional Shaker Style Garage Door, With REC14 Windows, In Top Section, With Double Strength Clear Glass 2" Thick, Intellicore Insulation Technology - Polyurethane Insulation ("R" 18.4)/Steel Back Standard Radius Track, Torsion Spring System, Nylon Rollers No Hardware On Exterior Of Door, *Customer To Sign Waiver, With Inside Slide Lock Bottom Astragal And Retainer, 2" Black Vinyl Perimeter Weatherseal Remove & Haul Existing Garage Door & Electric Opener Limited Lifetime Manufacturer Paint System Warranty, (10) Year Limited Manufacturer Window Warranty, (3) Year Limited Manufacturer Hardware Warranty, (1) Year Labor Warranty From Martin Door Company On New Installed Products	
	CONTINUED TO NEXT PAGE.....	
	NOTE* This Proposal May Be Withdrawn By Us At Any Time. Raw Material Prices Are Extremely Volatile, There Has Been Several Price Increases With Little To No Notice. This Quote Is Subject To Change If Any Price Increase Happens From Our Supplier.	
	Total	CONT.

NOTE* No Permits, Licensing, Framing, Drywall, Painting Or Electrical Provided By Martin Door Company.

NOTE* No Disconnect/ Reconnect/ Reset Of Customers Alarms, If Any, Provided By Martin Door Company.

Prices Include Material, Labor, Freight, And Surcharge. NOTE* Garage Must Be Cleared Prior To Installation.

50% Deposit & Signed Proposal Required To Place Order With Balance Due Upon Completion/Financing Available Due To Unforeseen Circumstances, Lead Times Are Unknown.

Salesman: Shawn Jaeger

**** Please Sign Here To Accept Proposal:**



Proposal

DATE April 13, 2026

3037 North St. Peters Parkway
 St. Peters, Mo, 63376
 Phone: 636-928-3875 Fax: 636-447-8853

Contact: Keith Flynt
 Bill To: Keith Flynt
 700 N. 3rd St.
 St. Charles, MO 63301

Page 2 OF 3

Ship To: SAME

Phone: (618) 534-7962
 Contact: Keith
 Email: shelton43@aol.com

Please Note: Attached Terms And Conditions to the Contract

Salesperson:	Note:	Scope Of Work:	Revised From:
Shawn Jaeger	N/A	Replacement Garage Door & Electric Opener	N/A

Furnish & Install The Following Replacement Garage Door & Electric Opener As Listed Below:

QUANTITY	DESCRIPTION	PRICE
	<u>CONTINUED FROM PREVIOUS PAGE:</u>	
	<u>REPLACEMENT ELECTRIC OPENER:</u>	
1.00	LiftMaster, Model 6580L, 7' Rail, Belt Drive, DC Motor, Secure View Smart Garage Door Opener With Built-In Camera, Integrated Dual LED Lighting System, Battery Back-Up & Ultra Quiet Belt Drive MyQ Technology, Wi-Fi Connectivity & Homelink Compatible (Version 4.0 Or Higher), Solid Steel Trolley And T-Rail, Multi-Function Wall Control Panel, Security + 3.0, Dual Light Lens LED-1,500 Lumens, 360 Degree Angle Camera With 2-Way Communication, With (3) TOTAL, 3-Button Remotes, (1) Exterior Keyless Entry (6) Year Manufacturer Warranty On Motor & Belt, (1) Year Manufacturer Warranty On Parts, Camera, Accessories & LED, (1) Year Labor Warranty From Martin Door Company On New Installed Products	
	INSTALLED.....	\$ 6,249.00
<div style="border: 1px solid black; padding: 5px;"> <p>NOTE* This Proposal May Be Withdrawn By Us At Any Time. Raw Material Prices Are Extremely Volatile, There Has Been Several Price Increases With Little To No Notice. This Quote Is Subject To Change If Any Price Increase Happens From Our Supplier.</p> </div>		
	Total	\$ 6,249.00

NOTE* No Permits, Licensing, Framing, Drywall, Painting Or Electrical Provided By Martin Door Company.

NOTE* No Disconnect/ Reconnect/ Reset Of Customers Alarms, If Any, Provided By Martin Door Company.

Prices Include Material, Labor, Freight, And Surcharge. NOTE* Garage Must Be Cleared Prior To Installation.

50% Deposit & Signed Proposal Required To Place Order With Balance Due Upon Completion/Financing Available

Due To Unforeseen Circumstances, Lead Times Are 6-8 Weeks.

Salesman: Shawn Jaeger

**** Please Sign Here To Accept Proposal:**



Proposed New Garage Door

Views of Property





Current Garage



Garage with proposed new door

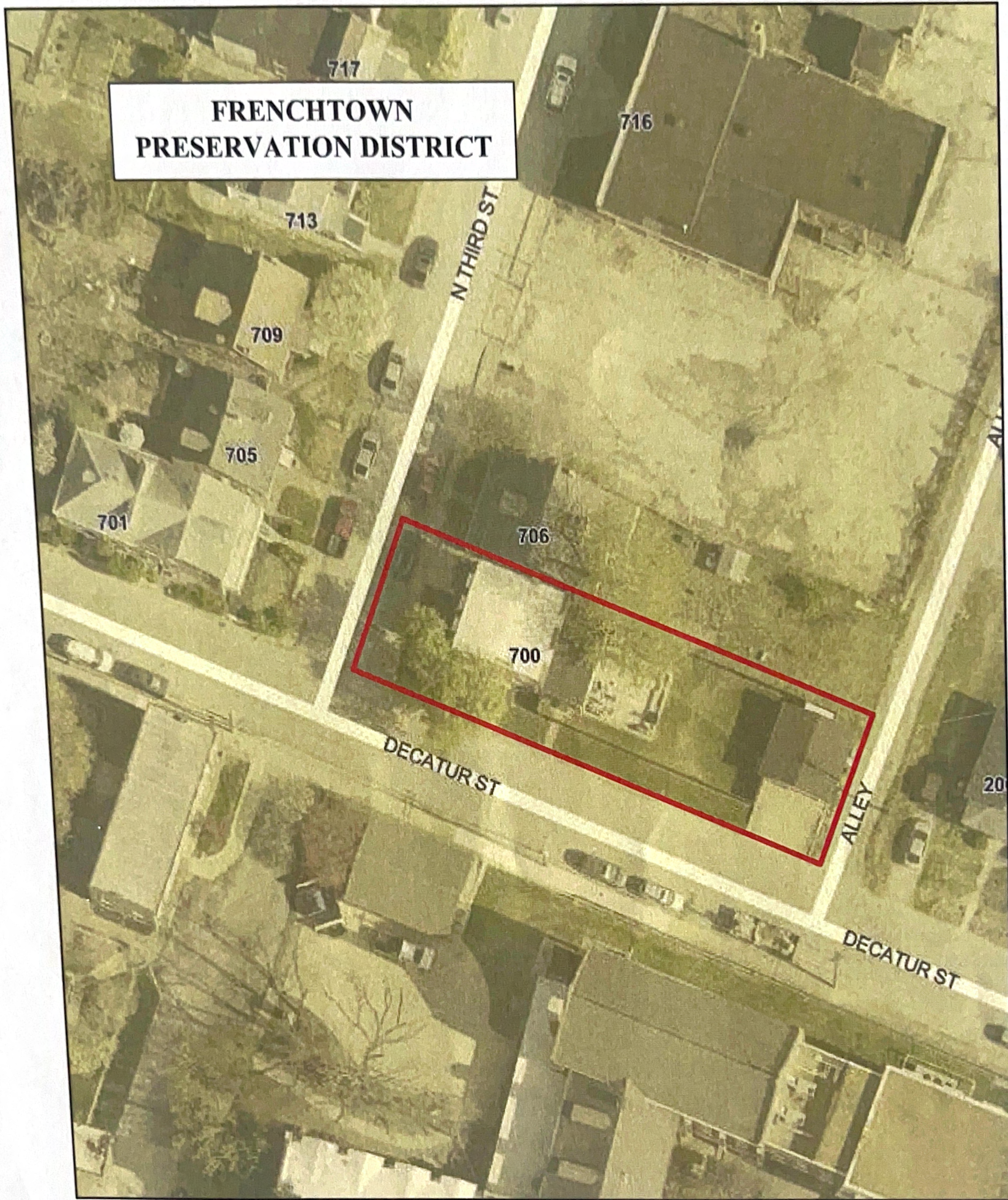


Figure 4: Subject properties location.



AGENDA ITEM #3E

**STAFF REPORT
WINDOW REPLACEMENT
1310 NORTH 3RD STREET
CASE NO. EC-2026-30**

BY TAYLOR MOORE

APPLICANT: Renewal by Anderson
13397 Lakefront Drive Suite 101
Hazelwood, MO 63044

OWNER: Mark Nitchman
1310 North 3rd Street
St Charles, MO 63301

ADDRESS/LOCATION: 1310 North 3rd Street

ZONING: R-1E – Single-Family Residential District
FPD—Frenchtown Preservation District

USE: Single-Family Residential

MEETING DATE: May 18, 2026

BACKGROUND

Located in the Frenchtown Preservation District, the subject property is the 1½ story, brick, Late-Victorian style house at 1310 North 3rd Street. Constructed in 1887, the dwelling is considered a contributing property to the Frenchtown National Historic District. The applicant is requesting approval to replace six (6) windows on the dwelling with new Fibrex wood composite windows. Accompanying the application is spec sheets for the proposed windows and photographs of the existing dwelling.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter III: Guidelines for All Historic Properties

Windows

- 3.43 Window openings shall not be altered without a model example.
- 3.44 Windows shall be maintained and kept in good repair.
- 3.49 Windows may be replaced with vinyl, wood or finished aluminum windows that duplicate the original in size or style if a model example is provided.
 - a. Repair rather than replacement is normally most appropriate

STAFF RECOMMENDATION

The new windows are appropriate in material and design, and will match the configuration of the current ones, allowing for a like-for-like replacement. Four of the windows will be the 2/2 configuration, one will be the 1/1 configuration, and one will be a picture window. The proposal also involves exterior brick molding and eyebrow features to be wrapped in canvas coil, which is common for structures of this age and can be seen on other dwellings throughout the district. The applicant has stated the canvas coil will almost perfectly match the color of the existing features, which is consistent with the guidelines. With these alterations essentially mirroring the existing conditions, Staff finds the project to be appropriate, and therefore recommends approval as submitted.

Recommended Motion:

Motion to approve the replacement of six windows on the dwelling at 1310 North 3rd Street, as submitted.



Figure 1: Subject property seen from North 4th Street (4 first-floor windows to be replaced).

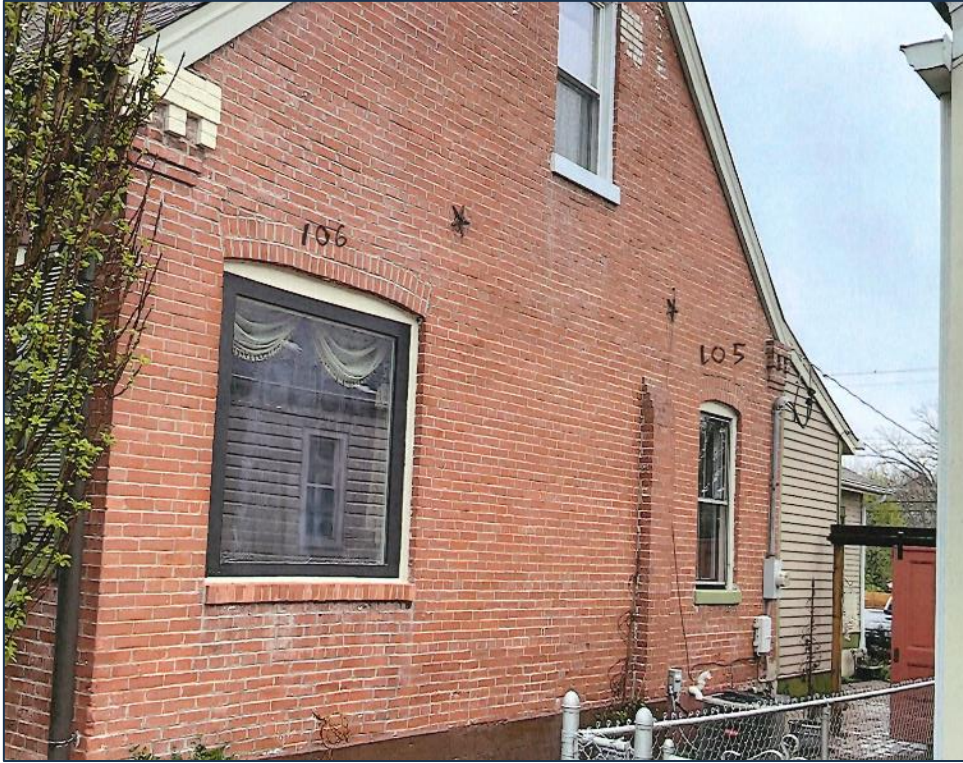


Figure 2: South side of dwelling (2 first-floor windows to be replaced).

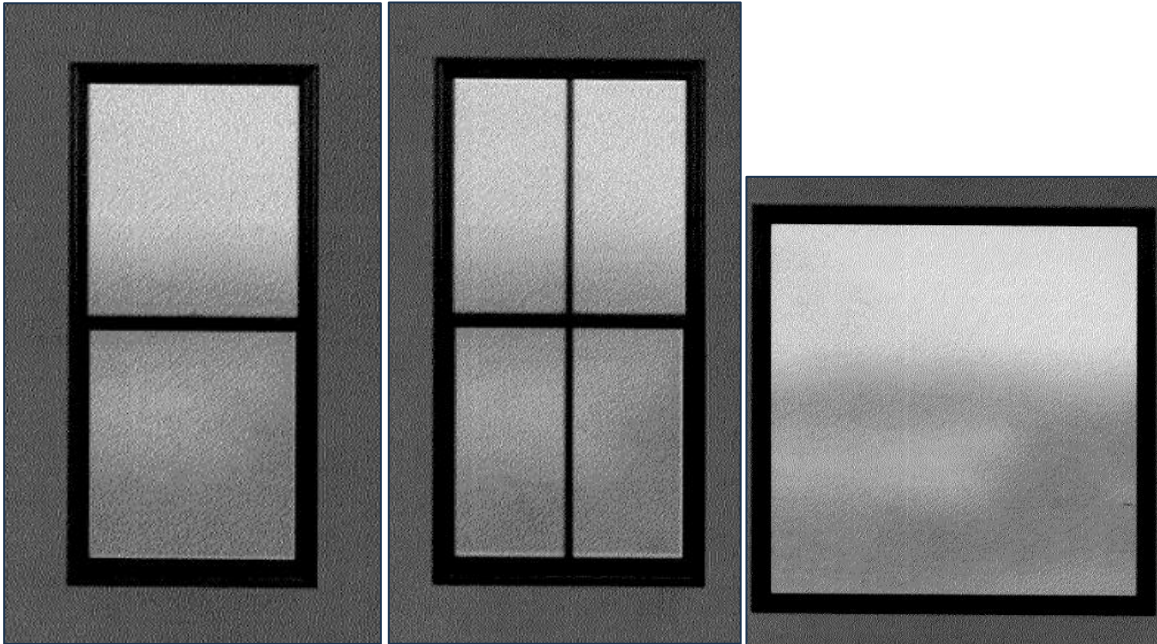


Figure 3: Example of proposed windows (Four 1/1, One 2/2, One Picture Window).

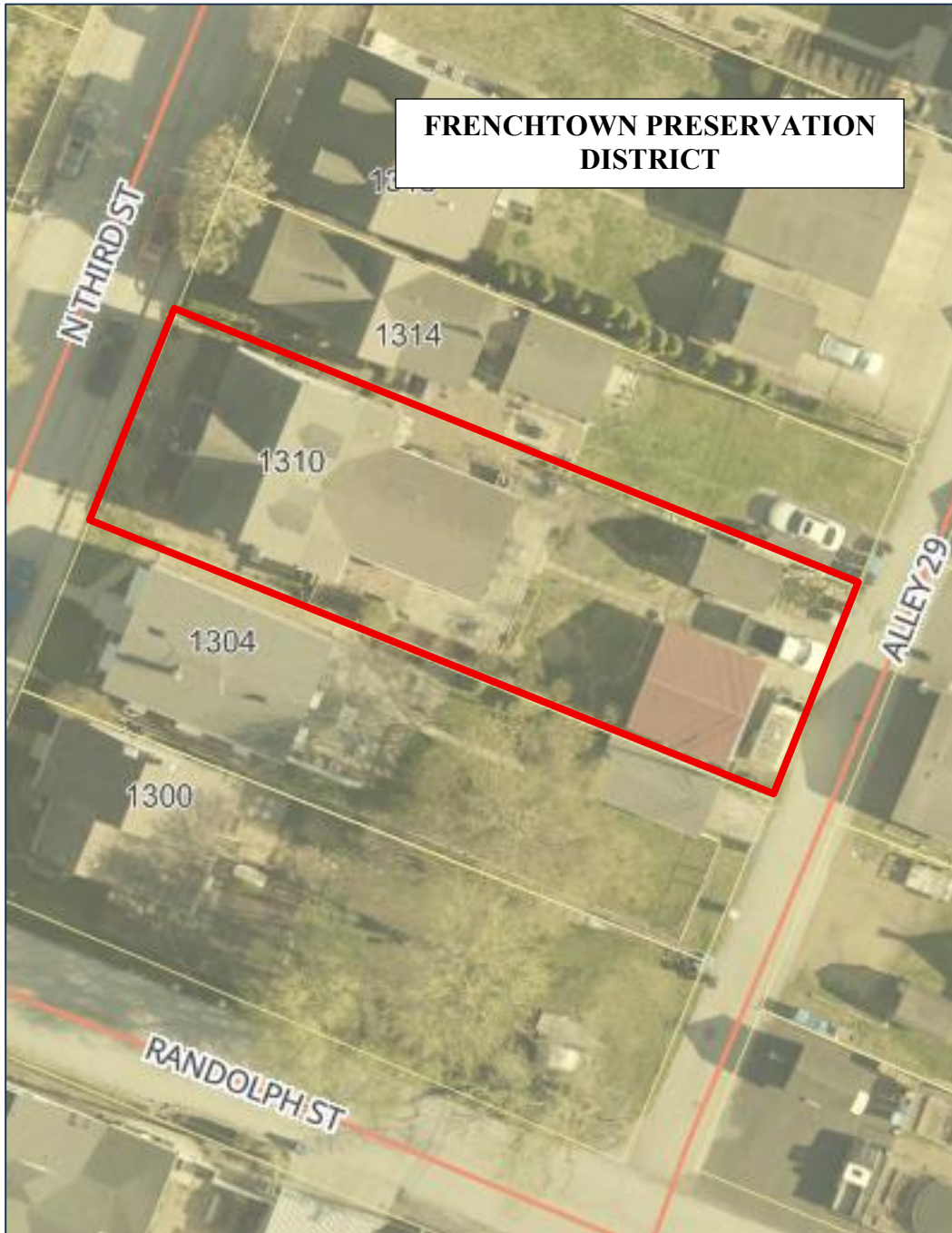


Figure 4: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1310 N 3rd St.

BUSINESS NAME (if applicable): Mark Nitchman

APPLICANT:

Renewal by Andersen
(Name)

13397 Lakefront Dr. Suite 101
(Address)

Permits@rbasth.com
(Phone & Email Address)

PROPERTY OWNER:

Mark Nitchman
(Name)

1310 N 3rd St.
(Address)

Susan.Nitchman@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1887

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Unit 106 has been replaced with a direct set window. Unit 101-105 have the original frames and sashes. A few sashes have had the original glass replaced.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

All new windows will be like for like. Exterior brick mold will be wrapped in canvas coil. Eyebrows will be wrapped in canvas coil as well.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Collin Whittington Date: 4/2/26

Signature of the property owner: _____ Date: _____

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan: \$200.00
Exterior Changes & Demolitions: \$50.00



dba: RENEWAL BY ANDERSEN OF ST. LOUIS
 Legal Name: Birner STL, LLC | License # (null)
 13397 Lakefront Drive, Suite 101 | Earth City, MO 63045
 Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com
 Measure Tech: Collin Whittington,

Mark & Susan Nitchman
 1310 N 3rd St
 Saint Charles, MO 63301
 Year Built: 1876
 H: (636)947-0576

Installation Package

1310 N 3rd St
 Saint Charles, MO 63301

PRODUCTS: 7 WINDOWS: 6 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 1
Updated 4/1/26

BUYER

Mark & Susan Nitchman
 1310 N 3rd St
 Saint Charles, MO 63301
 Year Built: 1876
 H: (636)947-0576
 Year Built: 1876
 susan.nitchman@gmail.com

Est. Duration:

REPRESENTATIVE

Ray St.Pierre
 (636)233-7828
 rstpierre@rbastl.com

TECH MEASURE

Collin Whittington
 cwhittington@rbastl.com

dba: RENEWAL BY ANDERSEN OF ST. LOUIS
 Legal Name: Birner STL, LLC | License # (null)
 13397 Lakefront Drive, Suite 101 | Earth City, MO 63045
 Phone: 314-983-9977 | Fax: 314-403-8028 | PAdmin@rbastl.com
 Measure Tech: Collin Whittington,



Order Summary

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

Legal Name: Birner STL, LLC | License # (null)
 13397 Lakefront Drive, Suite 101 | Earth City, MO 63045
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 Measure Tech: Collin Whittington,

Mark & Susan Nitchman
 1310 N 3rd St
 Saint Charles, MO 63301
 Year Built: 1876
 H: (636)947-0576

ID#	ROOM	SIZE		DETAILS
101	Dining	31" 31"	66" 66"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior Black, Interior White Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance, No Pattern Hardware: Distressed Nickel, Estate Finish Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: No Grille Misc: Project Notes, Please cap all exterior canvas Construction: None Material: Exterior Coil: Canvas (0.1), Exterior Caulk: Black (0.5), Exterior Caulk: Canvas (0.5), (2 1/4") - Canvas (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)</p>
102	Dining	31" 31"	66" 66"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior Black, Interior White Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance, No Pattern Hardware: Distressed Nickel, Estate Finish Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: No Grille Misc: Project Notes, Please cap all exterior canvas Construction: None Material: Exterior Coil: Canvas (0.1), Exterior Caulk: Black (0.5), Exterior Caulk: Canvas (0.5), (2 1/4") - Canvas (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)</p>
105	Kitchen	33" 33"	65" 65"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior Black, Interior White Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance, No Pattern Hardware: Distressed Nickel, Estate Finish Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: Simulated Divided Light (FDL w/o spacer), Wide Bar Grille Pattern: All Sash: Colonial 2w x 1h Misc: Project Notes, Please cap all exterior canvas Construction: None Material: Exterior Coil: Canvas (0.1), Exterior Caulk: Black (0.5), Exterior Caulk: Canvas (0.5), (2 1/4") - Canvas (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)</p>



Order Summary

dba: RENEWAL BY ANDERSEN OF ST. LOUIS

Legal Name: Birner STL, LLC | License # (null)
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Mark & Susan Nitchman
 1310 N 3rd St
 Saint Charles, MO 63301
 Year Built: 1876
 H: (636)947-0576

ID#	ROOM	SIZE	DETAILS
-----	------	------	---------

JOB

103	Living	31" 31"	66" 66"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior Black, Interior White Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance, No Pattern Hardware: Distressed Nickel, Estate Finish Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: No Grille Misc: Project Notes, Please cap all exterior canvas Construction: None Material: Exterior Coil: Canvas (0.1), Exterior Caulk: Black (0.5), Exterior Caulk: Canvas (0.5), (2 1/4") - Canvas (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)</p>
104	Living	31" 31"	66" 66"	<p>Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Base Frame, Modern Checkrail, Exterior Black, Interior White Performance Calculator: PG Rating: 40 DP Rating: + 40 / - 40 Glass: All Sash: High Performance, No Pattern Hardware: Distressed Nickel, Estate Finish Recessed Hand Lift Screen: TruScene, Full Screen Grille Style: No Grille Misc: Project Notes, Please cap all exterior canvas Construction: None Material: Exterior Coil: Canvas (0.1), Exterior Caulk: Black (0.5), Exterior Caulk: Canvas (0.5), (2 1/4") - Canvas (2), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)</p>
106	Dining	66" 66"	67" 67"	<p>Window: Acclaim™ Picture, Base Frame, Exterior Black, Interior White Performance Calculator: PG Rating: 50 DP Rating: + 50 / - 50 Glass: All Sash: High Performance, No Pattern Grille Style: No Grille Misc: Project Notes, All exterior trim canvas Construction: None Material: Exterior Coil: Canvas (0.1), Exterior Caulk: Black (0.5), Exterior Caulk: Canvas (0.5), (2 1/4") - Canvas (3), 3" Screws Pan Heads (0.05), Ad Foam (0.13), Shims - 1/16" (0.05)</p>



Home Improvement Agreement and Payment Terms

DBA: RENEWAL BY ANDERSEN OF ST. LOUIS
Legal Name: Birner STL, LLC
13397 Lakefront Drive, Suite 101 | Earth City, MO 63045
Phone: 314-983-9977 | Fax: 314-403-8028 | sales@rbastl.com

Mark & Susan Nitchman
1310 N 3rd St
Saint Charles, MO 63301
Year Built: 1876
H: (636)947-0576

Mark & Susan Nitchman

03/23/26

BUYER(S) NAME

CONTRACT DATE

1310 N 3rd St, Saint Charles, MO 63301

(636)947-0576

BUYER(S) STREET ADDRESS

PRIMARY NUMBER

SECONDARY NUMBER

susan.nitchman@gmail.com

PRIMARY EMAIL

SECONDARY EMAIL

NOTES:

Buyer(s) hereby jointly and severally agrees to purchase the products and/or services of Birner STL, LLC d/b/a Renewal by Andersen of St. Louis ("Contractor"), in accordance with the terms and conditions described in this Home Improvement Agreement and Payment Terms, any documents listed in the Table of Contents, and any other document attached to this Home Improvement Agreement, the terms of which are all agreed to by the parties and incorporated herein by reference (collectively, this "Agreement"). Buyer(s) hereby agrees to sign a completion certificate after Contractor has completed all work under this Agreement.

TOTAL CONTRACT PRICE: \$23,883

By signing this Agreement, you acknowledge that the Balance Due, and the Amount Financed must be made by personal check, bank check, credit card, or cash.

DOWN PAYMENT: \$0

BALANCE DUE: \$23,883

We schedule installations based on the date of the signed contract and secondarily on the date in which we complete the technical measurements. The installation date that we are providing at this time is only an estimate. We will communicate an official date and time at a later date. Rain and extreme weather are the most common causes for delay.

AMOUNT FINANCED: \$23,883

METHOD OF PAYMENT: Financing

NOTES: 0% for 48 months

Buyer(s) agrees and understands that this Agreement constitutes the entire understandings between the parties and that there are no verbal understandings changing or modifying any of the terms of this Agreement. No alterations to or deviations from this Agreement will be valid without the signed, written consent of both the Buyer(s) and Contractor. Buyer(s) hereby acknowledges that Buyer(s) 1) has read this Agreement, understands the terms of this Agreement, and has received a completed, signed, and dated copy of this Agreement, including the two attached Notices of Cancellation, on the date first written above and 2) was orally informed of Buyer's right to cancel this Agreement.

NOTICE TO BUYER: Do not sign this contract if blank. You are entitled to a copy of the contract at the time you sign.

YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME NOT LATER THAN MIDNIGHT OF 03/26/2026 OR THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION, WHICHEVER DATE IS LATER. SEE THE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT.

SIGNATURE OF SALES PERSON:

SIGNATURE OF CUSTOMER 1:

SIGNATURE OF CUSTOMER 2:

Ray St.Pierre

Mark Nitchman

Susan Nitchman

PRINT NAME OF SALES PERSON

PRINT NAME

PRINT NAME



Order Summary

dba: RENEWAL BY ANDERSEN OF ST. LOUIS
 Legal Name: Birner STL, LLC | License # (null)
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 Measure Tech: Collin Whittington,

Mark & Susan Nitchman
 1310 N 3rd St
 Saint Charles, MO 63301
 Year Built: 1876
 H: (636)947-0576

ID#	ROOM	SIZE	DETAILS
000		0" 0"	Misc: Misc, Flashing Package, Flashing Package, Quantity 1 Construction: None Material: None

PRODUCTS: 7 WINDOWS: 6 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 1

Updated 4/1/26

JOB NOTES

LSWP yes home built 1876

Permit yes Historic St. Charles

No hoa

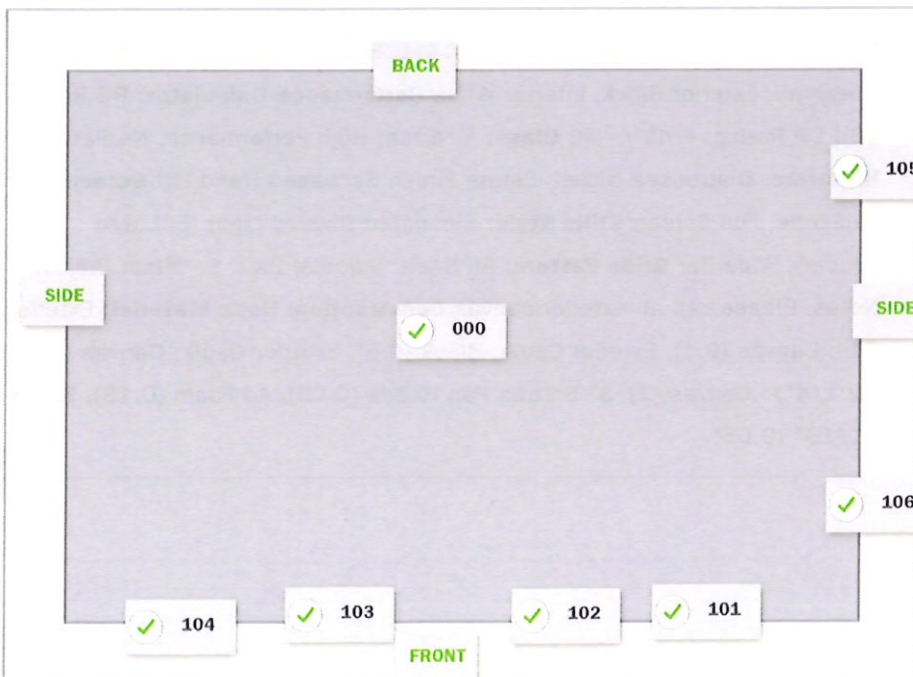
Yard sign ok

All windows are being installed as inserts into the existing wood frames. Brick mold on 101-105 is wider than usual, so we had to do an extra cut back. Interior stop will need to stay. For interior finish we will be extending the interior stops with rba white base shoe.

Customer was hoping interior stops would be removed, so we will be more base shoe on top of the interior stops to help hide them. If this isn't clear enough please call me for clarification. Exterior will need to be coiled and caulked in canvas coil. Unit 106 will be finish with one set of rba white base shoe and the same exterior coil.

Estimated Duration:

FLOORPLAN - 1ST FLOOR



UNIT NOTES



Order Summary

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Measure Tech: Collin Whittington,

Mark & Susan Nitchman
1310 N 3rd St
Saint Charles, MO 63301
Year Built: 1876
H: (636)947-0576

JOB PHOTOS



Image 1

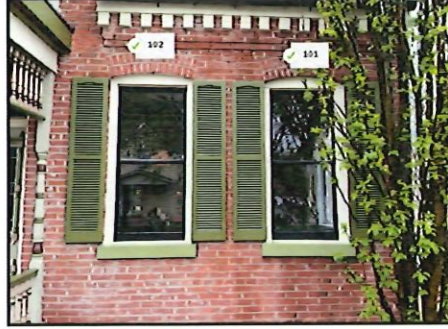


Image 6



Image 7



Image 2

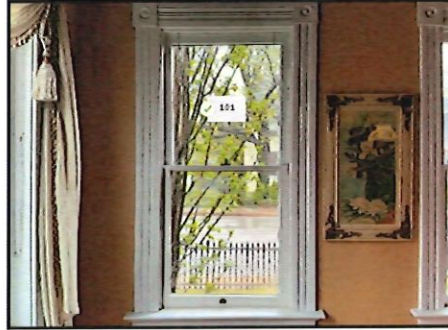


Image 6



Image 7



Image 8



Image 9



Image 10

DG

Reviewed by Anderson Product Line & Product Type	Reviewed by Anderson Glass Type	Grid Type	NFRC Certified Product Directory Number	U-P Factor	U-Factor	SHGC	VLT	U.S. ENERGY STAR 2014			
								North	East	South	West
3.1 Annealed, or 3.1 Tempered Glass - w/ No Grilles and Grilles Less Than 1"											
101-104 105	Lone-Star™	No Grilles	AND-N-20-0013-00001	0.29	1.06	0.21	0.67	NC	NC	NC	NC
		Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0013-00003	0.29	1.06	0.21	0.67	NC	NC	NC	NC
		Finelight™ (grilles between the glass)	AND-N-20-0017-00001	0.29	1.06	0.21	0.67	NC	NC	NC	NC
		Full Divided Lite (FDL)	AND-N-20-0017-00001	0.30	1.70	0.28	0.47	NC	NC	NC	NC
Lone-Star™ Sun	No Grilles	AND-N-20-0013-00001	0.29	1.06	0.19	0.20	NC	NC	NC	NC	
	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0013-00003	0.29	1.06	0.17	0.20	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0016-00001	0.29	1.06	0.17	0.20	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0016-00001	0.31	1.70	0.17	0.20	NC	NC	NC	NC	
Lone-Star™ SmartSun™	No Grilles	AND-N-20-0014-00001	0.29	1.06	0.21	0.47	NC	NC	NC	NC	
	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0014-00003	0.29	1.06	0.19	0.42	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0018-00001	0.29	1.06	0.19	0.42	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0018-00001	0.30	1.70	0.19	0.42	NC	NC	NC	NC	
Lone-Star™ ProSmartSun™	No Grilles	AND-N-20-0011-00001	0.30	1.70	0.21	0.68	NC	NC	NC	NC	
	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0011-00003	0.30	1.70	0.21	0.68	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0016-00001	0.30	1.70	0.21	0.68	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0016-00001	0.31	1.70	0.21	0.68	NC	NC	NC	NC	
3.1 Annealed, or 3.1 Tempered Glass - w/ Grilles 1" or Greater											
Lone-Star™	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0011-00003	0.29	1.06	0.25	0.41	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0012-00001	0.31	1.70	0.26	0.47	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0012-00001	0.30	1.06	0.26	0.41	NC	NC	NC	NC	
Lone-Star™ Sun	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0013-00003	0.29	1.06	0.18	0.23	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0013-00001	0.31	1.70	0.17	0.26	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0013-00001	0.30	1.70	0.16	0.23	NC	NC	NC	NC	
Lone-Star™ SmartSun™	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0014-00003	0.29	1.06	0.17	0.37	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0012-00001	0.30	1.70	0.18	0.43	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0014-00001	0.29	1.06	0.17	0.37	NC	NC	NC	NC	
Lone-Star™ ProSmartSun™	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0011-00003	0.30	1.70	0.21	0.68	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0011-00001	0.31	1.70	0.21	0.68	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0011-00001	0.30	1.70	0.21	0.68	NC	NC	NC	NC	
3.9 Annealed, or 3.9 Tempered Glass - w/ No Grilles and Grilles Less Than 1"											
Lone-Star™	No Grilles	AND-N-20-0017-00001	0.30	1.70	0.21	0.62	NC	NC	NC	NC	
	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0017-00003	0.30	1.70	0.21	0.62	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0012-00001	0.31	1.70	0.21	0.66	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0017-00001	0.31	1.70	0.21	0.66	NC	NC	NC	NC	
Lone-Star™ Sun	No Grilles	AND-N-20-0013-00001	0.30	1.70	0.19	0.20	NC	NC	NC	NC	
	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0013-00003	0.30	1.70	0.17	0.20	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0016-00001	0.31	1.70	0.17	0.20	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0016-00001	0.31	1.70	0.17	0.20	NC	NC	NC	NC	
Lone-Star™ SmartSun™	No Grilles	AND-N-20-0014-00001	0.29	1.06	0.21	0.47	NC	NC	NC	NC	
	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0014-00003	0.29	1.06	0.19	0.42	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0018-00001	0.30	1.70	0.19	0.42	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0018-00001	0.30	1.70	0.19	0.42	NC	NC	NC	NC	
Lone-Star™ ProSmartSun™	No Grilles	AND-N-20-0011-00001	0.31	1.70	0.21	0.68	NC	NC	NC	NC	
	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0011-00003	0.31	1.70	0.21	0.68	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	AND-N-20-0011-00001	0.32	1.82	0.21	0.61	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0011-00001	0.31	1.70	0.21	0.61	NC	NC	NC	NC	
3.9 Annealed, or 3.9 Tempered Glass - w/ Grilles 1" or Greater											
Lone-Star™	Simulated Divided Lite (SDL) or Installed Interior Removable	AND-N-20-0017-00003	0.30	1.70	0.21	0.61	NC	NC	NC	NC	
	Finelight™ (grilles between the glass)	n/a	n/a	n/a	n/a	n/a	NC	NC	NC	NC	
	Full Divided Lite (FDL)	AND-N-20-0017-00001	0.31	1.70	0.21	0.61	NC	NC	NC	NC	

DB Double-Hung Fall From Window

PICTURE

Andersen® Product Line & Product Type	Andersen Glass Type	Grille Type	NFRC Certified Products Directory Number	U-Factor	U-Factor Metric	SHGC	VT	Canada ER	Air Infiltration	U.S. ENERGY STAR 2010				Canada ENERGY STAR 2010			
										North	Central	South	Other	Zone A	Zone B	Zone C	Zone D
										NC	SC	BC	AC	A	B	C	D
106	Low-E	2.2 Annealed Glass - w/ No Grilles and Grilles Less Than 1"															
		No Grilles	AND-N 82-00463-00001	0.29	1.65	0.33	0.56	23	0.01	NC	SC	BC	AC	A	B	C	D
		Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-
		Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-
	Low-E SmartSun™	No Grilles	AND-N 82-00471-00001	0.29	1.65	0.30	0.50	21	0.01	NC	SC	BC	AC	A	B	C	D
		Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-
		Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-
		Finelight™ (grilles between the glass)	AND-N 82-00465-00001	0.28	1.60	0.22	0.51	18	0.01	NC	SC	BC	AC	A	B	C	D
	Low-E PassiveSun™	No Grilles	AND-N 82-00462-00001	0.29	1.65	0.55	0.82	36	0.01	NC	SC	BC	AC	A	B	C	D
		Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-
		Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-
		Finelight™ (grilles between the glass)	AND-N 82-00470-00001	0.29	1.65	0.49	0.55	32	0.01	NC	SC	BC	AC	A	B	C	D
3.1 Annealed, or 3.1 Tempered Glass - w/ No Grilles and Grilles Less Than 1"																	
Low-E	No Grilles	AND-N 82-00463-00002	0.29	1.65	0.33	0.56	23	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00471-00002	0.29	1.65	0.30	0.50	21	0.01	NC	SC	BC	AC	A	B	C	D	
Low-E SmartSun™	No Grilles	AND-N 82-00465-00002	0.28	1.50	0.22	0.50	18	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00473-00002	0.28	1.50	0.20	0.45	17	0.01	NC	SC	BC	AC	A	B	C	D	
Low-E PassiveSun™	No Grilles	AND-N 82-00462-00002	0.29	1.65	0.54	0.81	35	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00470-00002	0.29	1.65	0.45	0.55	31	0.01	NC	SC	BC	AC	A	B	C	D	
3.9 Annealed, or 3.9 Tempered Glass - w/ No Grilles and Grilles Less Than 1"																	
Low-E	No Grilles	AND-N 82-00463-00010	0.29	1.65	0.32	0.55	22	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00471-00010	0.29	1.65	0.29	0.49	21	0.01	NC	SC	BC	AC	A	B	C	D	
Low-E SmartSun™	No Grilles	AND-N 82-00465-00010	0.28	1.50	0.22	0.50	18	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00473-00010	0.28	1.50	0.20	0.44	17	0.01	NC	SC	BC	AC	A	B	C	D	
Low-E PassiveSun™	No Grilles	AND-N 82-00462-00004	0.29	1.65	0.53	0.81	34	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00470-00004	0.29	1.65	0.47	0.54	31	0.01	NC	SC	BC	AC	A	B	C	D	
4.7 Annealed, or 4.7 Tempered Glass - w/ No Grilles and Grilles Less Than 1"																	
Low-E	No Grilles	AND-N 82-00463-00018	0.29	1.65	0.32	0.55	22	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00471-00018	0.29	1.65	0.29	0.49	21	0.01	NC	SC	BC	AC	A	B	C	D	
Low-E SmartSun™	No Grilles	AND-N 82-00465-00018	0.28	1.50	0.22	0.49	18	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00473-00018	0.28	1.50	0.20	0.44	17	0.01	NC	SC	BC	AC	A	B	C	D	
Low-E PassiveSun™	No Grilles	AND-N 82-00462-00008	0.29	1.65	0.52	0.80	34	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00470-00008	0.29	1.65	0.46	0.54	30	0.01	NC	SC	BC	AC	A	B	C	D	
5.7 Annealed, or 5.7 Tempered Glass - w/ No Grilles and Grilles Less Than 1"																	
Low-E	No Grilles	AND-N 82-00479-00001	0.28	1.50	0.32	0.54	24	0.01	NC	SC	BC	AC	A	B	C	D	
	Simulated Divided Lite (SDL) or Installed Interior Removable	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Full Divided Lite (FDL)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	-	-	-	-	-	-	-	-	
	Finelight™ (grilles between the glass)	AND-N 82-00487-00001	0.29	1.65	0.29	0.48	21	0.01	NC	SC	BC	AC	A	B	C	D	

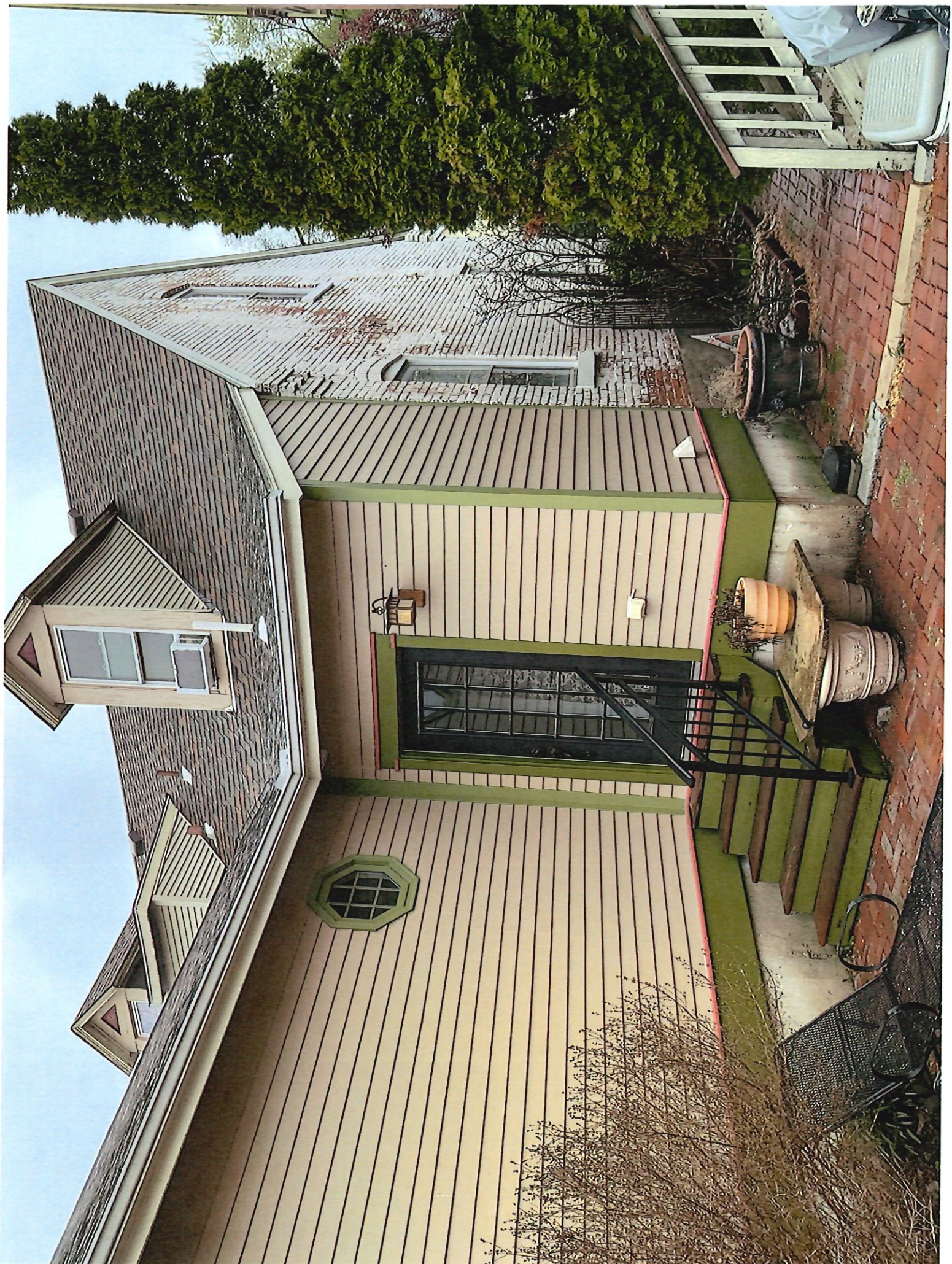
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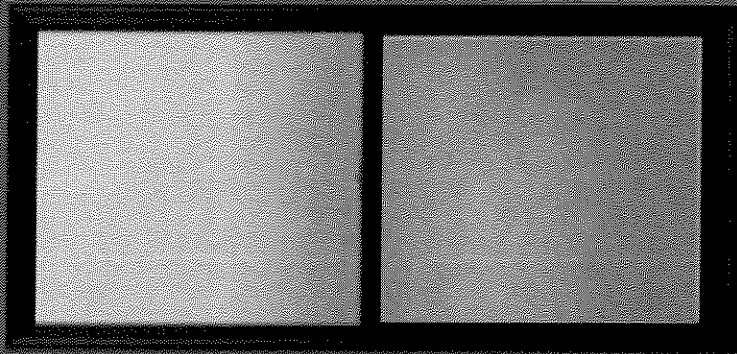






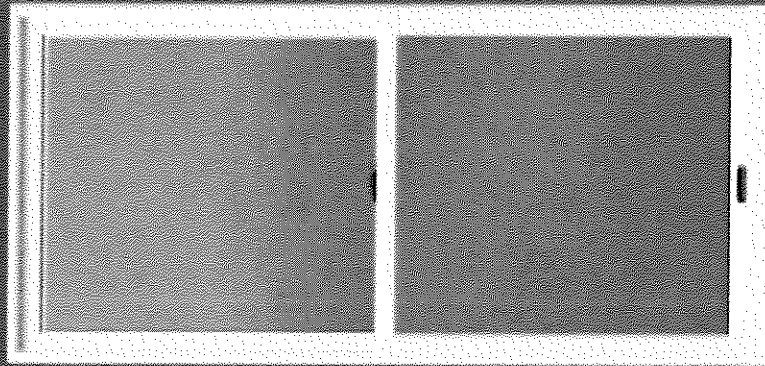






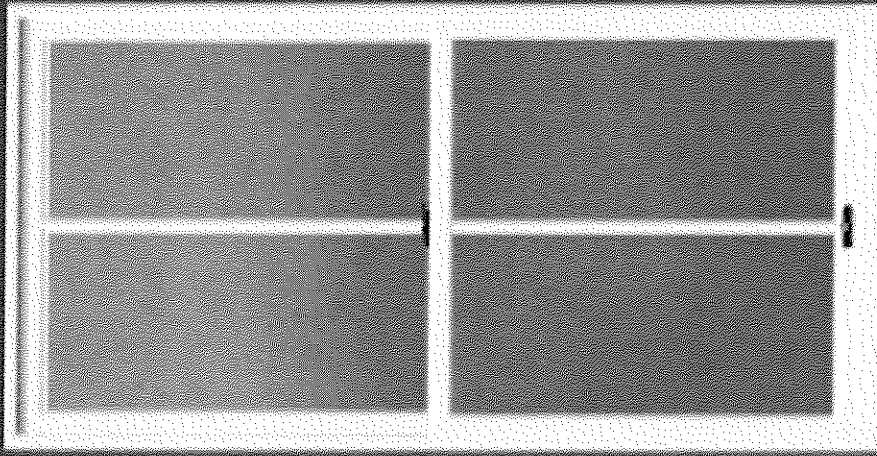
INTERIOR

EXTERIOR



INTERIOR

EXTERIOR

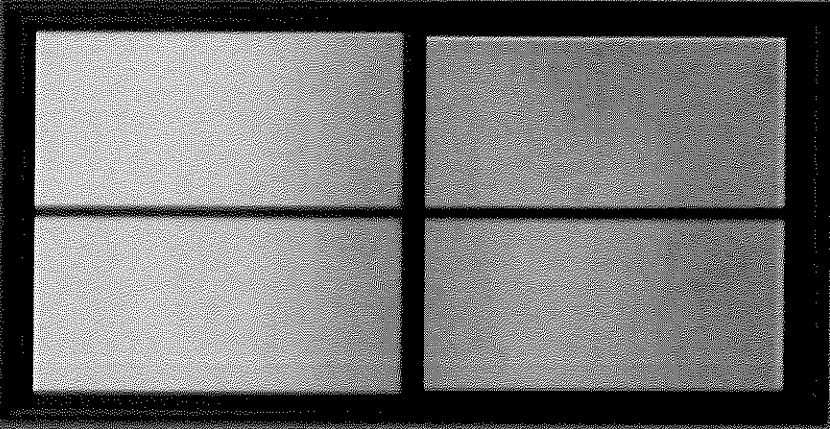


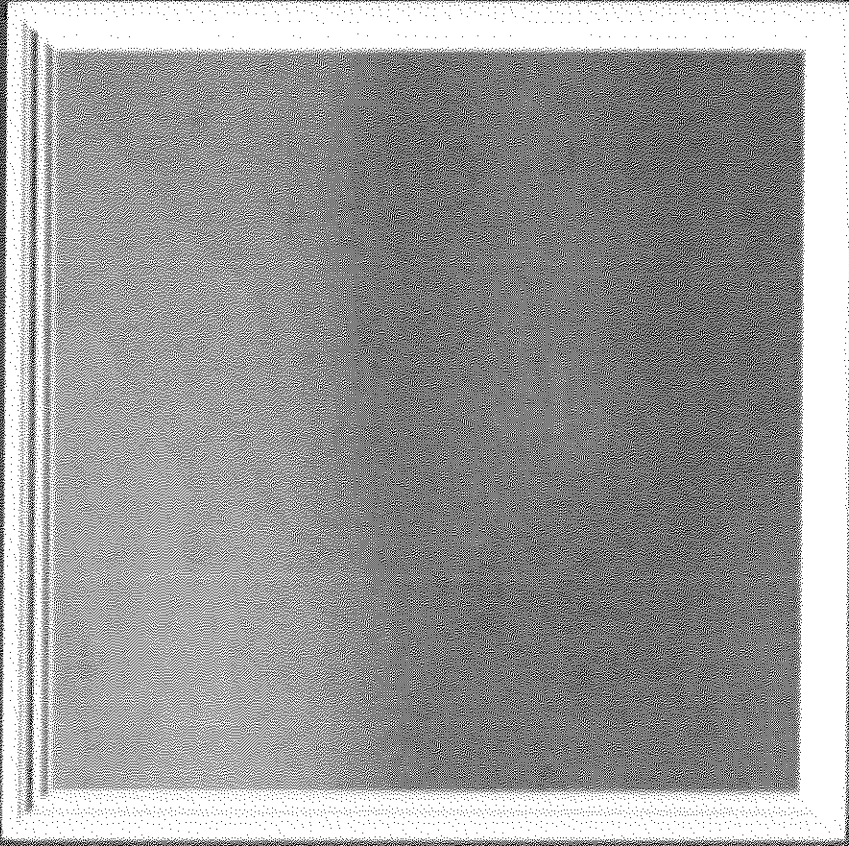
INTERIOR

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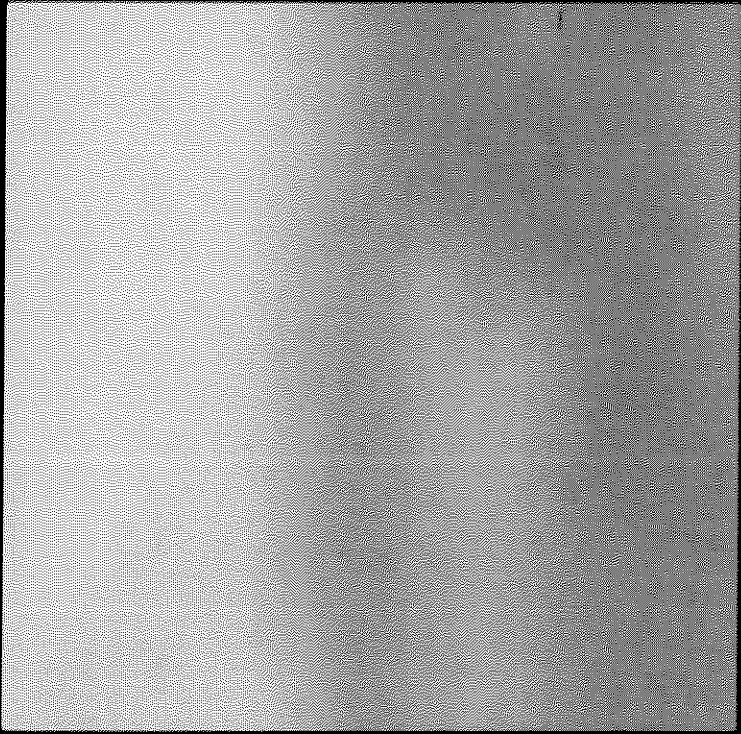


INTERIOR

EXTERIOR

INTERIOR

EXTERIOR



Canvas
coil color

2-19-74
JAD:WZ:JK

240150 White
Int. window color

Ext. window color



2000

2



STAFF REPORT
REAR DECK REPLACEMENT
1714 NORTH 4TH STREET
CASE NO. C/A EC-2026-31

BY TAYLOR MOORE

APPLICANT: John Hoffman
106 S. Willow Grove Ct.
St. Peters, MO 63376

OWNER: Mickey Hoffman
1714 North 4th Street
St. Charles, MO 63301

ADDRESS/LOCATION: 1714 North 4th Street

ZONING: R-1E—Single-Family Residential District
EHP—Extended Historic Preservation District

USE: Single-Family Residential

MEETING DATE: May 18, 2026

BACKGROUND

Located in the Extended Historic Preservation District, the subject property is the 1930, one-story, frame, front gabled house at 1714 North 4th Street. The applicant is requesting approval to replace a rear deck on the structure. The previous deck recently collapsed, and the new deck is to be constructed in the same location and be the same size. Accompanying the application are material examples and photographs of the existing porch and home.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT
Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

1. Relationship of Buildings to Site
 - d. Without restricting the permissible limits of the application zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relationship of Buildings and Site to Adjoining Area
 - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
 - c. Harmony in texture, lines and masses is required. Monotony shall be avoided.
3. Building Design
 - a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
 - b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
 - c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
 - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
 - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
 - a. Conformance to ordinances and the Appearance Code.
 - b. Logic of design.
 - c. Exterior space utilization.
 - d. Architectural character
 - e. Attractiveness
 - f. Material selection
 - g. Harmony and compatibility
 - i. Maintenance aspects.

STAFF RECOMMENDATION

The previous deteriorating deck has been removed due to structural failure. The proposed replacement deck will be constructed within the same footprint as the original structure. It will be built of wood and will feature a railing system consisting of a wood top and bottom rail with wooden square spindles. The deck is not visible from the public right-of-way and only slightly visible from the rear alley.

Additionally, the applicant is requesting to paint both the rear door leading to the deck and a rear basement door white. These doors are not visible from the street and would only be visible from the alley. Staff notes the existing wood doors are being retained rather than replaced, and the proposed finish is considered appropriate given their limited visibility. The proposed work matches the original and is in keeping with the design guidelines for the Extended Historic Preservation District; therefore, Staff recommends approval as submitted.

Recommended Motion:

Motion to approve the construction of a new rear deck and the painting of rear doors at 1714 North 4th Street, as submitted.



Figure 1: Subject property seen from North 4th Street.



Figure 2: Location of rear deck seen from the alleyway.



Figure 3: Material examples for proposed new deck.



Figure 4: Subject rear doors (leading to deck and basement walkout).



Figure 5: Generic rendering of proposed deck.

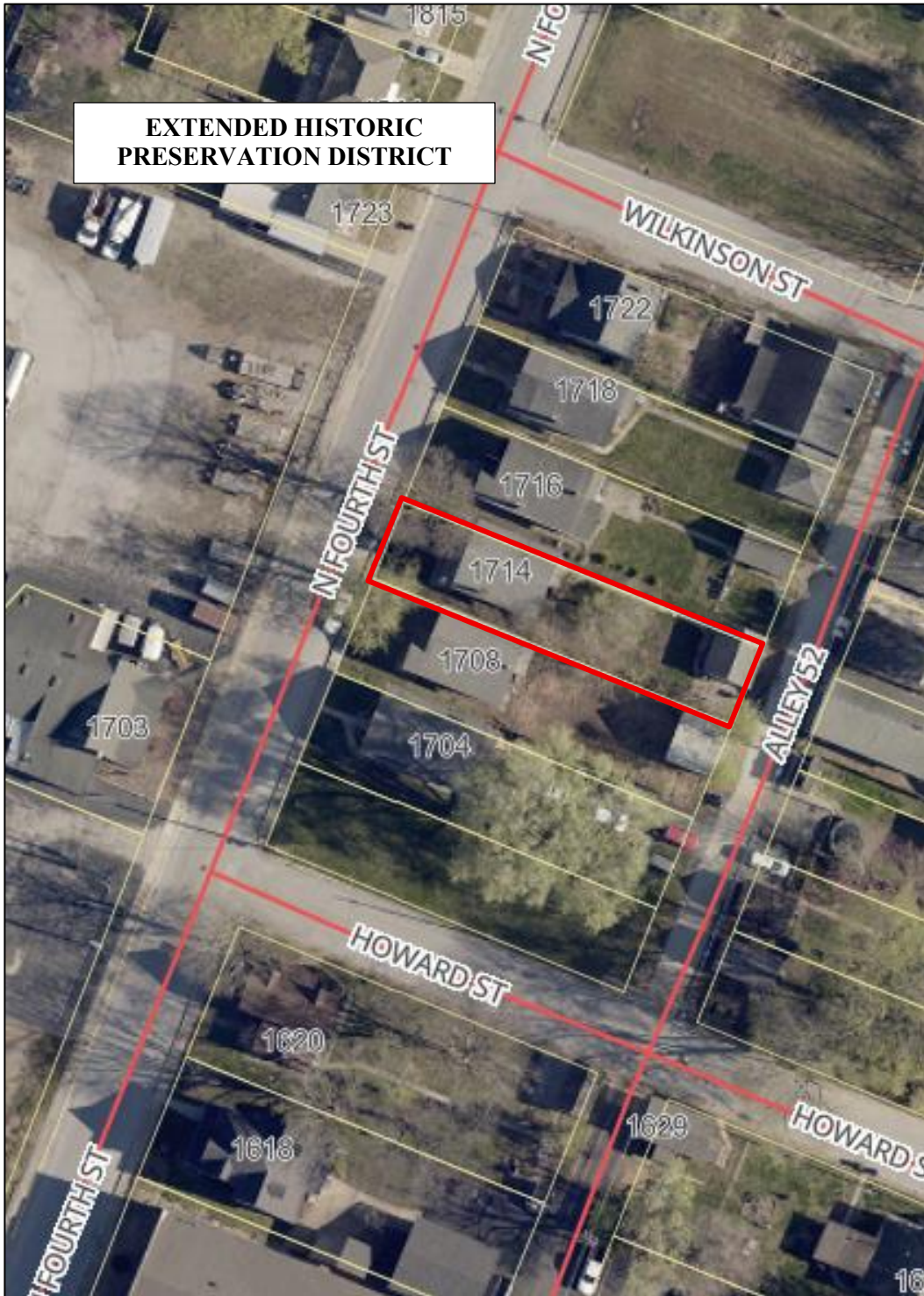


Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1714 N 4th St. St. Charles Mo 63301

BUSINESS NAME (if applicable): N/A

APPLICANT: John Hoffman
(Name)

106 S. Willow Grove Ct. St. Peters MO 63376
(Address)

636-299-8431 Johnnyboy5tp@gmail.com
(Phone & Email Address)

PROPERTY OWNER: Mickey Hoffman
(Name)

1714 N 4th St. St. Charles mo 63301
(Address)

314-324-1472 Mickeyhoffman11@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: unsure

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

It is a small bungalow with mostly original fixtures. My dad bought it condemned and fixed up the bathroom. The deck collapsed so we are looking to put one the same size in its place

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): The old deck collapsed.

We are looking to put one the same size in its place.

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Will put new deck where old one was

will Re paint Door

May Replace Basement Door (Rotted)

Fresh paint (Bluish-grey)

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: _____ Date: _____

Signature of the property owner: _____ Date: _____

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan: \$200.00
Exterior Changes & Demolitions: \$50.00



**BUILDING PERMIT APPLICATION
COMMUNITY DEVELOPMENT
CITY OF ST. CHARLES, MO**
Phone: 636-949-3222 Fax: 636-949-3557

Office Use Only

Routed To: _____

Submitted: Hard Copies or Digital

PERMIT #: _____

Same As: _____

SUBMITTAL OPTIONS:

Digital: Email one (1) complete set of application and drawings/plans to Building@stcharlescitemo.gov

* File Sizes larger than 20MB will need to be submitted via dropbox link (or similar)

* Plans submitted digitally will be returned digitally when issued.

Drop Off/Mail: Submit required amount (see submittal requirements) of hard copies of drawing/plans to:

Community Development - 200 N 2nd St Ste. 303. St. Charles, MO 63301

SUBMITTAL REQUIREMENTS:

Commercial: State Statutes require a Missouri engineer's or architect's seal on all commercial or multi-family plans.

Exterior Alterations - Four (4) complete sets of plans and site plans w/landscape parking/lighting details. Two (2) sets of structural calcs.

Interior Alterations - Three (3) complete sets of plans. Two (2) sets of structural calcs.

Residential: Two (2) complete sets of plans with site plans, truss designs, and mech. drawings. Truss design must have an engineer's seal.

Property Owner Name & Phone #: Mickey Hoffman 314-324-1772

Project Address: 1714 N fourth St. St. Charles MO 63301 Lot # _____ Subdivision _____

Contact Person: John Hoffman Phone No. 636-299-8131

Email Address: Johnnyboy51p@gmail.com

Estimated cost of construction (\$) 10,000 Is any portion of this property located within the floodplain? Yes No

If "yes", have you submitted a Flood Elevation Certificate? Yes No

BUILDING DATA	TYPE OF WORK	TYPE OF STRUCTURE			
		Residential	Commercial		
Use group	<input checked="" type="checkbox"/> Addition				
Construction type	<input type="checkbox"/> Demolition	<input type="checkbox"/> Basement Finish	<input type="checkbox"/> Amusement/recreation	<input type="checkbox"/> Miscellaneous	
Area (Sq. Ft.) <u>60</u>	<input type="checkbox"/> Exterior Alteration	<input checked="" type="checkbox"/> Deck	<input type="checkbox"/> Assembly	<input type="checkbox"/> Office/professional	
Width <u>10 ft</u>	<input type="checkbox"/> Fire Damage Repair	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Bank	<input type="checkbox"/> Parking garage	
Depth <u>6 ft</u>	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Bar	<input type="checkbox"/> Restaurant	
Stories	<input type="checkbox"/> Flood Damage Repair	<input type="checkbox"/> Pergola	<input type="checkbox"/> Car wash	<input type="checkbox"/> Retail/commercial	
Basement	<input type="checkbox"/> Interior Alteration	<input type="checkbox"/> Pool (Above Ground)	<input type="checkbox"/> Church	<input type="checkbox"/> Service station	
Garage	<input type="checkbox"/> Interior Finish	<input type="checkbox"/> Pool (In-Ground)	<input type="checkbox"/> Hotel - # of rooms _____	<input type="checkbox"/> Shed	
	<input type="checkbox"/> New Construction	<input type="checkbox"/> Single-Family	<input type="checkbox"/> Industrial	<input type="checkbox"/> Tower or antenna	
	<input checked="" type="checkbox"/> Repair/Replacement	<input type="checkbox"/> Shed	<input type="checkbox"/> Institutional	<input type="checkbox"/> Warehouse	
Fire Sprinkler: Yes / No	<input type="checkbox"/> Retaining Wall	DESCRIPTION OF WORK: <u>The old deck collapsed, looking to install a new one.</u>			
Fire Alarm: Yes / No	<input type="checkbox"/> Solar Panels				

LICENSED CONTRACTORS: (PLEASE PRINT)

City ordinances require that the general contractor, electrician, plumber, and HVAC contractor be licensed and bonded with the City. Please list all applicable companies below. Permits can be reviewed, but not released, until all trades are added, licensed and verified.

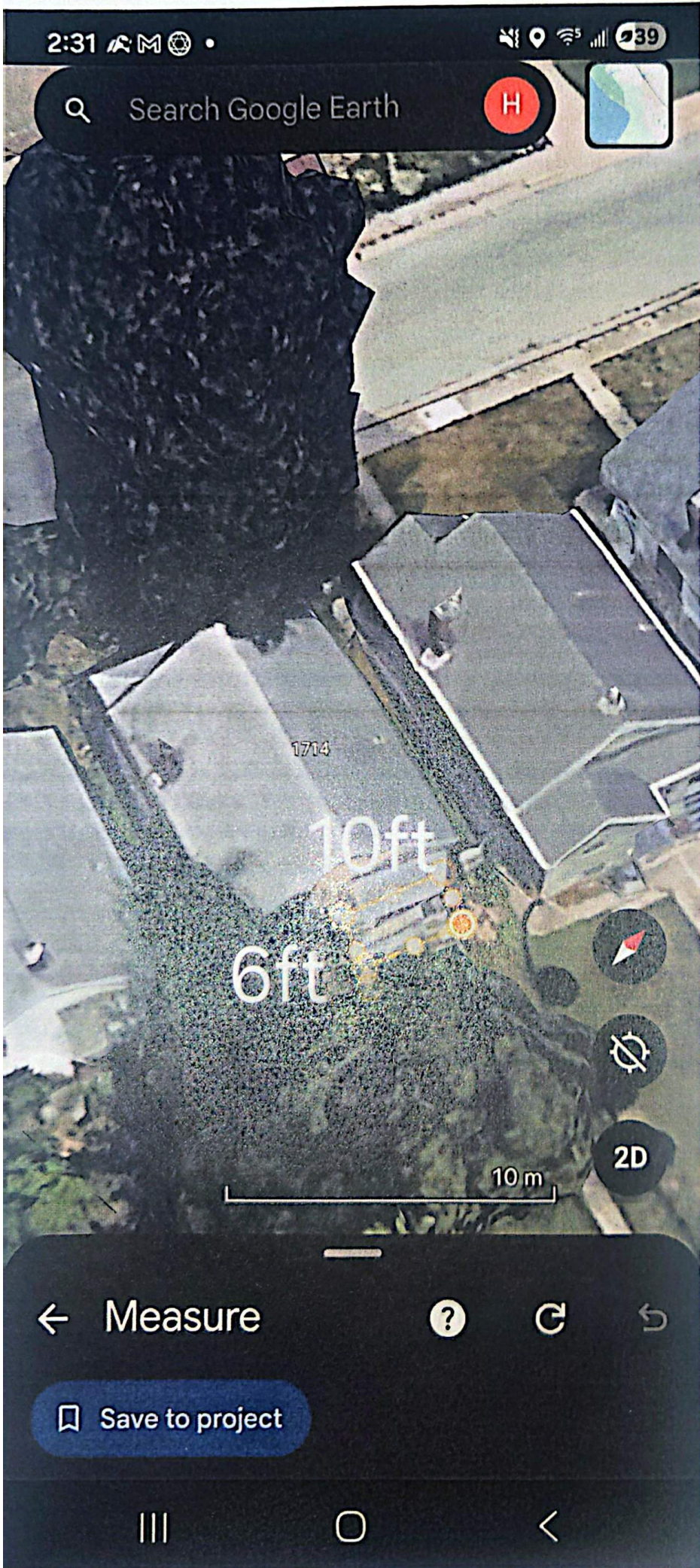
Company Name	Address	Phone
GC/BUILDER: _____	_____	_____
ARCH/ENG: _____	_____	_____
ELECTRICIAN: _____	_____	_____
PLUMBER: _____	_____	_____
DRAINLAYER: _____	_____	_____
HVAC: _____	_____	_____

I certify that I am the owner in fee or agent authorized to apply for this permit, that I have contracted with the electrical, plumbing, HVAC, and general contractors regarding performing the work, and the cost estimates herein are true and correct, to the best of my knowledge.

Date Received Stamp

SIGNATURE OF APPLICANT

[Handwritten Signature]



(No sub

JH



Structural Calculations



1. DESIGN ASSUMPTIONS

Typical code-based loads:

- Live load: 40 psf
- Dead load: 10 psf
- 👉 Total design load = 50 psf

Deck size:

- $10' \times 6' = 60 \text{ sq ft}$

👉 Total uniform load = $60 \times 50 = 3,000 \text{ lbs}$

2. JOIST ANALYSIS (2×8 @ 16" OC, 6' span)

✓ Span Check

A #2 SPF 2×8 joist:

- Max span $\approx 11\text{--}12 \text{ ft}$ (at 16" OC)

👉 Your span = 6 ft → VERY SAFE

✓ Load per joist

Spacing = 16" = 1.33 ft

Load per joist:

- $50 \text{ psf} \times 1.33 \text{ ft} = 66.7 \text{ plf}$

Moment (simple span):

- $M = wL^2 / 8$

- $M = 66.7 \times 6^2 / 8 \approx 300 \text{ ft-lb}$

👉 Capacity of 2×8 $\approx 800\text{--}1,000\text{+ ft-lb}$

✅ Joists are more than adequate

3. BEAM ANALYSIS (Double 2×8, 10' long)

Load to beam

Beam carries half the deck load:

- $3,000 \div 2 = 1,500 \text{ lbs}$

Distributed across 10':

- $1,500 \div 10 = 150 \text{ plf}$

Beam spans (3 posts \rightarrow 2 spans $\approx 5 \text{ ft}$ each)

Moment:

- $M = 150 \times 5^2 / 8 \approx 469 \text{ ft-lb}$

👉 Double 2×8 capacity $\approx 1,500\text{--}2,000 \text{ ft-lb}$

✅ Beam is structurally OK

4. POSTS (4×4)

Each post supports:

- $1,500 \text{ lbs} \div 3 = 500 \text{ lbs/post}$

A 4×4 can handle:

- Several thousand pounds (axial)

✔ Structurally OK, BUT...

⚠ Code issue:

Most modern codes (including IRC) recommend:

- ✘ Avoid 4×4 for primary support posts
- ✔ Use 6×6 posts for stability (buckling + lateral loads)

👉 Recommendation: upgrade to 6×6 posts



5. FOOTINGS

Given:

- 10–12" diameter
- 30" deep

Load per footing:

≈ 500 lbs

Soil bearing (typical):

- 1,500 psf

Required area:

- $500 \div 1500 = 0.33$ sq ft

12" footing provides:

- ~0.79 sq ft

✔ Footings are adequate

⚠ BUT:

- Depth must meet **local frost depth**
(often 36–48" in places like Illinois)

👉 30" may NOT be enough



6. LEDGER BOARD (CRITICAL)

Your ledger:

- 2×8 × 10'
- 10–12 lag bolts

Load:

- Same as beam = **1,500 lbs**

Typical ledger capacity:

- Easily sufficient IF properly attached

⚠ Critical requirements:

- Flashing installed (prevents rot)
- Bolts into **rim joist**, NOT just sheathing
- Proper spacing (~12–16")

👉 This is the #1 failure point in decks
(related to many collapses in the Berkeley balcony collapse)



7. STAIRS CHECK

Given:

- Rise: 44"
- 6 steps → 7.33" rise

✓ Code range:


- 7"–7.75" → OK

Run:

- 10–11" → OK

Width:

- 48" → Good

 Add:

- Handrail required (since > 4 risers)
 - Proper stair footing pad
-



8. RAILING LOAD CHECK

Required:

- 200 lb lateral load at top rail

4×4 posts:

- Often FAIL without proper blocking

 Must use:

- Through-bolting or tension ties (Simpson DTT2Z or similar)

Deck Plans

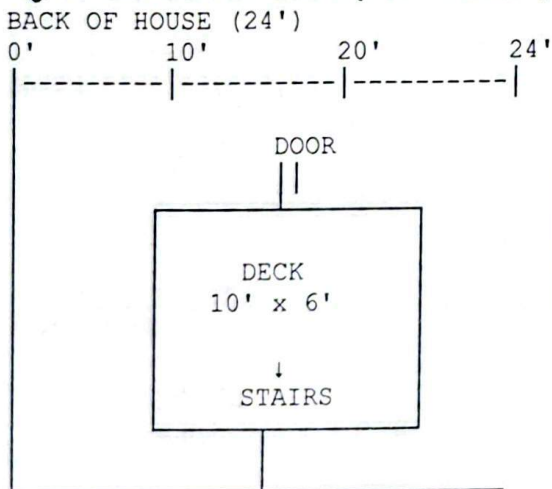
▣ ASSUMED DIMENSIONS (for scale accuracy)

- House width: 24' (288")
- Deck: 10' wide (120") × 6' deep (72")
- Door width: 36"
- Door center: 199" from left side of house (*offset right*)
- Deck centered on door → deck center aligns at 199"

☞ Therefore:

- Deck left edge: $199" - 60" = 139"$ from left wall
- Deck right edge: $199" + 60" = 259"$ from left wall

🔗 TO-SCALE TOP VIEW (1 ft = 1 unit approx)



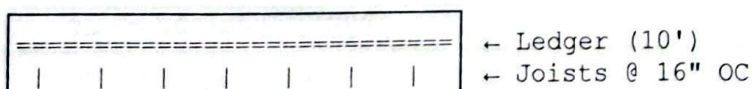
▣ EXACT MEASUREMENTS (CRITICAL POINTS)

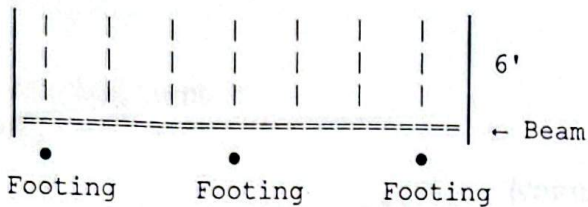
Deck Placement

- Left edge: 139" from left corner of house
- Right edge: 259" from left corner
- Depth outward: 6'

Structural Layout (Top View Framing)

HOUSE (Ledger Board)





Footing Layout

- 3 footings:
 - Left: **~1' in from edge**
 - Center: **5' from either side**
 - Right: **~1' in from edge**
- Depth: **30"**
- Diameter: **10-12"**

Stair Layout (Centered on Door)

- Stair centerline: **216" from left wall**
- Stair width: **48" (recommended)**

☞ Stair edges:

- Left: $199" - 24" = 175"$
- Right: $199" + 24" = 223"$

Stair Specs

- Total rise: **44"**
- Steps: **6**
- Rise per step: **7.33"**
- Tread depth: **10-11"**
- Total run: **~66"**

👤 MATERIALS LIST (DETAILED)

🏠 Foundation

- (3) Concrete footings:
 - ~8 bags each (80 lb) → **24 bags total**
 - (3) Post base brackets (Simpson Strong-Tie or similar)
-

Framing Lumber

Posts

- (3) 4x4 posts (cut to ~5 ft)
-

Beam

- (2) 2x8x10' (laminated beam)
-

Ledger Board

- (1) 2x8x10'
 - Ledger bolts:
 - (10-12) ½" lag bolts or structural screws
-

Joists

- (8) 2x8x6'
 - 16" OC across 10'
-

Rim Joists

- (2) 2x8x10'
 - (2) 2x8x6'
-

Decking

- Deck boards (5/4 x 6):
 - Each board = ~5.5" wide
 - Needed rows across 6':
 - $72" \div 5.5" \approx 13$ boards
- Length: 10'

Total:

- 13-14 boards (10' long)
-

Stairs

Stringers

- (3) pre-cut OR cut from **2x12**

Treads

- (12) 2x6 boards (double per step × 6 steps)

Railing (Required at 44")

- (4-5) **4x4 railing posts**
- (2) **2x4 top rails**
- Balusters:
 - ~**30-40 pieces**

Hardware

- Joist hangers: **8**
- Structural screws / nails:
 - 3" deck screws (~5 lbs)
- Post-to-beam connectors
- Stair brackets

TOTAL MATERIAL SUMMARY

- Concrete: ~**24 bags**
 - Framing lumber:
 - ~**20-25 boards total**
 - Deck boards: **13-14**
 - Hardware: standard deck kit
-
-



STAFF REPORT
GARAGE REPAIRS
1117 NORTH 3rd STREET
CASE NO. EC-2026-34

BY TAYLOR MOORE

APPLICANT: Jasmina Basic
1117 North Third Street
St. Charles, MO 63301

OWNER: Same as above

ADDRESS/LOCATION: 1117 North 3rd Street

ZONING: R-1E—Single-Family Residential District
FHP—Frenchtown Historic Preservation District

USE: Single-Family Residential

MEETING DATE: May 18, 2026

BACKGROUND

The subject property, 1117 North 3rd Street, is located within the Frenchtown Preservation District. Constructed in 1920, the dwelling is an early example of Modern Craftsman style and is considered a contributing resource within the National Register listed Frenchtown Historic District. Located at the rear of the property is a detached frame garage and is identified as a non-contributing structure on the National Register listing. The garage was recently cited by Code Enforcement due to structural and safety concerns related to the condition of the roof and wall systems. The applicant is requesting approval to take structural stabilization measures, including the installation of new interior roof trusses and reinforcement of the existing wall framing to improve the structural integrity of the garage. Additionally, the applicant proposes to re clad the garage with white vinyl siding and replace the existing roof covering with new asphalt shingles. While majority of the proposed work is interior, the exterior modifications are subject to review by the Landmarks Board. Accompanying the application are photographs of the subject garage and material examples for stabilization and exterior alterations.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and

exterior alterations of any contributing building or structure and for every new structure shall be submitted to HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter V: Guidelines for New Construction and Alterations to Non-Contributing Structures

Roofs

- 5.10 Use roof form similar to that used historically.
 - a. The roof angle must be similar to the used historically.
 - b. Maintain the perceived line and orientation of the roof to the street.
- 5.12. Match a roof on a secondary structure with the roof form of the primary structure.
- 5.14 The roof must appear to be in similar manner as that of historic structures.

Materials

- 5.21 Materials shall appear similar in character to those used historically.
- 5.22 Simple material finishes are encouraged.

STAFF RECOMMENDATION

The proposal consists primarily of interior work to the detached garage. The proposed exterior changes involving the recladding of siding and change in roofing material would be considered appropriate, especially due to the structure being non-contributing to the district. While most of the work would be considered maintenance to the structure, the applicant is required to pull a building permit for the structural stabilization and therefore requires Landmarks Board review. The interior work will not alter the pitch of the roof or the outward appearance of the garage. Staff finds the proposed alterations to be compliant with the district and will have no adverse impact on the streetscape due to the garage being at the rear of the property. Therefore, Staff recommended approval of the garage alterations, as submitted.

Recommended Motion:

Motion to approve the interior and exterior alterations on the rear detached garage structure at 1117 North Third Street, as submitted.



Figure 1: 1117 North 3rd Street seen from the street.





Figure 3: Subject structure's roof seen from alley.

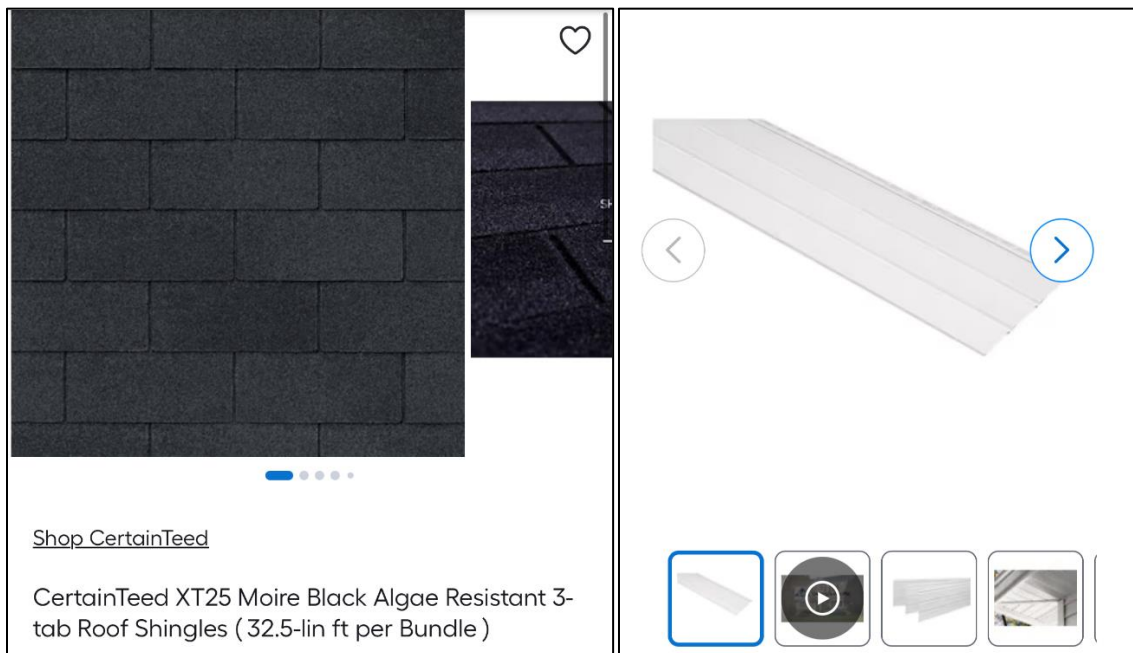


Figure 4: Examples of new siding and asphalt shingles for subject structure.

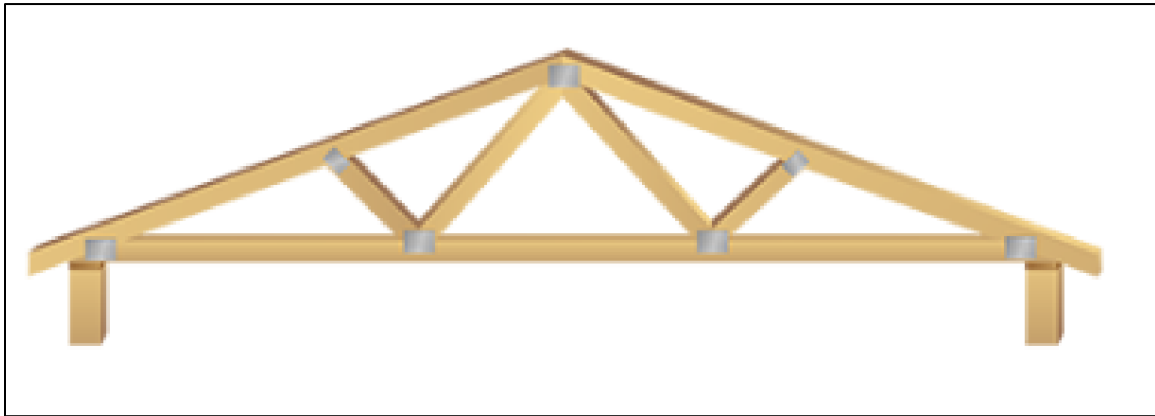


Figure 5: Truss example for interior work.



Figure 6: Interior photo of structure.



Figure 7: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1117 N 3rd street saint charles, MO.

BUSINESS NAME (if applicable): Hoffchester properties LLC

APPLICANT:

Jasmina Basic
(Name)

1117 N 3rd street saint charles mo 63301
(Address)

314-755-9475 jazzylivinghome@gmail.com
(Phone & Email Address)

PROPERTY OWNER:

Jasmina Basic & Joseph Hoffmann
(Name)

1117 N 3rd street saint charles MO. 63366
(Address)

314-755-9475
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- | | |
|--|--|
| <input type="checkbox"/> Commons Preservation District | <input type="checkbox"/> Extended Historic Preservation District |
| <input checked="" type="checkbox"/> Frenchtown Preservation District | <input type="checkbox"/> Historic Downtown Preservation District |
| <input type="checkbox"/> South Main Preservation District | |

DATE OF ORIGINAL CONSTRUCTION: ASAP

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

The detached garage needs new roof rafters and side walls it's caving in. We are wanting to d

Deconstruct and reconstruct the garage so that it's not a safety hazard

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): Reconstruct the garage roof is caving in

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

New siding new garage door and new roof on the detached garage

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Jasmina Basic Date: 04-20-2026

Signature of the property owner: Jasmina Basic Date: 04-20-2026

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00



AGENDA ITEM #5A

**STAFF REPORT
HANGING SIGN
418 SOUTH MAIN STREET
PERMIT NO. 2026-1884**

BY TAYLOR MOORE

APPLICANT: Susan Davis
20 Boschert Creek Drive
St. Peters, MO 63376

OWNER: R.J.E.M. LLC
518 North 83rd Place
Broken Arrow, OK 74014

ADDRESS/LOCATION: 418 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

PROPOSED USE: Commercial—Under The Yellow Umbrella South

MEETING DATE: May 18, 2026

BACKGROUND

Located in the South Main Preservation District, the subject property is the 1½-story, side-gabled, brick Federal style building at 418 South Main Street. The applicant is requesting approval to install a hanging sign for the business “Under the Yellow Umbrella South.” The 20” x 14.5” (2.01 square feet) oval metal sign has a white background with black lettering and a yellow umbrella, sunflower, and woman graphic. The sign will be attached to an existing bracket on the building. An illustration of the proposed sign and photographs of the existing building accompany the application.

APPLICABLE DESIGN GUIDELINES

SECTION 400.1510: GENERAL STANDARDS FOR THE SUPERIMPOSED DISTRICTS

A. Approval Required.

1. Generally, Signs in the “SMPD,” “HDD,” “FHD,” and “LMPD” Superimposed Districts require a Certificate of Appropriateness from the HLPARB before their installation unless exempted from the permitting requirement by this Division.
2. “EHP” District. Signs in the “EHP” District require a Certificate of Appropriateness from HLPARB if they are displayed on a building constructed before 1960, unless exempted from the permitting requirement by this Division.

SECTION 400.1530: BUILDING MOUNTED SIGNS IN THE SUPERIMPOSED DISTRICTS

B. Projecting Signs.

1 Projecting sign permitted per business in the SMPD up to 5.5 s. f.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter VIII: Guidelines for Signs

Sign Context

8.2 A sign must be subordinate to the overall building composition.

- a. A sign shall appear to be in scale with the façade.
- b. Locate a sign on a building such that it will emphasize design elements of the façade itself. In no case should a sign obscure architectural details or features.

8.3 A sign shall be in character with the material, color and detail of the building.

- a. Simple letter styles and graphic designs are more appropriate on many of the restrained, vernacular structures found on South Main Street.

Permitted Sign Types

8.5 Projecting signs may be considered.

- a. A projecting sign should be located near the business entrance at eye level, just above the door or to the side of it.
- b. In general, only one projecting sign per building façade is allowed. However, where the Board determines that the result would be compatible with the District, one projecting sign shall be allowed for each distinct façade module of a building.

Sign Materials

8.11 Sign materials shall be compatible with that of the building façade.

- a. Painted wood and metal are appropriate materials for signs. Their use is encouraged. Unfinished materials, including unpainted wood, are discouraged because they are out of character with the historic context.

Sign Content

8.13 Use colors for the sign that are compatible with those of the building front.

8.14 Simple sign designs are preferred.

- a. Typefaces that are in keeping with those seen in the area historically are encouraged. Avoid sign types that appear too contemporary.
- b. Also limit the number of colors used on a sign. In general, no more than three colors should be used.

STAFF RECOMMENDATION

The proposed sign's size and colors are appropriate for the district. While the sign's design is slightly busier than those typically found on South Main, it closely matches the company's northern location sign located just a few blocks away. The proposed sign will be installed at the required 8' above the sidewalk and will feature black chains and bracket hardware to ensure a period appropriate appearance. Therefore, Staff recommends the sign be approved as submitted.

Recommended Motion:

Motion to approve a hanging sign for the business "Under the Yellow Umbrella South" at 418 South Main Street, as submitted.



Figure 1: Subject property seen from South Main Street.

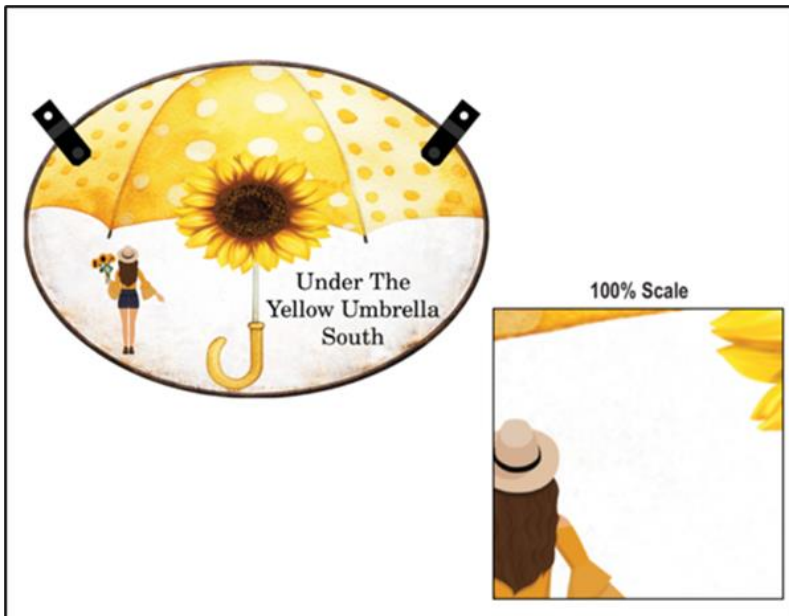


Figure 2: Illustration of proposed sign.



Figure 3: Proposed sign's location and dimensions.



Figure 4: Subject property's location.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557

SIGN PERMIT APPLICATION

Sign-N

Date Received: 4/15/26

Permit #: 26-1884

DOCUMENTS REQUIRED WITH APPLICATION

Colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

Application and plans may be submitted electronically to Building@stcharlescivmo.gov.

SIGN LOCATION:

NAME OF BUSINESS: Under The Yellow Umbrella South WARD 2

ADDRESS: 418 S Main St St Charles, MO 63301

Is this property located in a historic district? (Check One): YES [checked] NO

*If yes, Landmarks Board approval is required. All requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).

APPLICANT:

Name: Susan Davis Phone: 314-304-6597

Address: 20 Boschart Creek Dr City, State & Zip: St Peters, MO 63376

Email: Queencobrasusan@gmail.com

SIGN CONTRACTOR:

Name: Master Signs Phone: 636-946-1133

Address: 927 S. 5th St City, State & Zip: St Charles, MO 63301

Email: info@mastersignsstl.com

PROPERTY OWNER:

Name: R.J.E.M. LLC Georget Carol Pearson Phone: 918-805-7911

Address: 518 No 83rd Place City, State & Zip: Broken Arrow, OK 74014

Email:

TYPE OF SIGN(S): (mark all that apply)

[] Freestanding [x] Building-Mounted [] Incidental [] Temporary [] Mural ("FPD" only)

SIGN INFORMATION:

Total number of signs being requested? 1

Building Façade of occupant's portion of the building: 146 (in square feet)

Road Frontage, Property line where the lot is adjacent to a public street or private street: 14.66 (in linear feet)

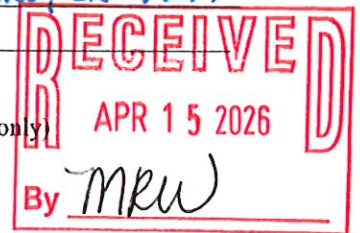
Who is installing the signage? Owner/Tenant [x] Contractor [] Other (Specify) []

Will the sign(s) be illuminated? YES [] NO [x] *If yes, will new wiring be required? YES [] NO []

Company name of licensed electrician (if required):

SIGNATURE OF APPLICANT: Susan Davis

SIGNATURE OF PROPERTY OWNER:





40.48in

13.28 in

2 in

110.96 in

96 in



Under The
Yellow Umbrella
South



Specialty's



AGENDA ITEM #5B

**STAFF REPORT
PROJECTING SIGN
612 SOUTH MAIN STREET
PERMIT NO. 2026-2272**

BY TAYLOR MOORE

APPLICANT: Denise Krekeler
2541 Bredell Avenue
St. Louis, MO 63143

OWNER: Brett Muir
1143 Black Forest Road
St. Charles, MO 63301

ADDRESS/LOCATION: 612 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial—Yeti Gaming

MEETING DATE: May 18, 2026

BACKGROUND

The subject property is the 1½-story, side-gabled, brick building at 612 South Main Street in the South Main Preservation District. According to the County’s tax parcels database, the building was constructed in 1850. The applicant is requesting permission to install one projecting sign for the business “Yeti Gaming.” The square-shaped, aluminum sign will be 28.4” x 13.7” (2.7 square feet) and will hang from an existing decorative metal bracket located above the entrance. The background will be white, the border a light green, and lettering black outlined in a light blue. The sign will also feature the business logo just above the name. Accompanying the application are illustrations of the proposed sign as well as photographs of the existing building.

APPLICABLE DESIGN GUIDELINES

SECTION 400.1510: GENERAL STANDARDS FOR THE SUPERIMPOSED DISTRICTS

- A. Approval Required.
1. Generally, Signs in the “SMPD,” “HDD,” “FHD,” and “LMPD” Superimposed Districts require a Certificate of Appropriateness from the HLPARB before their installation unless exempted from the permitting requirement by this Division.
 2. “EHP” District. Signs in the “EHP” District require a Certificate of Appropriateness from HLPARB if they are displayed on a building constructed before 1960, unless exempted from the permitting requirement by this Division.

SECTION 400.1530: BUILDING MOUNTED SIGNS IN THE SUPERIMPOSED DISTRICTS

B. Projecting Signs.

- 1 Projecting sign permitted per business in the SMPD up to 5.5 s. f.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter VIII: Guidelines for Signs

Sign Context

- 8.2 A sign must be subordinate to the overall building composition.
- a. A sign shall appear to be in scale with the façade.
 - b. Locate a sign on a building such that it will emphasize design elements of the façade itself. In no case should a sign obscure architectural details or features.
- 8.3 A sign shall be in character with the material, color and detail of the building.
- a. Simple letter styles and graphic designs are more appropriate on many of the restrained, vernacular structures found on South Main Street.

Permitted Sign Types

- 8.5 Projecting signs may be considered.
- a. A projecting sign should be located near the business entrance at eye level, just above the door or to the side of it.
 - b. In general, only one projecting sign per building façade is allowed. However, where the Board determines that the result would be compatible with the District, one projecting sign shall be allowed for each distinct façade module of a building.

Sign Materials

- 8.11 Sign materials shall be compatible with that of the building façade.
- a. Painted wood and metal are appropriate materials for signs. Their use is encouraged. Unfinished materials, including unpainted wood, are discouraged because they are out of character with the historic context.

Sign Content

- 8.13 Use colors for the sign that are compatible with those of the building front.
- 8.14 Simple sign designs are preferred.
- a. Typefaces that are in keeping with those seen in the area historically are encouraged. Avoid sign types that appear too contemporary.
 - b. Also limit the number of colors used on a sign. In general, no more than three colors should be used.

STAFF RECOMMENDATION

The size and placement of the proposed sign is appropriate for the district. The illustration demonstrates the sign will comply with the 8' head clearance required by code. Although the colors are not from the approved Williamsburg Paint Color Chart, they are simple and from the official business logo, and the green border is less vibrant than the green tone of the building. Although utilizing an existing black bracket, and chains utilized will need to be painted black to be period appropriate. Overall, the sign is compatible for the district, and Staff recommends approval, subject to the following condition:

1. All chains and hardware must be painted black to be appropriate for the period.

Recommended Motion:

Motion to approve a new hanging sign for the business “Yeti Gaming” at 612 South Main Street, subject to the condition recommended by Staff.



Figure 1: Subject structure seen from South Main Street.



Figure 2: Proposed signage location and design.



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street, Suite 303
St. Charles, MO 63301
Phone: 636-949-3227
Fax: 636-949-3557

SIGN PERMIT APPLICATION

Date Received: _____

Permit #: _____

DOCUMENTS REQUIRED WITH APPLICATION

Colored copies of the following:

- Sketches of the proposed sign(s) (including dimensions and detail of how the sign will be attached)
- Scaled drawing/plot plan showing the location of the sign(s) (on building or property)
- Pictures/Dimensions/Location of existing signage on property

PERMIT FEES: \$75 for Non-Illuminated; \$99 for Illuminated (Payment due at time of pick up)

Application and plans may be submitted electronically to Building@stcharlescivmo.gov.

SIGN LOCATION:

NAME OF BUSINESS: YETI GAMING

ADDRESS: 612 SOUTH MAIN STREET, SAINT CHARLES, MISSOURI 63301

Is this property located in a historic district? (Check One): YES NO

***If yes, Landmarks Board approval is required. All requested documents must be submitted fourteen (14) days prior to the meeting date (see meeting schedule for application dates and deadlines).**

APPLICANT:

Name: DENISE KREKELER Phone: 314-873-4910
Address: 2541 Bredell Ave City, State & Zip: St Louis, MO 63143
Email: stcharles@yetigaming.com

SIGN CONTRACTOR:

Name: MASTER SIGNS Phone: 636-946-1133
Address: 927 SOUTH FIFTH STREET City, State & Zip: ST. CHARLES, MO 63301
Email: info@mastersignsstl.com

PROPERTY OWNER:

Name: Brett Muir Phone: 636-288-1024
Address: 1143 Black Forest Dr City, State & Zip: St Charles, MO 63301
Email: BGTMuir@yahoo.com

TYPE OF SIGN(S): (mark all that apply)

Freestanding Building-Mounted Incidental Temporary Mural ("FPD" only)

SIGN INFORMATION:

Total number of signs being requested? 1

Building Façade of occupant's portion of the building: 286 (in square feet)

Road Frontage, Property line where the lot is adjacent to a public street or private street: 11 (in linear feet)

Who is installing the signage? Owner/Tenant Contractor Other (Specify) _____

Will the sign(s) be illuminated? YES NO *If yes, will new wiring be required? YES NO

Company name of licensed electrician (if required): _____

SIGNATURE OF APPLICANT: Denise Krekeler

SIGNATURE OF PROPERTY OWNER: Brett Muir

28.375in

13.7in

Est. 2010



Est. 2010



96

110.1in



28.375in

13.7in

Est. 2010



Est. 2010



96 in

110.9 in



Memorandum

To: Landmarks Board

From: Taylor Moore, Preservation Planner

Date: May 18, 2026

Subject: Case No. EC-2026-24 902-904 South Main Street

On April 20, 2026, the Landmarks Board reviewed an application for the installation of new shake siding/shingles. The project entails replacing the existing damaged black horizontal siding with the proposed Hard-Split shake. Originally, the project was only for the rear portion of the building, but the applicant has now requested to do the sides and front mansard roof as well for a more cohesive appearance. The original Staff Report is attached to this memo.

The application was tabled at the April meeting for an example to be presented to Staff and the Board to ensure the proposed material would be appropriate for the structure and building. The proposed siding consists of a synthetic composite shake-style cladding design to replicate the appearance of traditional hand-split cedar shakes. The material features a textured wood-grain finish and staggered pattern consistent with historic shake siding commonly utilized on early 20th century structures.

Staff believes the proposal is visually appropriate for the structure, and while the material is not an authentic one, it will be more durable than what is presently on the building. The applicant has also stated their roofer can cut the shake into uneven pieces to portray a more period appropriate appearance. Therefore, Staff recommends approval of the proposed project, as submitted.

Recommended Motion:

Motion to approve the installation of Hard-Split shake siding on the structure located at 902-904 South Main Street, as submitted.



Figure 1: Example present to Staff.



Figure 2: Black Oak example



STAFF REPORT

NEW SIDING

902-904 SOUTH MAIN STREET

CASE NO. EC-2026-24

BY TAYLOR MOORE

APPLICANT: Leslie Pugh
1212 Miralago Way
Cottleville, MO 63376

OWNER: Same as above

ADDRESS/LOCATION: 902-904 South Main Street

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

PROPOSED USE: Mixed Use

MEETING DATE: April 20, 2026

BACKGROUND

Built circa 1905, the subject property is located at 902-904 South Main Street within the South Main Preservation District. The structure is also considered a contributing resource to the St. Charles Historic Downtown National Register district. The applicant is requesting approval to replace existing siding/shingles on the front and rear of the structure. The proposed new siding will be a cedar shake that will be installed only on the front mansard roof and the rear additions gable. Accompanying the application are photos of the property and material examples.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: “SMPD” SOUTH MAIN PRESERVATION DISTRICT

C. Special Building and Occupancy Permit.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

Architectural Design Guidelines for the South Main Street Historic District

Chapter IV: Guidelines for Historic Properties

Roofs

- 4.9 Preserve original roof material when feasible.
 - b. When replacement is necessary, use materials similar to the original. Low profile asphalt shingles, for example, are appropriate replacements for wood shingles.

- c. Maintain a color similar to that seen historically. Gray, black and brown are typical of many historic roof materials. Consider the neighborhood context for color.

Materials

- 4.23 Consider removing later covering materials that have not achieved historic significance; examples include vinyl, aluminum, or asphalt siding, or permastone.
- 4.25 A replacement material shall appear similar in character to that used historically.

STAFF RECOMMENDATION

The applicant proposes to install Hard-Split shake siding in a black finish as a new siding and roofing material. The initial request was limited to replacing the deteriorated siding on the rear addition's gable. The revised proposal expands the scope to include replacement of siding on the rear gable, the side elevations of the rear addition, and the front mansard roof to achieve a more consistent and cohesive appearance across the structure.

The existing material consists of black horizontal siding and shingles. While the proposed shake siding is a change in material and profile, it remains compatible with the character of the structure. The front mansard roof is original to the building, whereas the remaining areas of proposed replacement are located on a non-historic addition. Staff finds that the proposed changes will not adversely impact the architectural integrity of the structure, the streetscape, or the overall historic district. Therefore, Staff recommends approval of the project, as submitted.

Recommended Motion:

Motion to approve the installation of Hard-Split shake siding on the structure located at 902-904 South Main Street, as submitted.



Figure 1: Subject property seen from South Main Street



Figure 2: Rear addition with siding on gable.



Figure 3: Rear of structure with proposed shake siding.



Figure 4: Front mansard roof with proposed shake siding.

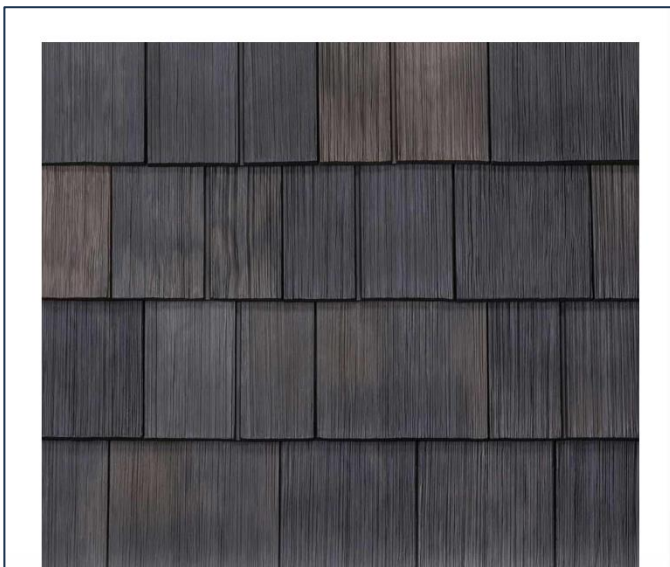


Figure 5: Shake siding example.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 902 & 904 S. Main St.

BUSINESS NAME (if applicable): _____

APPLICANT: Leslie Pugh
(Name)

1212 Miralago Way Cottleville Mo 63376
(Address)

636-518-1451 pughzoo@gmail.com
(Phone & Email Address)

PROPERTY OWNER: same as above
(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1870

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Property is a stone and brick building with an addition to the back that includes access to two upper unit apartments. The rear upper portion has vertical shingles that need repair.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): Replace verticle shingles w/ cedar shake siding on the front + back of the building

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

I would like to replace the verticle shingles with cedar look siding. I would be open to using black siding to keep the current look or I can consider siding that complements the current siding that is on the back of the building.

APPLICATION SUBMITTAL:

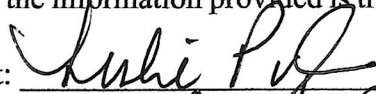
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

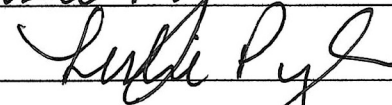
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

- 1. A complete application.
- 2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
- 3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
- 4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 3/9/26

Signature of the property owner:  Date: 3/9/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00


Westlake
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HAND-SPLIT SHAKE SIDING

DaVinci Hand-Split Shake Siding delivers lasting beauty and proven durability in any climate, standing up to sun, hail, wind, and extreme temperature changes. Enjoy the same trusted performance as our roofing, with finished tiles that keep your home looking elegant for years to come.

** Colors are as accurate as technology allows. Please make final selection from actual shingles.*

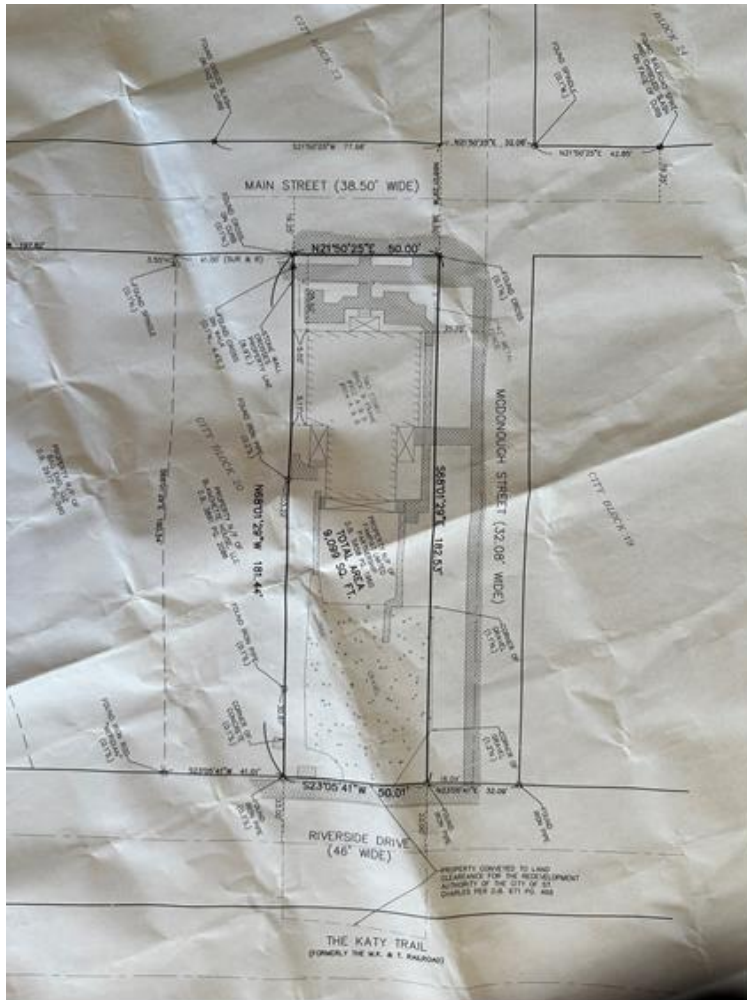


royalbuildingproducts.com

PROFILE Hand Split Shake









AGENDA ITEM #6B

STAFF REPORT
STOREFRONT ALTERATION
339 NORTH MAIN STREET
CASE NO. EC-2026-32

BY TAYLOR MOORE

APPLICANT: S J Hollander Architect
Steve Hollander
519 First Capitol Drive
St. Charles, MO 63301

OWNER: J Orf Construction
3501 Bluff Drive
St. Charles, MO 63303

ADDRESS/LOCATION: 339 North Main Street

ZONING: CBD—Central Business District
HDD—Historic Downtown District

USE: Mixed Use

MEETING DATE: May 18, 2026

BACKGROUND

The subject property is located at 339 North Main Street within the Historic Downtown District. Although the structure was built in 1910, the main façade is believed to have been rebuilt in the 1940s. The existence of a cantilevered flat canopy, with structural members extending through the storefront, lends credibility to this belief since this type of awning was popular in the 1930s and 1940s. The storefront was further altered, perhaps in the 1970s. This building is considered a non-contributing element to the St. Charles Historic District due to being extensively altered after the end of the district's period of significance (1850-1930), as it now has the appearance of a mid-1940s building. The applicant is requesting approval to make alteration to the first-floor storefront and change the entrances for new tenant spaces. Accompanying this report are elevations, a floorplan showing the new entries, and photographs of the existing structure.

APPLICABLE DESIGN GUIDELINES

SECTION 400.350: "HDD" HISTORIC DOWNTOWN DISTRICT.

C. Building, Sign and Occupancy Permits.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, including signs, or in any way change the outward appearance of any building or structure in the Historic Downtown District overlay without having

obtained a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE HISTORIC DOWNTOWN DISTRICT

Chapter 4: Guidelines for Historic Properties

Design of Alterations

- 4.1 Design an alteration to be compatible with the historic character of the property.
 - a. Avoid alterations that would hinder the ability to perceive the historic architecture of the original building.
- 4.2 Avoid alterations that would damage historic features.
 - a. For example, mounting a sign panel in a manner that cause decorative moldings to be damaged would be inappropriate.

Site Planning and Site Features

- 4.3 Maintain the historic relationship of the structure to its site and the street when adding or altering site elements.

Street Facades

The ability of the pedestrian to understand the history of the district from the street should not be confused despite a structure's current use, it should retain most of the character defining features that make it significant. Generally speaking, these important architectural features should be preserved whenever possible.

- 4.26 Preserve the historic character of the building façade when it is intact
- 4.27 If the street façade is already altered, restoring it to the original design is preferred.

Doors and Entries

Doors, which are often important character defining features of historic structures, give scale and provide visual interest to the composition of individual building facades.

- 4.33 Preserve a historically important door when physical conditions permit.

Windows

Windows are also some of the most important character defining features of most historic structures.

- 4.37 Preserve the functional and decorative features of a historically important window.
- 4.38 Preserve historic upper story windows
- 4.39 Preserve a historically important window design on primary facades

STAFF RECOMMENDATION

The proposed storefront rehabilitation introduces a combination of restoration and alterations that are generally compatible with the historic character of the building. The design includes the installation of a new rail-and-stile storefront system with large, glazed openings, which establishes a traditional storefront rhythm and increases transparency at the pedestrian level, as referenced in the design guidelines for the district. Simple rail-and-stile doors were common in the early decades of the 20th century. The existing windows in the recessed portion of the storefront are to be removed and new full-light doors with obscure glazing are proposed to take their place. The door on the southern side of the front façade is to be replaced with a full-light rail-and-stile door that will be

utilized to access the second floor. The northern door is to be removed and infilled with brick to match the existing, a new fixed obscure window with wood frame and sash, and the installation of a fire protection connection. These are minor alterations and will not negatively impact on the building's character, especially due to the current storefront not being original.

The existing cantilevered marquee is proposed to remain, with a dark gray finish, and will be supplemented by additional metal elements, including vertical cladding and faux support rods. While these additions introduce a more contemporary interpretation, the scale and placement align with the historic storefront zone and do not obscure significant architectural features. The added details are meant to make it more fitting as a 1920's marquee rather than a modern cantilevered one. At the upper façade, the removal of non-historic plastic shutters is appropriate and improves the building's historic appearance. The proposed building sign, to be affixed to the masonry parapet, is modest in size and placement and does not detract from the overall composition of the façade. It is projected to fill the large empty parapet wall and is to be ceramic or mosaic tile in material. It should also be noted the existing terrazzo flooring in the recessed entrance will be cleaned and reused in its place.

Overall, the proposed changes are compatible with the building's historic context in terms of scale, materials, and design. The alterations will enhance a North Main Street storefront that has been underutilized for many years and allow for the structure to be pedestrian friendly once again. Therefore, staff recommends approval of the proposed storefront alterations as presented.

Recommended Motion:

Motion to approve the rehabilitation of the storefront at 339 N. Main Street, as submitted.



Figure 1: Subject structure seen from North Main Street.



Figure 2: Existing storefront seen on property.



Figure 3: Elevation for proposed storefront alterations.



Figure 4: 3D sketch of proposed storefront.



Figure 5: Existing flooring in recessed storefront to be retained.



Figure 6: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 339 N Main Street

BUSINESS NAME (if applicable): Trails End Cheesecakes

APPLICANT:

S J Hollander Architect - Steve Hollander
(Name)

519 First Capitol Drive, Saint Charles, MO 63301
(Address)

636-947-4140 Steve@SJHollanderArchitect.com
(Phone & Email Address)

PROPERTY OWNER:

J Orf Construction
(Name)

3501 Bluff View Drive, St. Charles, MO 63303
(Address)

636-236-2788 jorfconstruction@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1910

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Vacant first floor with apartment above

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: New first floor entrances for new tenants
 - Construct a new structure: _____
 - Demolish or move structure: _____
 - Construct a new addition: _____
 - New sign or awning: _____
 - Site work (patio, fence, etc.): _____
 - Other (briefly explain): _____
-
-

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Change entrances into tenant spaces.

APPLICATION SUBMITTAL:

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A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 4/26/2026

Signature of the property owner:  Date: 5-11-20

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

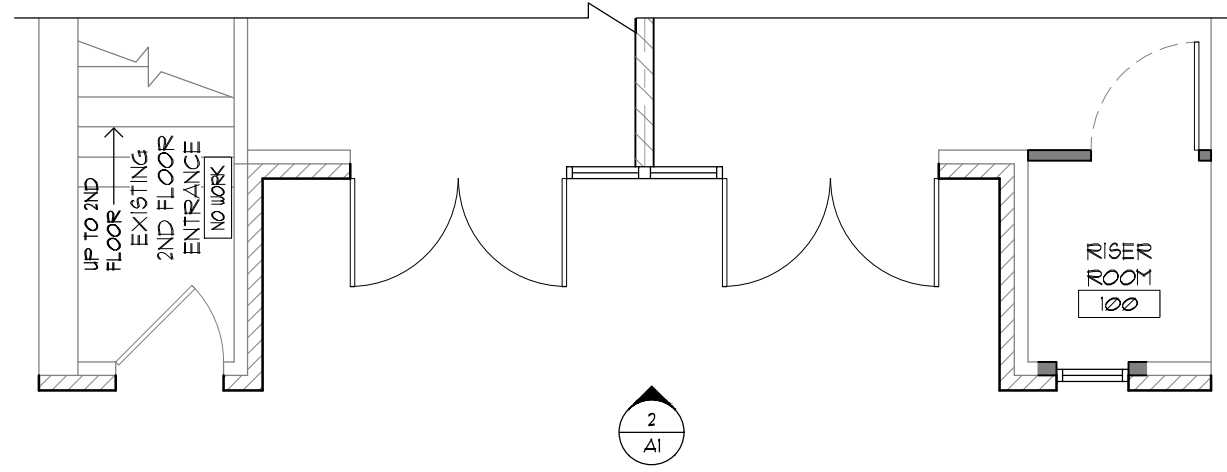
Site Plan: \$200.00
Exterior Changes & Demolitions: \$50.00



HISTORIC
DOWNTOWN
ST. CHARLES

Legal
Unique T
OPE

SOLE POINT



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

PROPOSED BUILDING SIGN (POSSIBLE MOSAIC OR TILE) AFFIXED TO MASONRY PARAPET

EXISTING ONE OVER ONE DOUBLE HUNG WINDOWS (PLASTIC SHUTTERS TO BE REMOVED)

EXISTING CANTILEVERED MARQUEE COLOR: DARK GREY

PROPOSED ADDITIONAL ELEMENTS
-METAL 3-D VERTICAL CLADDING
-FAUX SUPPORT RODS

NEW RAIL & STILE DOOR WITH FULL LIGHT AND OBSCURE GLAZING (SECOND FLOOR ENTRANCE)

NEW RAIL & STILE STOREFRONT



NEW FIXED OBSCURE WINDOW
NEW BRICK TO MATCH EXISTING
NEW FIRE PROTECTION CONNECTION

2 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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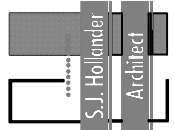
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REV	
DRAWING	Floor Plan + Ext. Elevation
DATE	April 24, 2026
PROJECT NO.	226006
SHEET NO.	A1

Remodel for:
Trail's End Cheesecakes
339 N. Main
St Charles, MO 63301

S.J. Hollander Architect P.C.

Stephen J. Hollander, AIA
519 First Capitol Drive
St. Charles, Missouri 63301
Phone (636) 947-4140 Fax (636) 947-7195





ADAPT EXISTING MARQUEE TO LOOK MORE APPROPRIATE
NEW STOREFRONT

STUDY FOR 339 NORTH MAIN ST.
HISTORIC DOWNTOWN, ST. CHARLES, MO

D. GROSS APR 2026



STAFF REPORT
NEW REAR DECK
905 NORTH SECOND STREET
CASE NO. EC-2026-33

BY TAYLOR MOORE

APPLICANT: Becky Niebruegge
11088 Millpark Drive, Ste 140
Maryland Heights, MO 63043

OWNER: Kathy Lindquist
905 North 2nd Street
St. Charles, MO 63301

ADDRESS/LOCATION: 905 North Second Street

ZONING: FD—Frenchtown District
FPD—Frenchtown Preservation District

PROPOSED USE: Commercial & Residential

MEETING DATE: May 18, 2026

BACKGROUND

Located in the Frenchtown Preservation District, the subject property is a two-story, brick commercial building at 901 North Second Street. Constructed circa 1900, the structure is also considered a contributing resource to the Frenchtown National Register Historic District. The applicant is requesting permission to remove the existing deteriorated rear deck and stairs and construct a new one in the same footprint. Accompanying this application are elevations, renderings, material examples, and photographs of the property.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: “FPD” FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to the HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter III: Guidelines for All Historic Properties

Materials

- 3.19 Replace missing historically significant features in kind.
- c. If later covering materials exist that have not achieved historic significance, Removing them is strongly encouraged. Asphalt siding that covers original Wood siding, for example, may be removed, as may vinyl siding.
- 3.20 Base the replacement of missing historically important elements on accurate information about original features.
- a. The design should be substantiated by physical or pictorial evidence. This will avoid creating a misrepresentation of the building's genuine heritage.
 - b. Overall, a high percentage of the materials and features of the property should be historic ones in order to retain the integrity of the resource as an historic property.
 - c. Use only materials and details similar in character to those employed historically on compatible buildings.
- 3.23 Consider removing later covering materials that have not achieved historic significance; examples, include vinyl, aluminum, or asphalt siding, or permastone.

Porches

- 3.55 Porches shall be kept in good repair.
- b. Original wood work, when at all possible, shall be retained or replicated in a manner consistent with the time period. A model example will be considered for changes.
- 3.56 Porch flooring must replicate the original and be consistent with the time period.

STAFF RECOMMENDATION

While the design guidelines for Frenchtown do not specifically address decks, the proposed project seeks to recreate the existing rear deck and stairs with similar appearance and footprints. The new deck will be constructed in the same location and dimensions as the existing, including the continuation of the pergola feature above. The primary visual change is the replacement of the existing wood spindles with a black aluminum spindle, which will provide a similar appearance with increased durability. Aside from this material change, the proposed design remains consistent with the existing conditions. Per the Building Division, the railing may remain 36" in height as the deck and stairs serve a single dwelling unit and are a like-for-like replacement of the existing conditions. The deck is not visible from the public right-of-way and therefore will have no impact on the streetscape or the overall district. Therefore, Staff recommends approval of the deck and stair replacement, as submitted.

Recommended Motions:

Motion to approve the construction of a new rear deck and stairs at 905 North 2nd Street, as submitted.



Figure 1: Subject property seen from North 2nd Street.



Figure 2: Subject deck seen from rear of property.

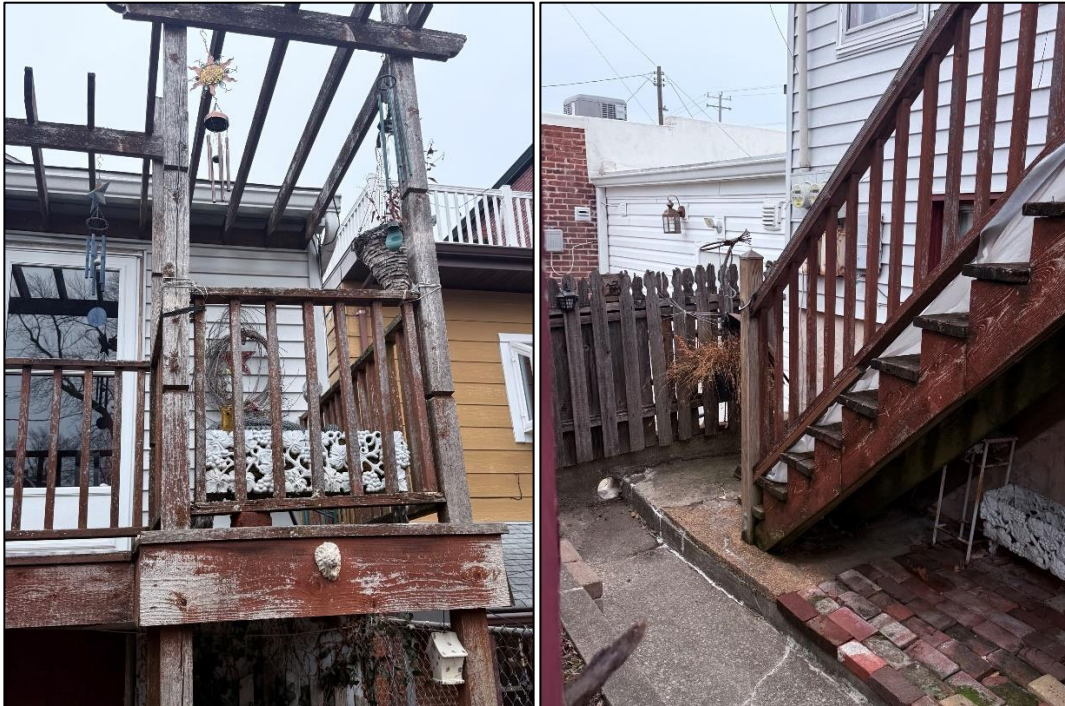


Figure 3: Images of existing deck and stairs conditions.



Figure 4: Rendering of proposed new deck and stairs.

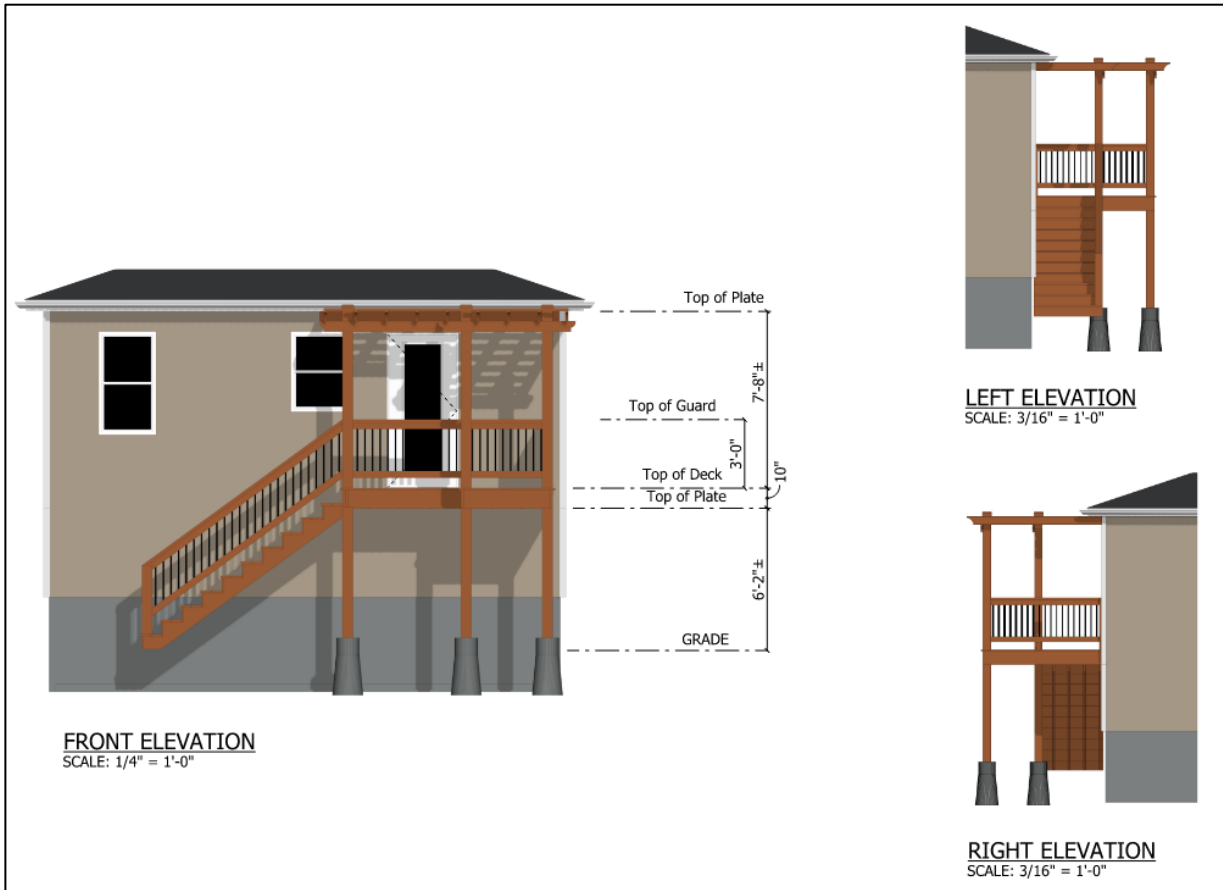


Figure 5: Elevations of proposed new deck and stairs.

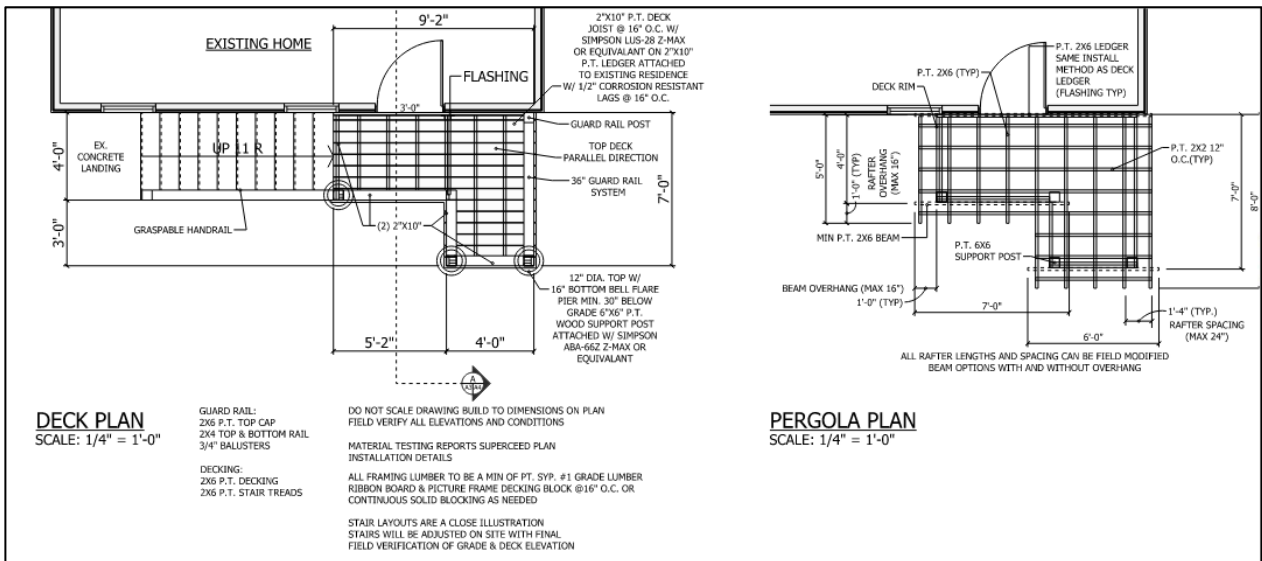


Figure 6: Construction plans for deck and pergola structure.



Figure 7: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 905 North 2nd Street

BUSINESS NAME (if applicable): STL Design and Build

APPLICANT: Becky Niebruegge
(Name)

11088 Millpark Drive, Ste 140, 63043
(Address)

314-736-5800 beakyn@stldesignandbuild.com
(Phone & Email Address)

PROPERTY OWNER: Kathy Lindquist
(Name)

905 North 2nd Street
(Address)

636-443-3258 KathleenLindquist1@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: unknown

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Commercial building with retail store
and basement

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: deck and pergola replacement
- Construct a new structure: _____
- Demolish or move structure: _____
- Construct a new addition: _____
- New sign or awning: _____
- Site work (patio, fence, etc.): _____
- Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Replace existing rear wood deck and pergola
with like.

APPLICATION SUBMITTAL:

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2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
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 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

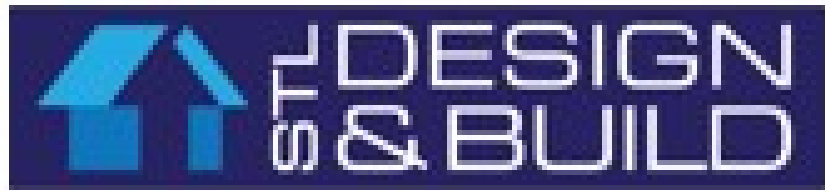
Signature of the applicant: Berkey M. Matuszewski Date: 4/24/20

Signature of the property owner: Robert R. Longo Date: 4/24/20

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00



DRAWING SCHEDULE

DECK PLAN

COVER SHEET__ A1

ELEVATIONS__ A2

DECK PLAN____ A3

DETAILS_____ A4

DETAILS 1_____ A5

DECK PROJECT:

KATHY LINDQUIST

905 NORTH SECOND ST

SAINT CHARLES, MISSOURI 63301

AS AN INSTRUMENT OF SERVICE THIS DOCUMENT IS AND REMAINS THE PROPERTY OF STL DESIGN & BUILD AND MAY NOT BE USED FOR ANY PROJECT OTHER THAN THAT FOR WHICH IT WAS ORIGINALLY INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR THE ADVERSE CONSEQUENCES OF DEVIATIONS FROM INFORMATION PROVIDED IN THIS DOCUMENT. UNLESS SPECIFICALLY APPROVED IN WRITING BY STL DESIGN & BUILD, CONTRACTOR IS RESPONSIBLE FOR QUANTITIES, CONDITIONS, FIELD DIMENSIONS, JOB COORDINATION, PROJECT METHODS AND ALL OTHER CONTRACT REQUIREMENTS.



11088 MILLPARK DR.
MARYLAND HEIGHTS, MISSOURI 63043
JHAMLET@STLDESIGNANDBUILD.COM
314-736-5800
314-736-5803



DRAFTING SERVICES PROVIDED BY:
WILLIAMS DRAFTING, LLC.
DAVE WILLIAMS
1625 SHANE DR.
IMPERIAL, MO 63052
DWILLDRIFT@GMAIL.COM
314-221-8383

PLANS PREPARED BY NON LICENSED PROFESSIONAL

HOME OWNER INFORMATION:
KATHY LINDQUIST
905 NORTH SECOND ST
SAINT CHARLES, MISSOURI 63301
PHONE: 636-443-3258
ALT. PHONE:
EMAIL: KATHLEENLINDQUIST1@GMAIL.COM

PROJECT NUMBER: STLDB-26-009

PLAN REVISION		
NO.	INFORMATION	DATE
1	ORIGINAL ISSUE	3/28/2026

PRELIM. REVIEW SET: 3/28/2026
DRAWN BY: DAVE WILLIAMS
CHECKED BY:

SHEET:
COVER SHEET

A1 / A5

SCOPE OF WORK

REMOVE AND REPLACE EXISTING DECK ON REAR OF RESIDENCE.

APPLICABLE CODES:

- 2021 IBC (INTERNATIONAL BUILDING CODE)
- 2021 IRC (INTERNATIONAL RESIDENTIAL CODE)
- 2021 IMC (INTERNATIONAL MECHANICAL CODE)
- 2021 IPC (INTERNATIONAL PLUMBING CODE)
- 2020 NEC (NATIONAL ELECTRICAL CODE)



SITE CONDITIONS



RENDERING

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11088 MILLPARK DR.
MARYLAND HEIGHTS, MISSOURI 63043
JHAMLET@STLDESIGNANDBUILD.COM
314-736-5800
314-736-5803



DRAFTING SERVICES PROVIDED BY:
WILLIAMS DRAFTING, LLC.
DAVE WILLIAMS
1625 SHANE DR.
IMPERIAL, MO 63052
DWILLDRAFT@GMAIL.COM
314-221-8383
PLANS PREPARED BY NON LICENSED PROFESSIONAL

HOME OWNER INFORMATION:
KATHY LINDQUIST
905 NORTH SECOND ST
SAINT CHARLES, MISSOURI 63301
PHONE: 636-443-3258
ALT. PHONE:
EMAIL: KATHLEENLINDQUIST1@GMAIL.COM

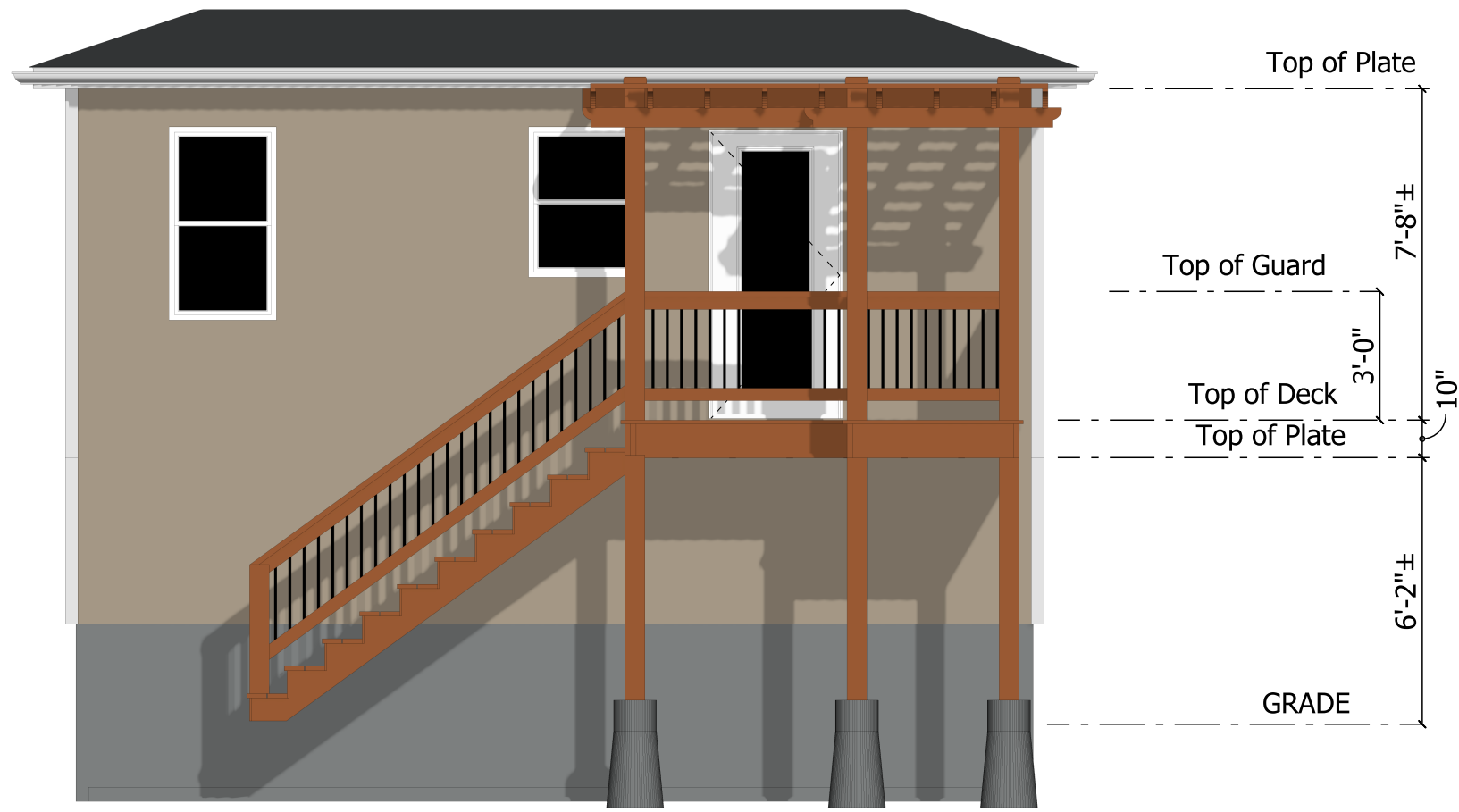
PROJECT NUMBER: STLDB-26-009

PLAN REVISION		
NO.	INFORMATION	DATE
1	ORIGINAL ISSUE	3/28/2026

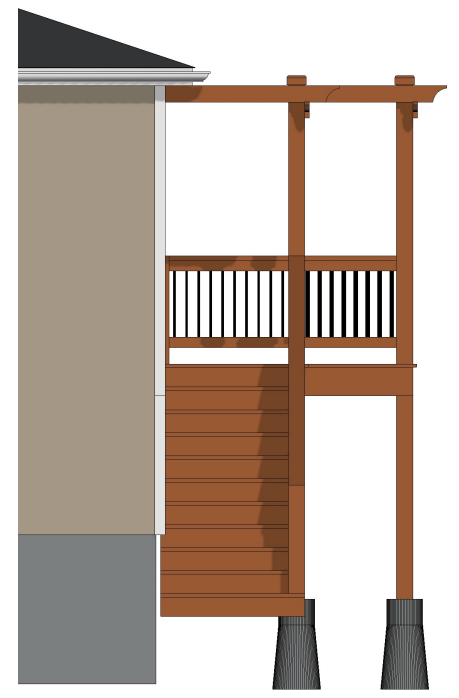
PRELIM. REVIEW SET: 3/28/2026

DRAWN BY: DAVE WILLIAMS
CHECKED BY:

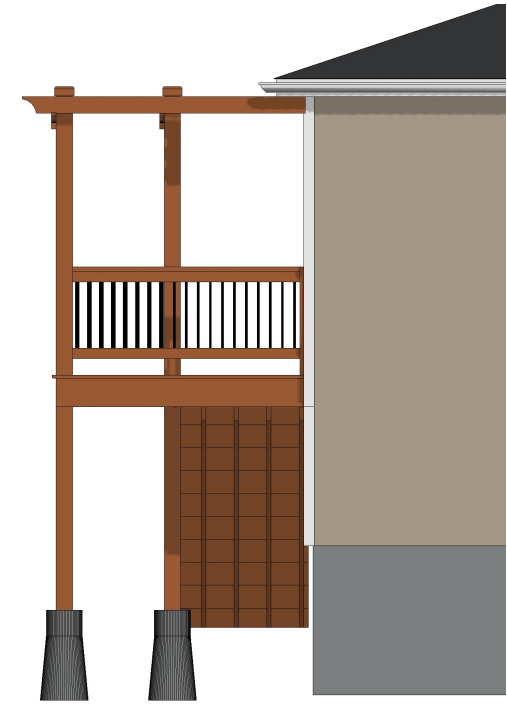
SHEET:
ELEVATIONS
A2 / A5



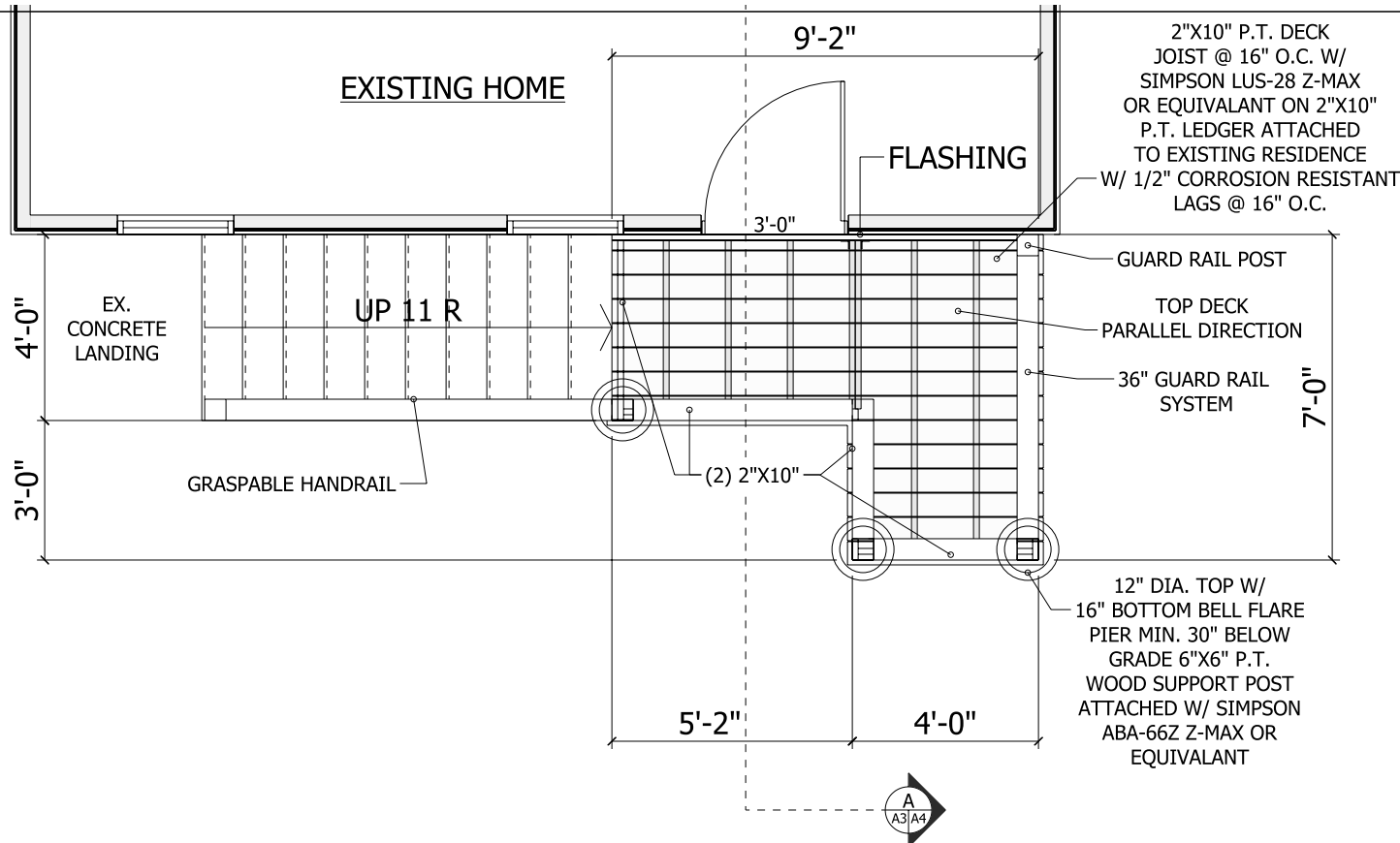
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



DECK PLAN
SCALE: 1/4" = 1'-0"

GUARD RAIL:
2X6 P.T. TOP CAP
2X4 TOP & BOTTOM RAIL
3/4" BALUSTERS

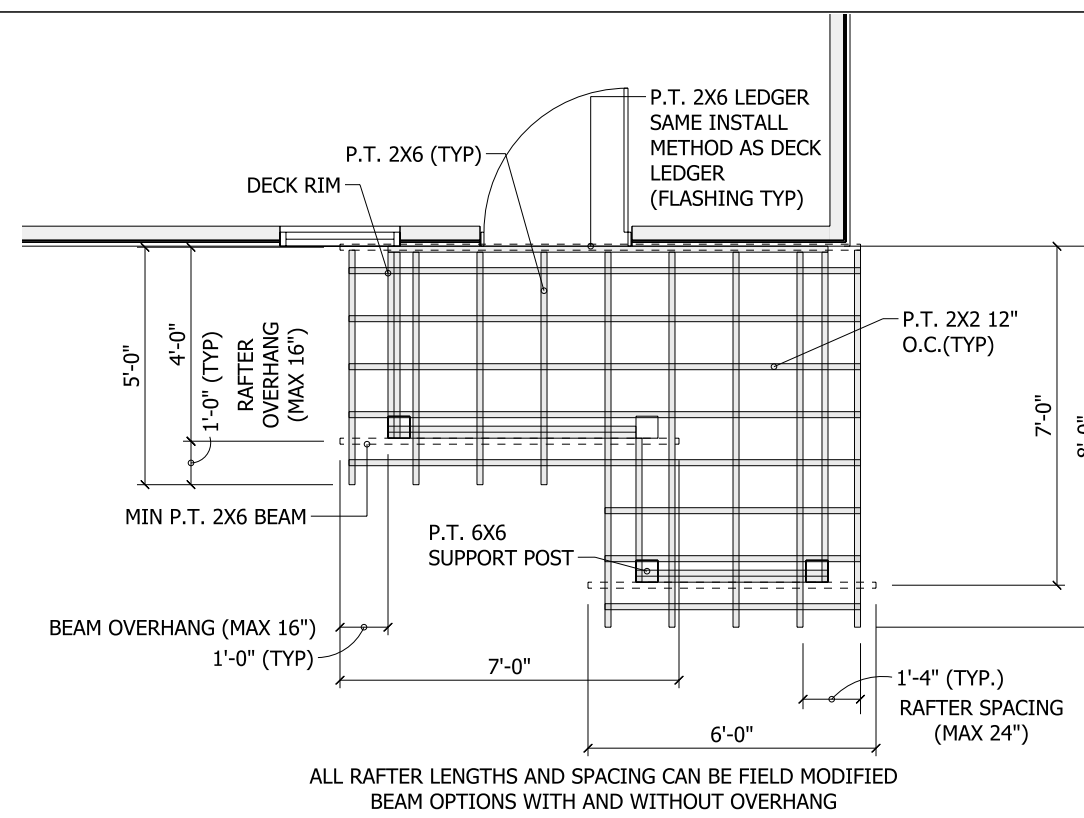
DECKING:
2X6 P.T. DECKING
2X6 P.T. STAIR TREADS

DO NOT SCALE DRAWING BUILD TO DIMENSIONS ON PLAN
FIELD VERIFY ALL ELEVATIONS AND CONDITIONS

MATERIAL TESTING REPORTS SUPERCEED PLAN
INSTALLATION DETAILS

ALL FRAMING LUMBER TO BE A MIN OF PT. SYP. #1 GRADE LUMBER
RIBBON BOARD & PICTURE FRAME DECKING BLOCK @16" O.C. OR
CONTINUOUS SOLID BLOCKING AS NEEDED

STAIR LAYOUTS ARE A CLOSE ILLUSTRATION
STAIRS WILL BE ADJUSTED ON SITE WITH FINAL
FIELD VERIFICATION OF GRADE & DECK ELEVATION



PERGOLA PLAN
SCALE: 1/4" = 1'-0"

ALL RAFTER LENGTHS AND SPACING CAN BE FIELD MODIFIED
BEAM OPTIONS WITH AND WITHOUT OVERHANG

AS AN INSTRUMENT OF SERVICE THIS DOCUMENT IS AND REMAINS THE PROPERTY OF STL DESIGN & BUILD AND MAY NOT BE USED FOR ANY PROJECT OTHER THAN THAT FOR WHICH IT WAS ORIGINALLY INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR THE ADVERSE CONSEQUENCES OF DEVIATIONS FROM INFORMATION PROVIDED IN THIS DOCUMENT. UNLESS SPECIFICALLY APPROVED IN WRITING BY STL DESIGN & BUILD, CONTRACTOR IS RESPONSIBLE FOR QUANTITIES, CONDITIONS, FIELD DIMENSIONS, JOB COORDINATION, PROJECT METHODS AND ALL OTHER CONTRACT REQUIREMENTS.



11088 MILLPARK DR.
MARYLAND HEIGHTS, MISSOURI 63043
JHAMLET@STLDESIGNANDBUILD.COM
314-736-5800
314-736-5803



DRAFTING SERVICES PROVIDED BY:
WILLIAMS DRAFTING, LLC.
DAVE WILLIAMS
1625 SHANE DR.
IMPERIAL, MO 63052
DWILLDRAFT@GMAIL.COM
314-221-8383

PLANS PREPARED BY NON
LICENSED PROFESSIONAL

HOME OWNER INFORMATION:
KATHY LINDQUIST
905 NORTH SECOND ST
SAINT CHARLES, MISSOURI 63301
PHONE: 636-443-3258
ALT. PHONE:
EMAIL: KATHLEENLINDQUIST1@GMAIL.COM

PROJECT NUMBER: STLDDB-26-009

PLAN REVISION		
NO.	INFORMATION	DATE
1	ORIGINAL ISSUE	3/28/2026

PRELIM. REVIEW SET: 3/28/2026

DRAWN BY: DAVE WILLIAMS
CHECKED BY:

SHEET:

DECK PLAN

A3 / A5

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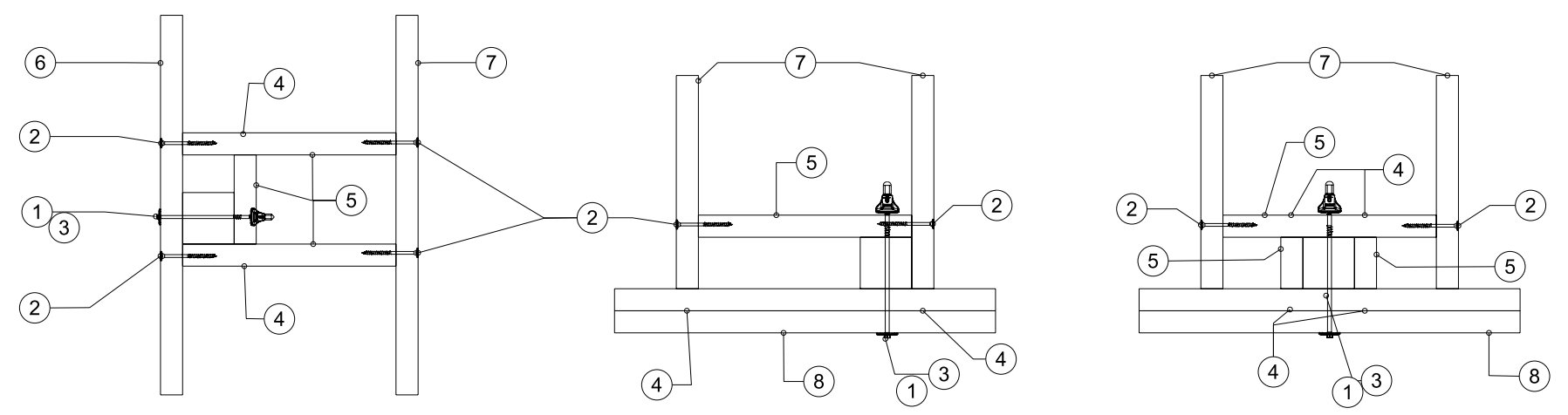
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DRAWN BY: DAVE WILLIAMS
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SHEET:
DETAILS 1
A5 / A5



KEYNOTE SCHEDULE	
ID	NOTE
1	(2) 1/2" X Carriage Bolts or THROUGHLOK FASTENERS
2	(2) 3" X HLG M334 or Equivalent
3	(2) 1/2" X Carriage Bolts
4	(2) 3" Ring Shank Nail Or Equivalent
5	Min. 2x8 Blocking
6	Rim Joist
7	Joist Member
8	Rim Board

RAIL SUPPORT CONNECTION DETAIL DETAIL
SCALE: 1/4" = 1'-0"

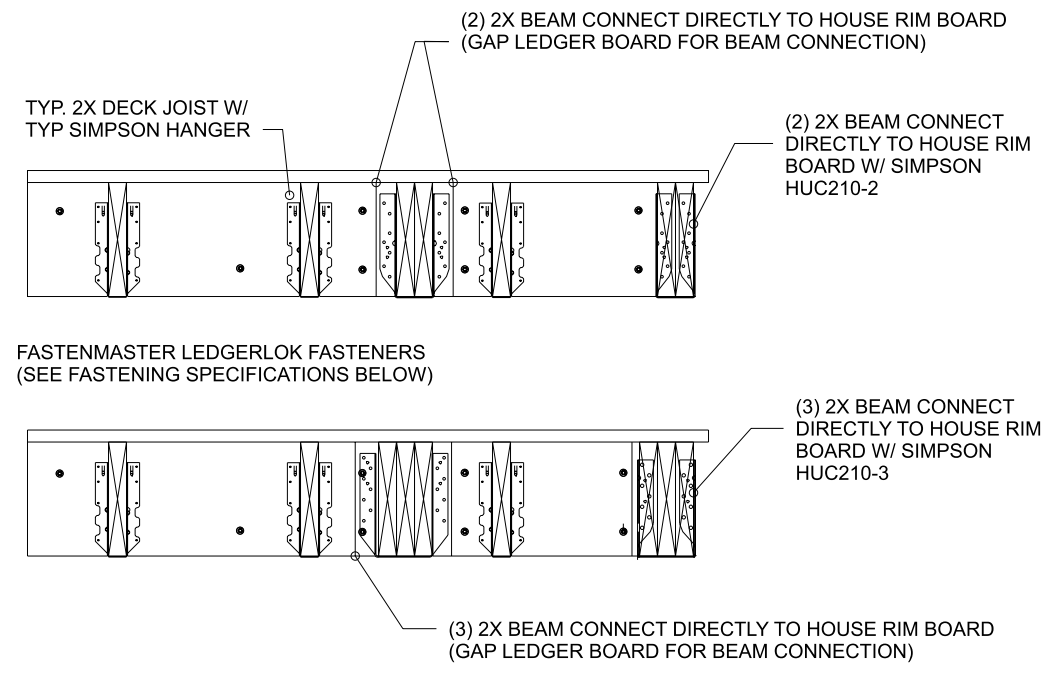
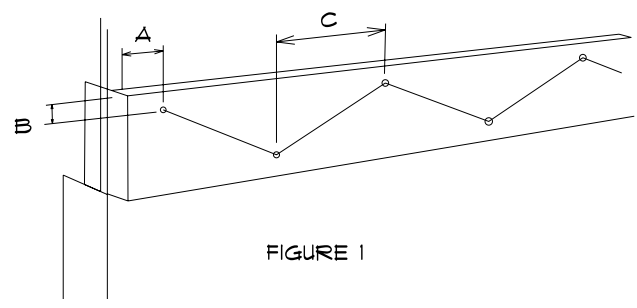


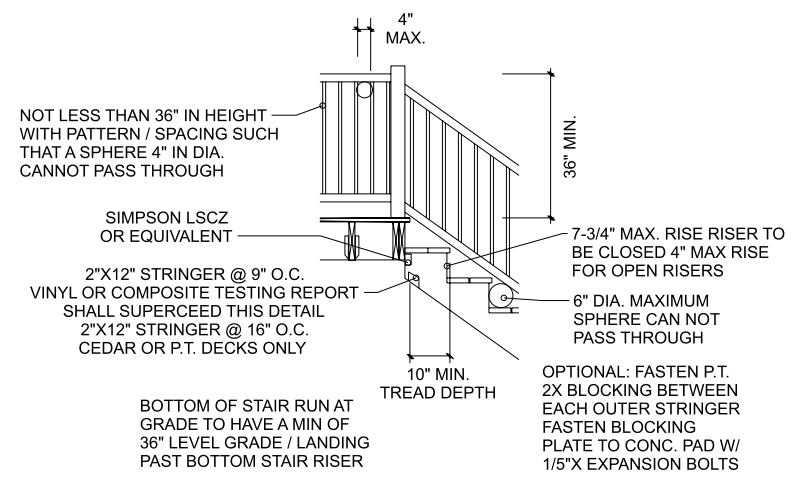
TABLE 1: Fastening pattern for attachment of ledger to rim board using LedgerLOK

Live Load	Ledger Material	Rim Material	Spacing between fasteners (in inches) based on Joist Spans of:						
			6' or Less	Up to 8'	Up to 10'	Up to 12'	Up to 14'	Up to 16'	Up to 18'
40 psf	Doug. Fir or S. Pine	2x Lumber	24	18	14	12	10	9	8
		EW Rim	25	19	15	12	10	9	8
	Hem Fir	2x Lumber	20	15	12	10	8	7	6
		EW Rim	25	19	15	12	10	9	8
60 psf	Doug. Fir or S. Pine	2x Lumber	17	13	10	8	7	6	5
		EW Rim	18	13	10	9	7	6	6
	Hem Fir	2x Lumber	14	11	8	7	6	5	4
		EW Rim	18	13	10	9	7	6	6

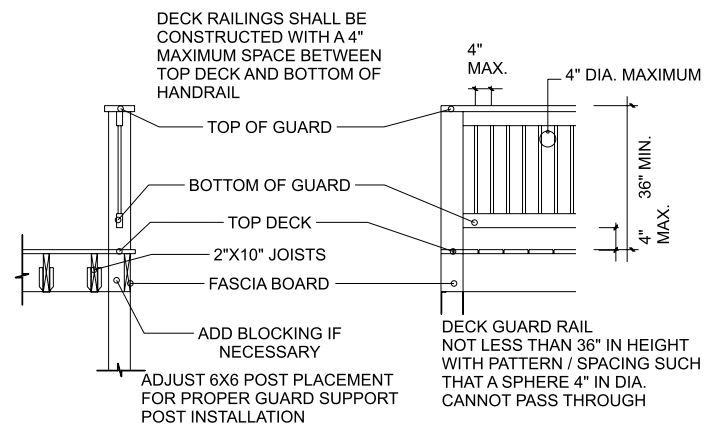
Fasteners should be staggered in a "V" pattern and spaced as follows:
A. Minimum end distance = 3-3/4"
B. Minimum edge distance = 2"
C. On-center spacing = Per Table 1



STAIR / LANDING / GUARD RAIL / HANDRAIL LAYOUTS ARE SITE SPECIFIC -- ALL FINAL STAIR / LANDING ELEVATION LAYOUT WILL BE FIELD VERIFIED & ADJUSTED ON SITE. CONTRACTOR TO COORDINATE LAYOUT / FINISHES WITH OWNER.



STAIR DETAIL
SCALE: 1/4" = 1'-0"



GUARD DETAIL
SCALE: 1/4" = 1'-0"

ArcGIS Web Map



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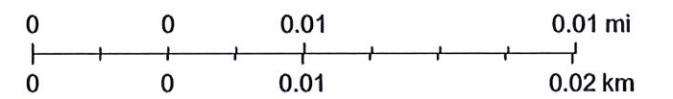
Road Ownership

— City of St. Charles

□ County Parcels

○ Address Points

1:262



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, USGS, Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,

ArcGIS Web Map



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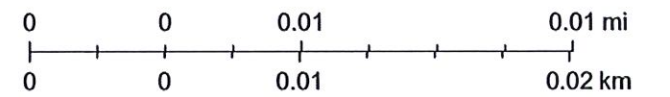
Road Ownership

— City of St. Charles

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1:262



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, USGS, Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen,



STAFF REPORT
WINDOWS & PORCH ALTERATIONS
553 JEFFERSON STREET
CASE NO. EC-2026-35

BY TAYLOR MOORE

APPLICANT: Jesse Ray
812 Midpoint Drive
O’Fallon, MO 63366

OWNER: Ray Property Investments
812 Midpoint Drive
O’Fallon, MO 63366

ADDRESS/LOCATION: 553 Jefferson Street

ZONING: CBD—Central Business District
EHD—Extended Historic Preservation District

USE: Multi-Family

MEETING DATE: May 18, 2026

BACKGROUND

Constructed in 1917, this 2½-story brick Colonial Revival style house is located within the Extended Historic Preservation District. Additionally, the property is located within the Midtown Neighborhood National Historic District and is considered a contributing resource. The applicant is requesting approval to replace the windows on the dwelling and make alterations to the front porch. Additionally, the applicant received approval at the January 26, 2026, Landmarks Board meeting to replace the rear two-tier deck. The applicant is requesting a change in material examples and photographs of the existing structure. Accompanying the application are material examples and photographs of the property.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: “EPD” EXTENDED HISTORIC PRESERVATION DISTRICT

- A. Purposes. The purposes of the “EHP” Extended Historic Preservation District are to preserve historic buildings which contribute or will contribute to the heritage of the City or the State and to preserve existing neighborhood architecture by protecting the buildings and their surroundings from obviously incongruous development or uses or land.
- C. *Architectural Review for Properties Constructed During or Prior to 1945.* No person shall alter the exterior appearance of any building without first obtaining a Certificate of Appropriateness from the Historic Landmarks Preservation and

Architectural Review Board (HLPARB). In reviewing applications for a Certificate of Appropriateness, guidelines established in Section 400.1270 shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

1. Relationship of Buildings to Site
 - d. Without restricting the permissible limits of the application zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relationship of Buildings and Site to Adjoining Area
 - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
 - c. Harmony in texture, lines and masses is required. Monotony shall be avoided.
3. Building Design
 - a. Architectural style is not restricted but historically significant architectural style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
 - b. Building shall have good scale and be in harmonious conformance with permanent neighborhood development.
 - c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - d. Building components, such as windows, doors, eaves, and parapets shall have good proportions and relationships to one another.
 - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
 - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
8. Factors for Evaluation
 - a. Conformance to ordinances and the Appearance Code.
 - b. Logic of design.
 - c. Exterior space utilization.
 - d. Architectural character
 - e. Attractiveness
 - f. Material selection
 - g. Harmony and compatibility
 - i. Maintenance aspects.

STAFF RECOMMENDATION

The proposed new windows will be like for like in configuration, color, and size. The existing windows have deteriorated and are no longer energy efficient for the structure. The project also entails replacement of the existing front porch railing while retaining the existing porch columns. The columns appear to be in repairable condition and are proposed to be painted black. The new railing system for the porch will be constructed of wood and will generally replicate the existing railing configuration with similar top and bottom rails. The applicant has noted the existing railing does not appear to be original and resembles interior-style railing system not typically intended for exterior porch applications. The applicant has also proposed utilizing colonial-style wood spindles in place of the existing wood ones. The structure is defined as a Colonial Revival style dwelling within the Midtown Neighborhood Historic District listing, and this form of spindle would remain compatible with the residential character of the structure and surrounding context. The railing is proposed to be painted black like the columns, with the spindles being painted white, creating a traditional contrasting appearance. Staff recommends the porch be painted as soon as possible due to its high visibility.

Lastly, the applicant received approval from the Board earlier this year to install aluminum railings on the rear two-tier deck. The applicant would now like to install wooden railings and posts for the deck to better match what was previously there. All features are also to be painted white. Staff finds the projects to be appropriate for the structure and keeping with the design guidelines for the district. The alterations will have no impact on the contributing status of the structure, the streetscape, or the overall district. Therefore, Staff recommends approval of the projects, subject to the condition below.

1. The front porch replacement items shall be painted after installation

Recommended Motion:

Motion to approve the installation of new windows, new front porch railing, and a change in material for the rear deck railing at 553 Jefferson Street, subject to the condition recommended by Staff.



Figure 1: 553 Jefferson Street seen currently from the street.



Figure 2: Subject property looking east.



Figure 3: Subject property looking west.



Figure 4: Rear of structure seen currently with two-tier deck construction.



Figure 5: Window example.



Figure 6: Spindles and handrail example for rear deck.



Figure 7: Spindles and handrail example for front porch.



Figure 8: Example photos of existing front porch railing.



Figure 9: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 553 Jefferson St

BUSINESS NAME (if applicable): Ray Property Investments

APPLICANT:

Jesse Ray
(Name)

612 Midpoint Dr
(Address)

636-346-8753 / precision.properties06@gmail.com
(Phone & Email Address)

PROPERTY OWNER:

Ray Property Investments
(Name)

612 Midpoint Dr
(Address)

636-487-4367 / precision.properties06@gmail.com
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1910

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

4 Unit apartment Building under Renovation
to convert to 5 units.

PROJECT DESCRIPTION (mark and explain each that may apply):

Rehabilitate or restore: _____

Construct a new structure: _____

Demolish or move structure: _____

Construct a new addition: _____

New sign or awning: _____

Site work (patio, fence, etc.): _____

Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

we are Replacing all windows they will be same
style and color as existing. Rear Deck Remove
and front Deck upgrades.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitymo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Jesse Ray Date: 4/30/26

Signature of the property owner: Jesse Ray Date: 4/30/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Site Plan:	\$200.00
Exterior Changes & Demolitions:	\$50.00

3:00

Signal strength, Wi-Fi, and battery (36%) icons

St Charles County



... / [Outdoor Handrails](#) / [ProWood Outdoor Handrails](#)

ProWood



2 in. x 4 in. x 6 ft. Pressure-Treated Routed Hand Rail (4-Pack)

★★★★☆ (218) Questions & Answers (104)



3:07 ↗

↗ St Charles Cour



WeatherShield

**1.375 in. x 2.125 in. x 36
Pressure-Treated Square
Spindle (7-Pack)**



(113)



Questions &



This would be the front deck with veneered black posts white hand rail and spindles





This is current front deck untreated painted 2x4

3:00

Signal strength, Wi-Fi, and battery (36%) icons

St Charles County



... / [Outdoor Handrails](#) / [ProWood Outdoor Handrails](#)

ProWood



2 in. x 4 in. x 6 ft. Pressure-Treated Routed Hand Rail (4-Pack)

★★★★☆ (218) Questions & Answers (104)



3:09 

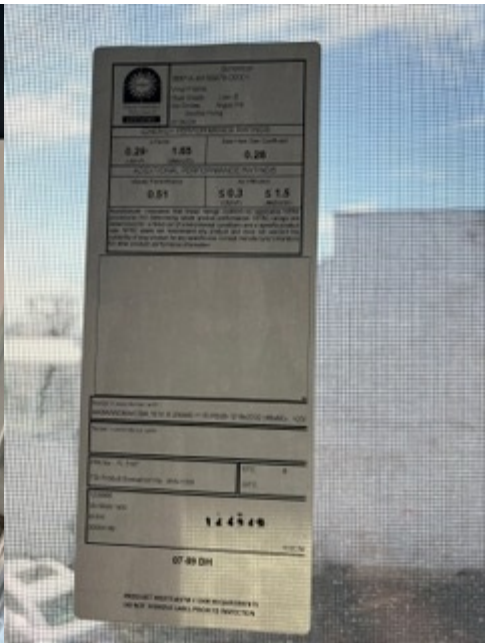
 St Charles Cour



... / [Deck Railings](#) / [Balusters &](#)

**42 in. x 2 in. Pressure-Treated
Southern Yellow Pine Wood
Cedar-tone Beveled 1-End
Baluster**

This would be the material used for back deck painting the same colors as front deck





STAFF REPORT

ADDITION

701-703 SOUTH RIVERSIDE DRIVE

CASE NO. SP-2026-16

BY TAYLOR MOORE

APPLICANT: Jodi Devonshire
703 South Riverside Drive
St. Charles, MO 63301

OWNER: Same as above

ADDRESS/LOCATION: 701-703 South Riverside Drive

ZONING: HCD—Historic Commercial District
SMPD—South Main Preservation District

USE: Commercial

MEETING DATE: May 18, 2026

BACKGROUND

The subject property is 701-703 South Riverside Drive which is located within the South Main Preservation District. Constructed in 1920, the 2-story, side-gabled brick building houses the business “Bike Stop Café” and an apartment above. The structure is also considered a contributing resource to the National St. Charles Historic District, which composes of both the local Historic Downtown District and the South Main Preservation District. The applicant is requesting approval to construct a one-story addition with a covered roof deck above on the east elevation of the building. The addition is to replace an existing enclosed storage area that sits below a second-story deck utilized to access the apartment above. Accompanying this application are elevations, renderings, and photographs of the existing structure.

New Addition

The proposal involves removing an existing second-story deck and stairs on the east elevation of the structure facing Riverside Drive. Beneath the existing deck is a fenced enclosure currently utilized as storage for the business. The proposed addition is 29’ x 13’6” (approx. 391 sq. ft.) and will be the same width as the existing structure and be slightly longer than the existing conditions.

The addition is proposed to be clad in board and batten siding (either fiber cement or composite wood) to match material on the existing structure. The first-floor storage area will have an arched top carriage style garage door facing Perry Street (front elevation) to complement the four arched entryways that were former carriage doors. Facing the east (Riverside Drive) will be two additional carriage style door openings that will have an awning covering of standing seam metal with a timber frame. This elevation will also feature

a man door of the same style of doors seen on the primary façade of the structure. The south side of the first-floor addition will feature a pair of aluminum clad windows in a green color to match those seen on the existing structure. The new windows will have the same grid pattern as those on the structure to provide a more cohesive appearance across the addition and the original building.

Above the first-floor storage area will be a second story covered deck. The roof for this deck will be an extension of the existing building's roof and will have an open timber gable end. The ridge beam will extend past the end of the roof supported by a knee brace and will feature a decorative pulley similar in style to what would have been on the building when it functioned as a carriage house. The railing for the upper-story deck originally was proposed to feature a bronze aluminum railing with a rounded top and square balusters. Staff advised the applicant that due to the high visibility of this addition, the railing material should be like-for-like what currently exists on the deck to be replaced, which is a wooden railing. The applicant has agreed to this alteration. Adjacent to the addition and covered rooftop patio will be a non-covered deck and rear staircase. The entire deck structure will be constructed of treated lumber and feature composite wood decking.

Lastly, the submitted application requested to remove the coach lights over the four primary entrances on Perry Street and add awnings to match the one proposed for the addition. After discussions with Staff, the applicant has agreed to retain the coach lights and not move forward with this alteration. This is to retain the original building's appearance as much as possible.



Figure 1: Rendering of proposed addition from corner of Perry Street and Riverside Drive



Figure 2: Rendering of addition seen from Riverside Drive (east elevation).



Figure 3: Rendering of addition seen looking north.

APPLICABLE DESIGN GUIDELINES

SECTION 400.330: "SMPD" SOUTH MAIN PRESERVATION DISTRICT

C. Special Building and Occupancy Permit.

1. No person shall be permitted to build, erect, construct, alter, destroy or remove buildings or structures, or in any way change the outward appearance of any building or structure in the South Main Preservation District without having obtained a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE SOUTH MAIN STREET HISTORIC DISTRICT

Chapter IV: Guidelines for Historic Properties

Site Planning & Site Features

4.5 Select replacement or new materials and features that are compatible with the existing character of the site

Architectural Details: Preservation, Treatment & Replacement

4.11 Preserve the historic design character of the building.

4.12 Minimize alteration of historically significant features.

- a. First, maintain historically significant features that are intact. Then, repair those features that are deteriorated. Finally, replace only those features that are beyond repair.

4.13 Protect and maintain historically significant stylistic elements.

4.14 Historically significant materials and features shall not be altered or removed.

- a. Examples of historically significant architectural features are porches, turned columns, brackets and jigsaw ornaments. The overall building or roof form is also significant.
- b. Preserve original doors, windows and porches in their original condition when physical conditions permit.

Chapter VI: Guidelines for Additions

Site Planning of an Addition

5.1 An addition shall adhere to current zoning requirements for setbacks unless otherwise deemed appropriate.

- a. New additions to historic buildings will be considered the same as additions to newer buildings and thereby affected by the same setback, size, and building restrictions.
- b. In some cases, however, the historic setbacks may be different from these mandated in current regulations.

5.2 An addition should be built on historic footprints where applicable.

- a. In keeping with the historicism of the district, if a structure previously had a historically significant addition, then a new addition should be built in a similar style and location to an original addition.
- b. Such addition shall be based on historical documentation.

5.3 Preserve historic alignments that may exist on the street when planning an addition.

5.5 An addition must not obscure the primary entrance to a building.

Building Form, Mass, and Scale

5.8 The addition shall be built in the style and character of other historic additions.

Roofs

- 5.10 The roof form of an addition must be in character with the historic building.
- a. If the roof of a historic building or structure is symmetrically proportioned, so shall the roof of the addition be.
- 5.11 The addition shall preserve the established design character of the historic building or structure.

Materials

- 5.16 Materials shall appear similar in character to those used historically.
- a. Using materials that are the same as those employed historically is preferred.
 - b. Substitute materials may be used for replacing individual building elements but shall not be used for the primary building material.
- 5.17 Simple material finishes are required.

Street Facades

- 5.18 An addition shall not be made to a primary façade
- a. An addition made to the rear of the structure shall not be visible from the primary façade.

Doors and Entries

- 5.19 Preserve traditional entrance patterns when planning an addition to a historic building.
- a. Retain the orientation of historically significant primary entrances, usually facing the street, when planning a new addition.
- 5.20 Doors on an addition shall appear similar in proportion to historic doors found on the primary structure.
- a. An entrance into an addition should reflect the rest of the historic structure and shall be similar in size to doors on the rest of the structure.
- 5.21 A door on an addition shall use a design similar to those found historically on comparable structures.

STAFF RECOMMENDATION

The proposed addition received two (2) variances at the April 6, 2026, Board of Adjustment meeting to decrease the front yard setback and rear yard setback requirements. As the Perry Street walkway acts as the primary façade of the structure, the addition will be on a side elevation and replace an existing deck and storage area. While the addition will be visible from the primary façade, it will remain in line with the existing structure, which is appropriate. The structure originally extended further east and was removed around the time of the construction of Riverside Drive.

The construction materials proposed for the addition are appropriate and compatible with the existing structure. The retention of the coach lights above each entrance instead of replacing them with awnings preserves the existing appearance, and the utilization of a wooden railing system rather than aluminum is more appropriate for the addition due to its high visibility. Due to being in the floodplain, the addition will be required to comply with the City's flood damage prevention ordinance. The applicant has stated they most likely will provide ventilation on the walls and doors to allow water to flow through in the case of flooding. This will be required to be reflected in all submittals for a building permit.

Overall, the addition is compatible with the existing structure and utilizes materials that are appropriate for the district. While it will be larger than the existing deck and storage area, it

will remain in line with the existing building and being proposed in the footprint of an original portion of the structure that was removed. Therefore, Staff recommends approval of the proposed addition, subject to following condition:

1. The addition shall comply with the City's flood damage prevention ordinance.

Recommended Motion:

Motion to approve the construction of a new storage and covered deck addition at 701-703 South Riverside Drive, subject to the condition recommended by Staff.



Figure 4: Subject structure seen currently from Riverside Drive and Perry Street.



Figure 5: Perry Street elevation (north).

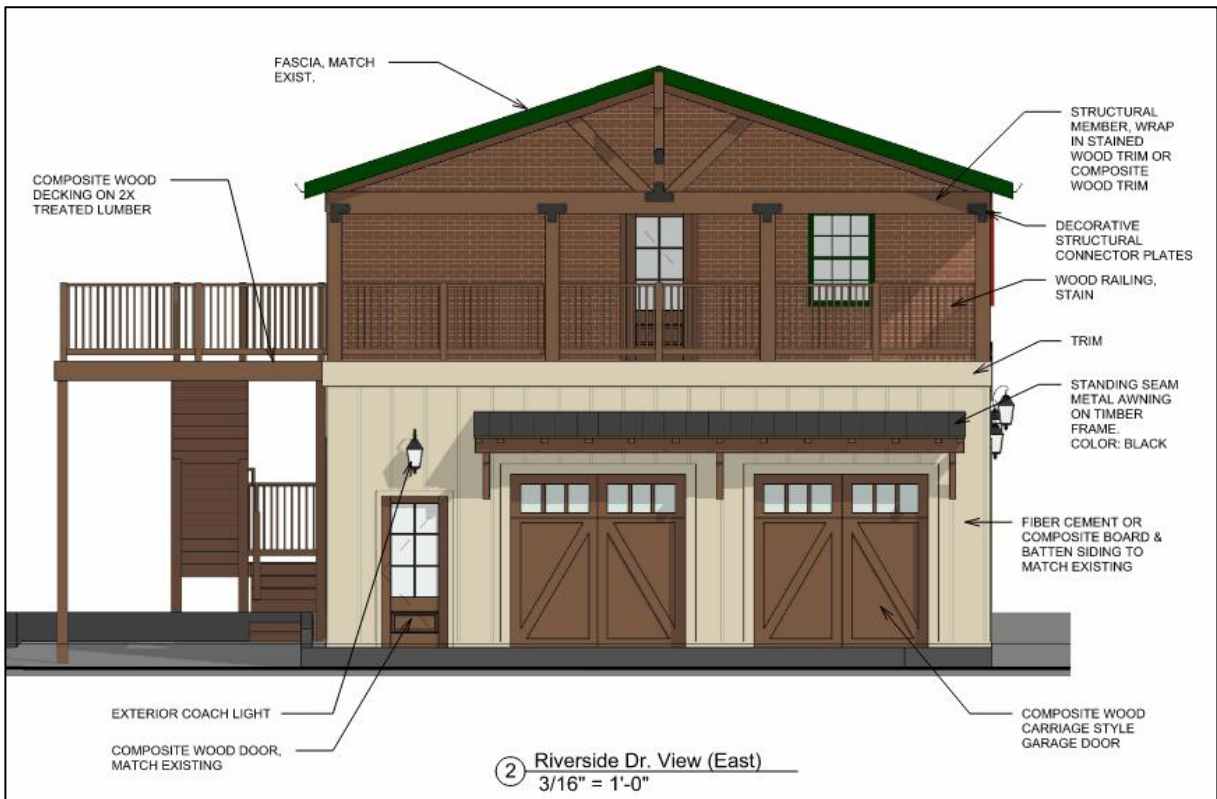


Figure 6: Riverside Drive elevation (east).



Figure 7: Side view elevation (south).



Figure 8: Historic photograph of property pre-Riverside Drive

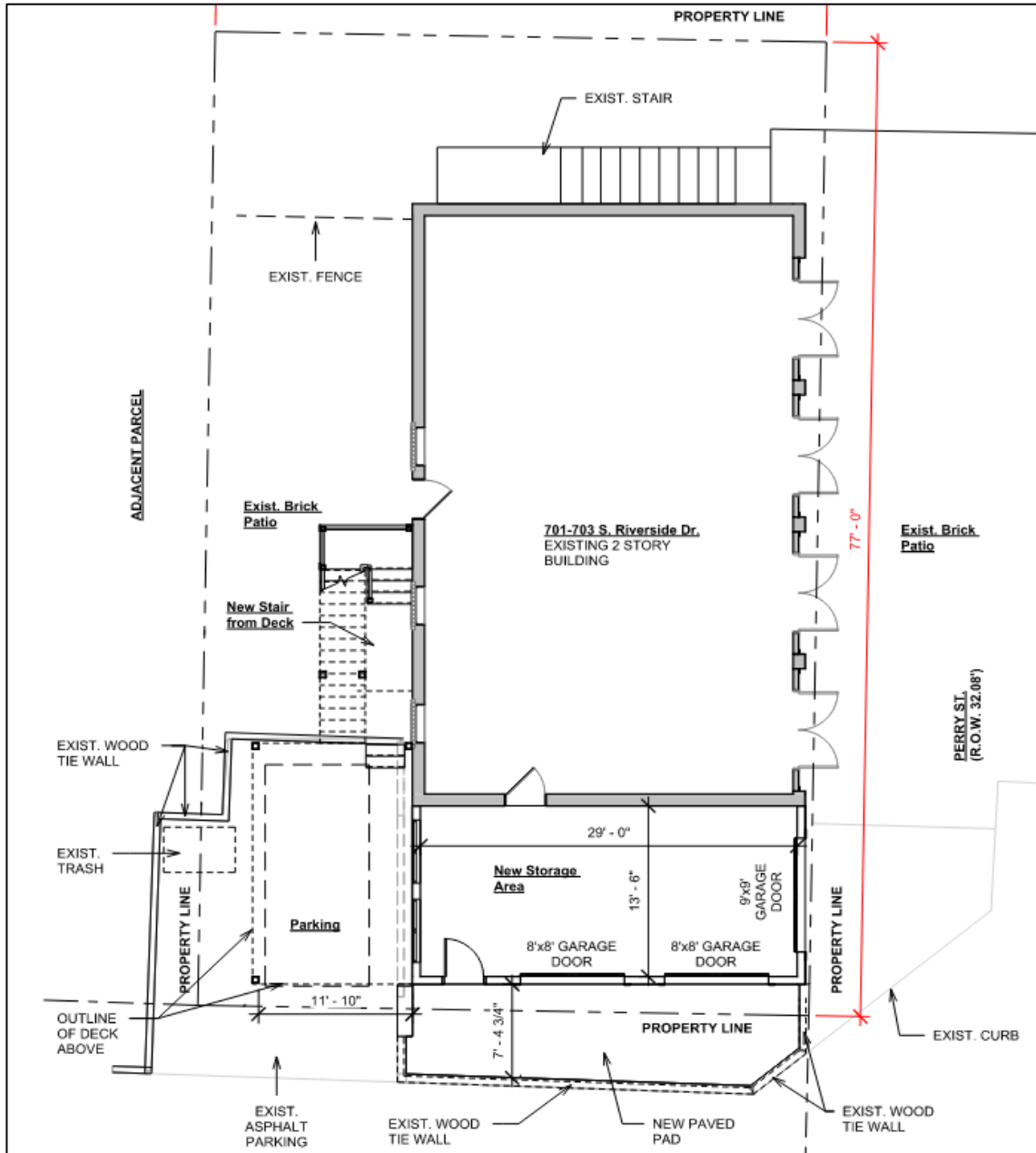


Figure 9: Proposed site plan for addition (lower level).

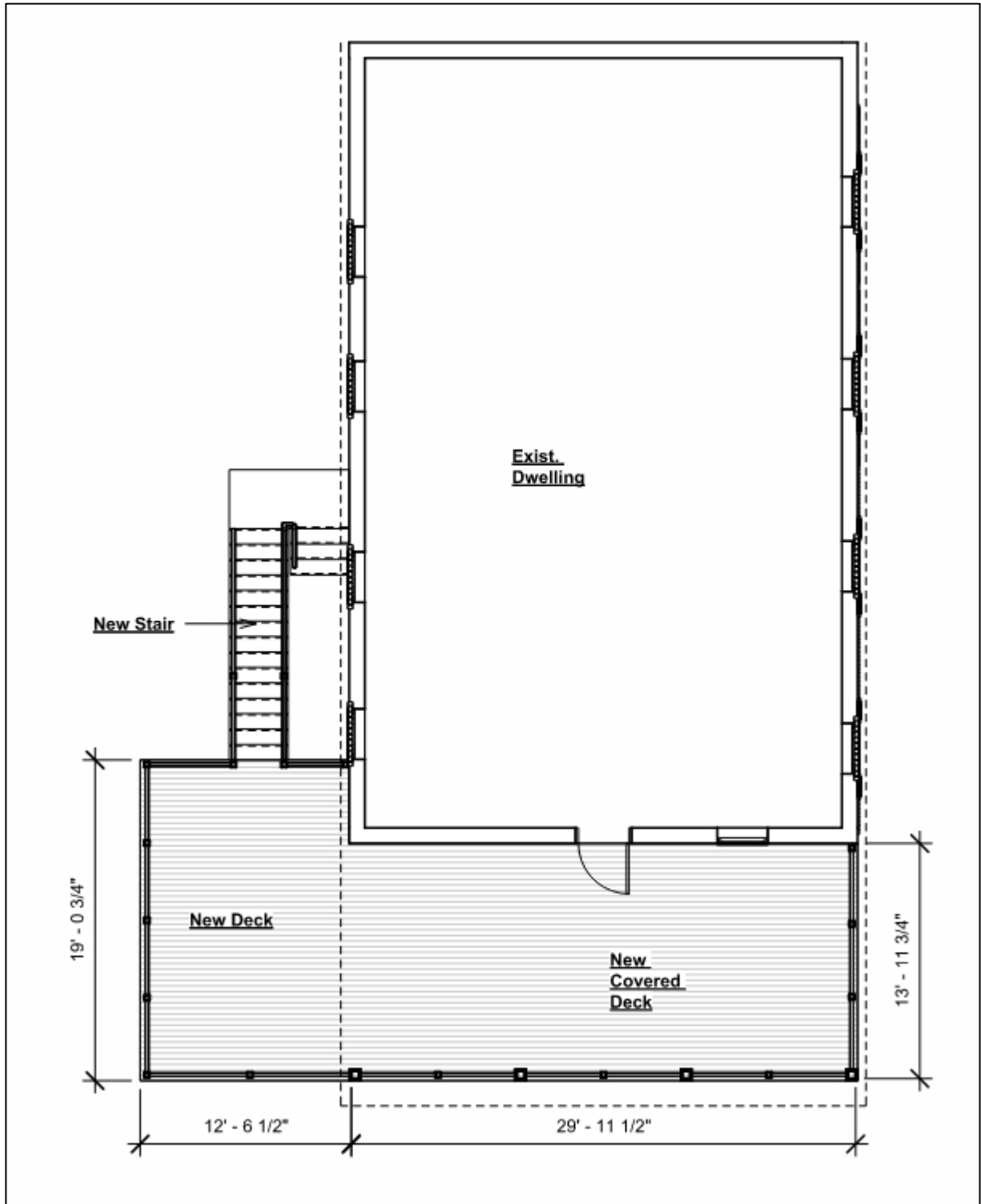


Figure 10: Proposed site plan for addition (upper level).



Figure 10: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____ 701-703 S. Riverside Dr.

BUSINESS NAME (if applicable): _____ Bike Stop Cafe'

APPLICANT:

Jodi Devonshire

(Name)

703 S. Riverside Dr.

(Address)

bikestopcafe@gmail.com 314-620-1491

(Phone & Email Address)

PROPERTY OWNER:

same

(Name)

(Address)

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

- Commons Preservation District Extended Historic Preservation District
 Frenchtown Preservation District Historic Downtown Preservation District
 South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____ 1920

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Two Story masonry structure. Rear wood deck & stair with fenced enclosure
below facing east.

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: _____
- Construct a new structure: _____
- Demolish or move structure: _____
- Construct a new addition: Construct a 1 story addition with covered roof deck
- New sign or awning: _____
- Site work (patio, fence, etc.): _____
- Other (briefly explain): _____

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Remove existing deck and fenced enclosure below. Construct a new 1 story addition to be used as storage for the business with covered roof deck above for the residence. The addition will be clad in board and batten siding (either fiber cement or composite wood) to match material on existing structure. The addition will be used for bike storage and will have an arched top carriage style garage door facing Perry St. (north) to complement the arched brick former carriage door openings on the main structure. To the east (rear of the building) will be two additional carriage style garage doors. These doors will have an awing covering of standing seam metal with a timber frame. There will also be a man door in this elevation of the same style of door that is on the Perry St. elevation. The south elevation of the addition will have aluminum clad window pairs to match the existing building in a green color and will have divided lights in a similar pattern. Above the addition will be a covered roof deck. The roof line will be an extension of the existing building and will have an open timber gable end. The ridge beam will extend past the end of the roof supported by a knee brace and will feature a decorative pulley similar in style to what may have been on the building if it still functioned as a carriage house. The structure of the roof will have black decorative structural plates. The railing will be a bronze aluminum rail with a rounded top cap with square balusters. Adjacent to the addition and covered rooftop patio will be an uncovered deck structure. It will be constructed of treated lumber and will be a composite wood decking. The columns will be stained or wrapped in composite trim. The stair will also be constructed of the same materials. The only revision to the existing building is to remove the coach lights over the existing paired doors along Perry St. and add awnings over each of the doors. The awnings will be a standing seam metal on a stained wood frame, similar to what is proposed over the garage doors to the east.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Jodi Devonshire Date: 4/23/26

Signature of the property owner: Jodi Devonshire Date: 4/23/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00

47'-0"

PROPERTY LINE

EXIST. STAIR

EXIST. FENCE

ADJACENT PARCEL

Exist. Brick Patio

701-703 S. Riverside Dr.
EXISTING 2 STORY BUILDING

77'-0"

Exist. Brick Patio

New Stair from Deck

PERRY ST.
(R.O.W. 32.08')

EXIST. WOOD TIE WALL

EXIST. TRASH

29'-0"

New Storage Area

13'-6"

9'x9' GARAGE DOOR

Parking

8'x8' GARAGE DOOR

8'x8' GARAGE DOOR

PROPERTY LINE

EXIST. CURB

OUTLINE OF DECK ABOVE

11'-10"

PROPERTY LINE

EXIST. ASPHALT PARKING

EXIST. WOOD TIE WALL

NEW PAVED PAD

EXIST. WOOD TIE WALL

ADJACENT PARCEL:
OWNER - CITY OF ST. CHARLES

SOUTH RIVERSIDE DRIVE
(R.O.W. 36.30')

Renovations for:
701-703 S. Riverside Dr. Addition

Project number 25-121

little hills architecture

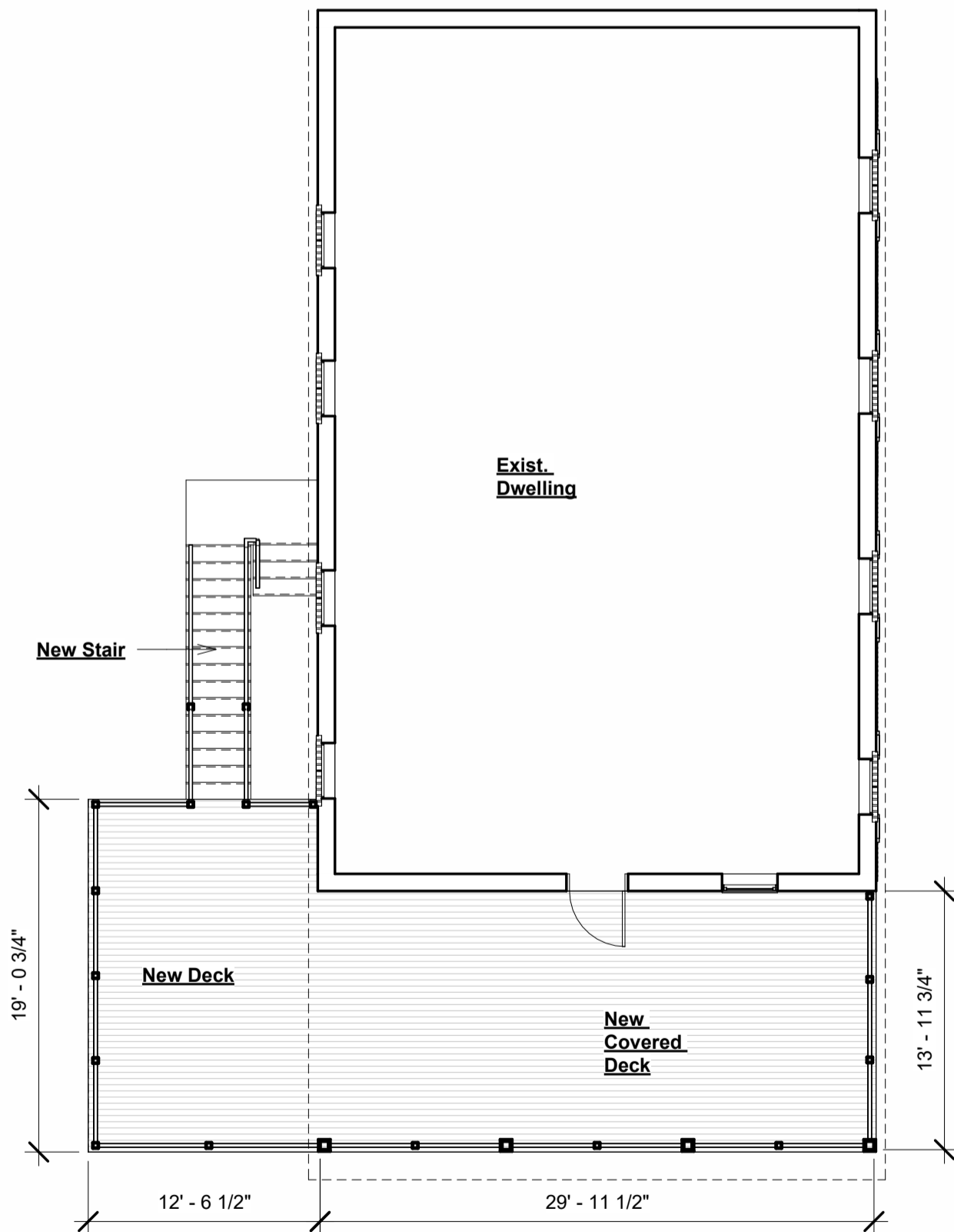
1 Site Plan & First Floor
1/8" = 1'-0"

NORTH

Site Plan	Sheet
Date	5/4/2026
Landmarks Submittal V2	01



② 3D View - Perry St.



① Second Floor
1/8" = 1'-0"

Renovations for:
701-703 S. Riverside Dr. Addition

Project number 25-121

little hills architecture

Second Floor	Sheet
Date 5/4/2026	02
Landmarks Submittal V2	



① 3D View 1



② 3D View 2



④ 3D View 3

Renovations for:
701-703 S. Riverside Dr. Addition

Project number 25-121

little hills architecture

3D Views	Sheet
Date 5/4/2026	03
Landmarks Submittal V2	



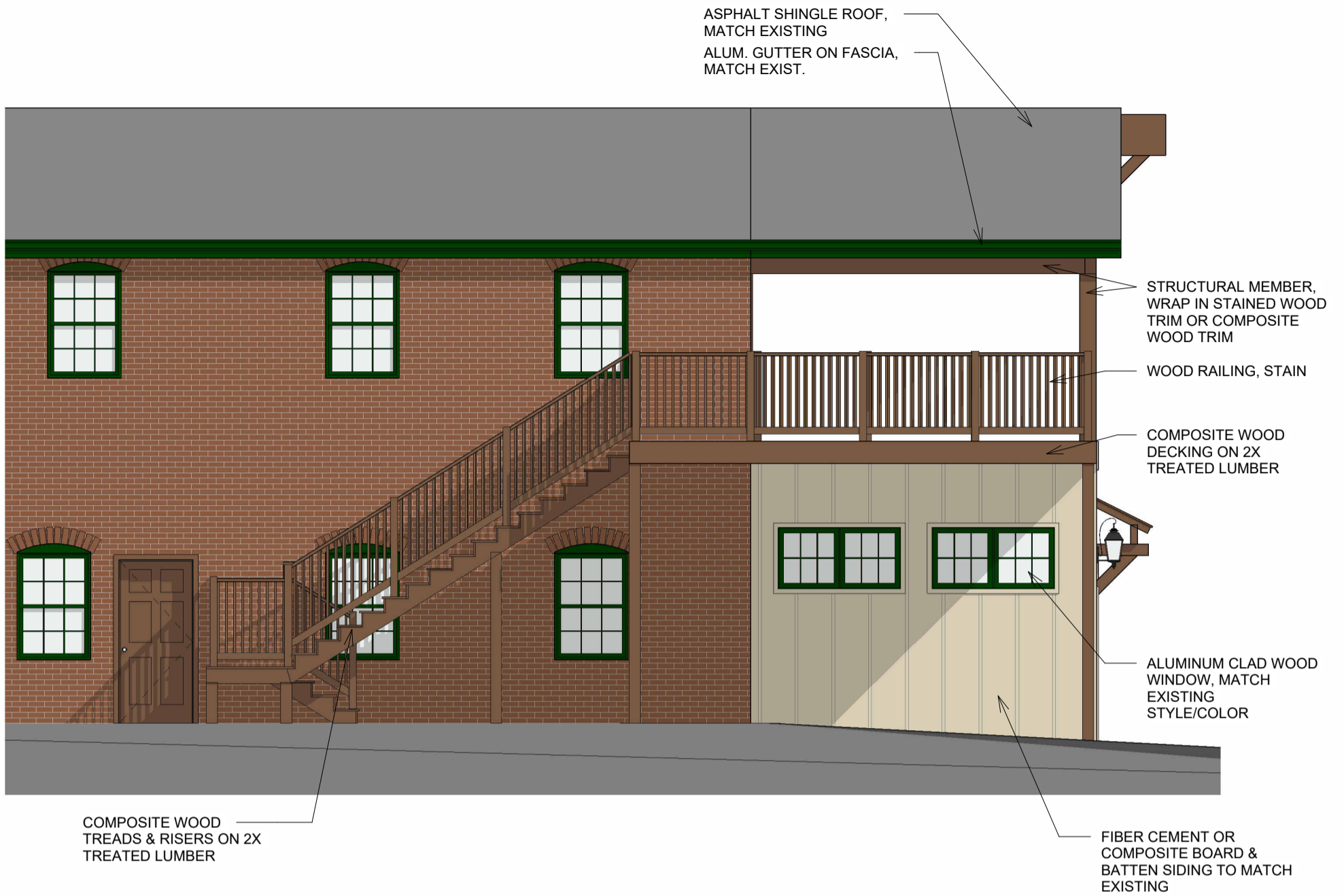
① Perry Street View (North)
 3/16" = 1'-0"

Renovations for:
 701-703 S. Riverside Dr. Addition

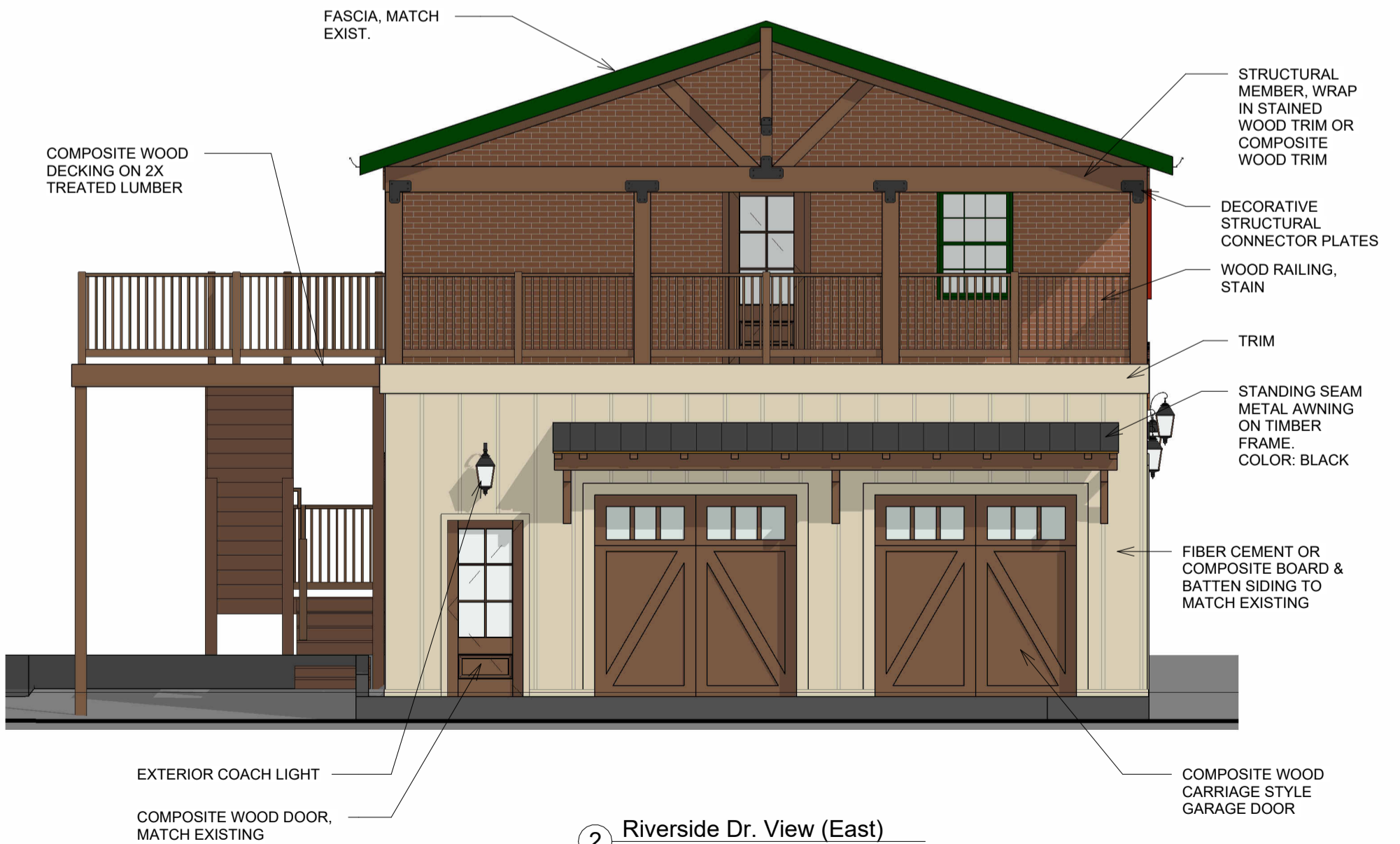
Project number 25-121

little hills architecture

Elevation	Sheet
Date 5/4/2026	04
Landmarks Submittal V2	



① Side View (South)
3/16" = 1'-0"



② Riverside Dr. View (East)
3/16" = 1'-0"

Renovations for:
701-703 S. Riverside Dr. Addition

Project number 25-121

little hills architecture

Elevations	Sheet
Date 5/4/2026	05
Landmarks Submittal V2	



STAFF REPORT
NEW SINGLE-FAMILY HOUSE
702 JACKSON STREET
CASE NO. SP-2026-17

BY TAYLOR MOORE

APPLICANT: Micki Beucke
Little Hills Architecture
602 North Benton Avenue
St. Charles, MO 63301

OWNER: Glenn Reepmeyer
729 Adams Street
St. Charles, MO 63301

ADDRESS/LOCATION: 702 Jackson Street

ZONING: CBD—Central Business District
EHP—Extended Historic Preservation District

USE: Vacant Lot

MEETING DATE: May 18, 2026

BACKGROUND

The subject property is 702 Jackson Street, which is located within the Extended Historic Preservation District. The property is currently vacant and features a retaining wall fronting the sidewalk on the Jackson Street side, and a parking pad off the rear alley. The applicant is requesting approval to construct a new single-family dwelling and detached garage on the property. The proposed new single-family home is envisioned as a two-story, low pitched hip roof, framed structure with Craftsman and American Four-Square architectural characteristics. The home will be approximately 52'1" x 32'1" (1,425 square feet) and feature a large front porch. Attached to this report are renderings, elevations, a site plan, material examples, and photos of the existing property.

New House Design

The front elevation (south) features a symmetrical two-story façade with a nearly full-width covered front porch centered on the entrance. The porch roof is supported by square columns resting on 24"x12" adhered stone veneer that makes up the foundation of the home. Composite or wood railings with square balusters are proposed along the porch, with height compliant with residential code requirements. A central stair provides access to the porch, and the primary entrance consists of a half-light entry door flanked by a 2/2 window and a 1/1 window. Above also features two (2) 1/1 windows, and all windows all projected to be composite clad or vinyl in material. The entire façade is finished with composite lap siding, trim, and asphalt shingles for the roof. One exterior light fixture is proposed adjacent to the entrance.



Figure 1: Front (south) elevation of the proposed new home.

The east side elevation consist primarily of horizontal composite lap siding above a continuous stone veneer foundation base that features basement windows. Fenestration on this elevation includes evenly spaced 1/1 windows on the first-floor, and two (2) additional 1/1 windows on the second-floor. The front porch is visible from this elevation, as is the rear landing and stairs. The rear deck is to be constructed of the same materials matching the front porch detailing. The elevation maintains the hipped asphalt shingle roof form, accompanied by aluminum gutters and downspouts.



Figure 2: East side elevation of the proposed home.

The rear (north) elevation presents a simpler residential façade with a centrally positioned rear entry door accessed by a small landing and stair assembly. The stairs and landing are proposed to utilize composite decking and composite stair treads with solid risers, matching the front porch. The rear façade includes a mixture of first and second floor windows arranged asymmetrically to correspond with the interior floor plan. Three of the windows are the simple 1/1 grid pattern, while one first floor window in the kitchen appears to be casement style. Composite lap siding continues uniformly across this elevation above the stone veneer foundation. Trim, fascia, gutters, and roofing materials remain consistent as the previously mentioned elevations. One exterior light fixture is proposed to be placed above the rear entryway.



Figure 3: Rear (north) elevation of the proposed home.

The west side elevation mirrors the overall material palette and proportions of the east elevation, consisting of composite lap siding above the stone veneer foundation. This elevation features four (4) 1/1 composite/vinyl windows, two (2) of which are on the first floor while the remaining two are on the second. Both the front porch and rear stairs and landing are visible toward the front and rear of the structure. This elevation continues the hipped roof design with asphalt shingles and aluminum fascia, gutters, and downspouts. This specific elevation will not be highly visible due to being oriented towards an adjacent property.

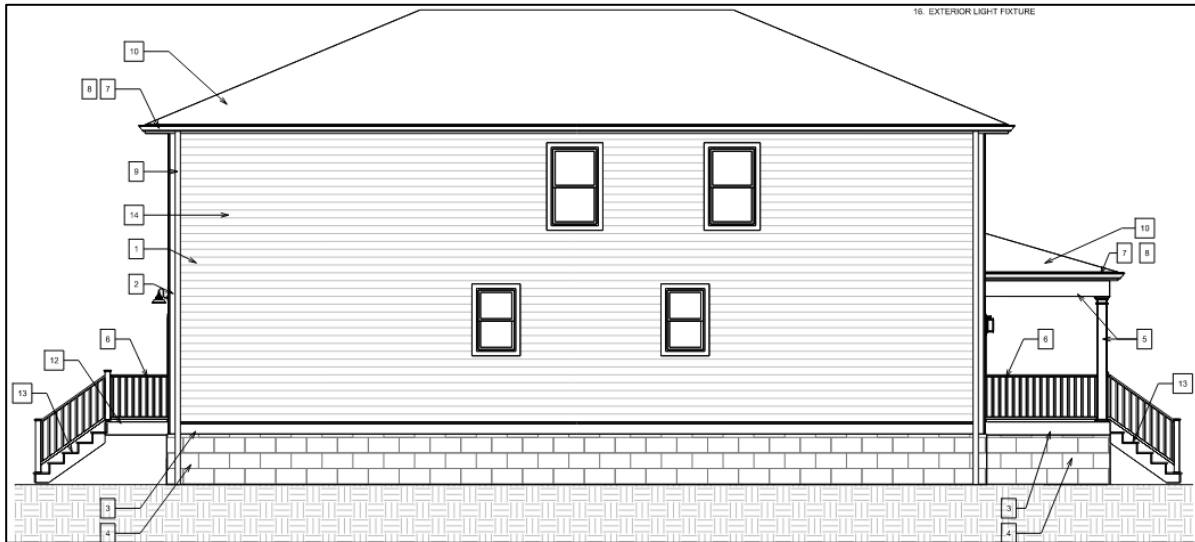


Figure 4: West side elevation of proposed home.

New Garage Design

The proposed new garage will be 26' x 28' (approximately 728 square feet) and will feature 6" composite lap siding that will match the same color of the proposed house. The siding will be the same on all four sides of the structure, and the roof is proposed to be low pitch with asphalt shingles, matching the proposed home. All exterior doors consist of one two-car paneled overhead garage door, and one entry door with a half-light design. The simple design contributes to the cohesive aesthetic proposed for the primary structure. The garage will be setback appropriately from the property lines and the proposed primary structure.

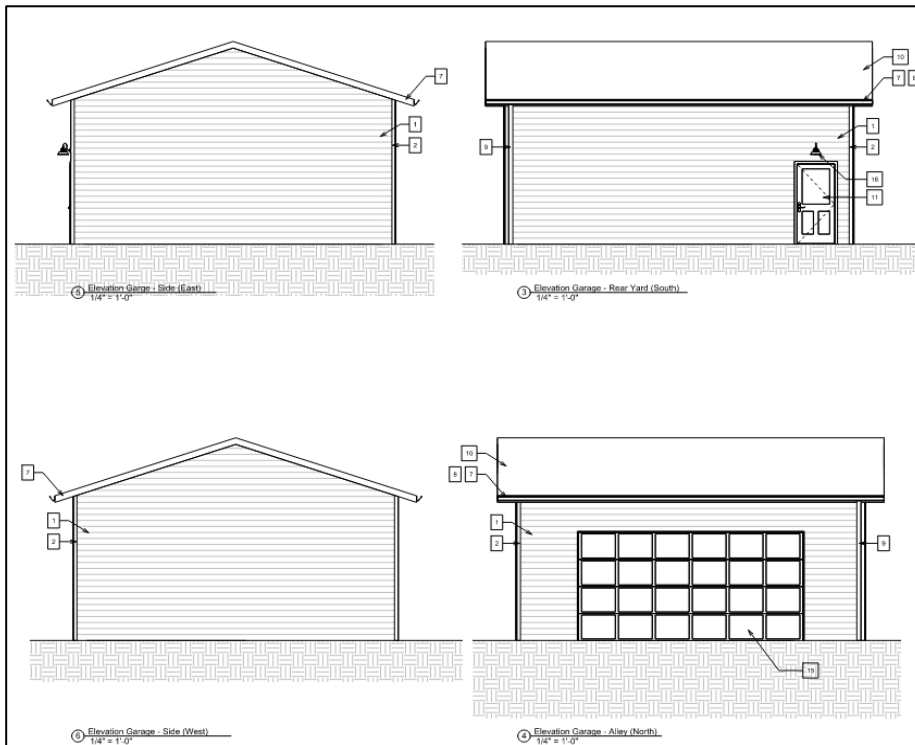


Figure 5: Elevations of proposed detached garage.

APPLICABLE DESIGN GUIDELINES

SECTION 400.340: "EPD" EXTENDED HISTORIC PRESERVATION DISTRICT

D. *Architectural Review For Properties Constructed After 1945.* Every application for a building permit for construction of, additions to, and exterior alterations of, any building in the district shall be submitted to the HLPARB for review and approval. In reviewing applications for a Certificate of Appropriateness, guidelines established in Section [400.1270](#) shall be used.

REVIEW DESIGN GUIDELINES FOR THE EXTENDED HISTORIC DISTRICT

Section 5.1 ARCHITECTURAL DESIGN GUIDELINES

1. Relationship of Buildings to Site
 - b. Site Planning in which setbacks and yards are in excess of zoning restrictions is encouraged to provide an interesting relationship between buildings.
 - d. Without restricting the permissible limits of the applicable zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
2. Relationship of Buildings and Site to Adjoining Area
 - a. Proposed new buildings and buildings to be remodeled adjacent to different architectural styles shall be made more compatible by such means as screens, sight breaks and appropriate selection of building materials.
 - c. Harmony in texture, lines, and masses is required. Monotony shall be avoided.
3. Building Design
 - a. Architectural style is not restricted but historically significant architecture style shall be conserved. Evaluation of the appearance of a project shall be based on the quality of its design and relationship to surroundings.
 - b. Buildings shall have good scale and be in harmonious conformance with permanent neighborhood development.
 - c. Materials
 - (1) Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - (2) Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
 - (3) Materials shall be of durable quality.
 - d. Building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationships to one another.
 - e. Colors shall be harmonious and shall use only compatible accents.
7. Maintenance-Planning and Design Factors
 - a. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
 - b. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

8. Factors for Evaluation

- a. Conformance to ordinances and the Appearance Code.
- d. Architectural character
- e. Attractiveness
- f. Material selection
- g. Harmony and compatibility
- i. Maintenance aspects.

STAFF RECOMMENDATION

The design of the proposed home features a harmonious blend of architectural elements. The simple Craftsman and American Four-Square style are appropriate, as the property is located within a distinct portion of the Extended Historic District that is characterized by various architectural styles and periods of development. The applicant received a variance to decrease the front yard setback from South 7th Street at the April 6, 2026, Board of Adjustment meeting. All other setback requirements for the new developments are compliant for the district. The applicant has stated they intend to keep the existing retaining wall on the Jackson Street frontage, while the parking area off the rear alley will be removed to create space for the new garage. The proposed home and detached garage will seamlessly integrate into the streetscape and enhance the overall character of the neighborhood. Therefore, Staff recommends approval of the new home and garage, as submitted.

Recommended Motions:

Motion to approve a new single-family dwelling and detached rear garage at 702 Jackson Street, as submitted.



Figure 6: Rendering of South and East elevation of proposed new single-family dwelling and garage.

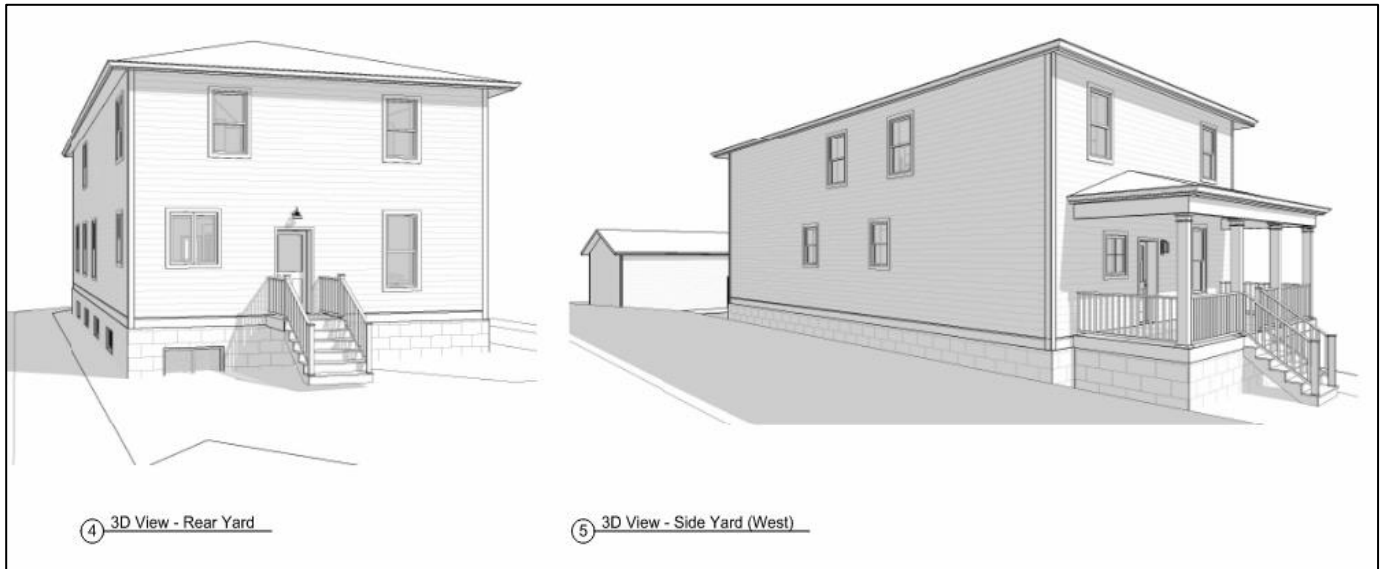


Figure 7: Rendering of North and West elevation of proposed single-family dwelling and garage.



Figure 8: Vacant lot at 702 Jackson Street seen from corner of Jackson and S. 7th.



Figure 9: Vacant lot at 702 Jackson Street seen from S. 7th Street frontage.



Figure 10: Existing structures looking east.



Figure 11: Existing structures looking west.

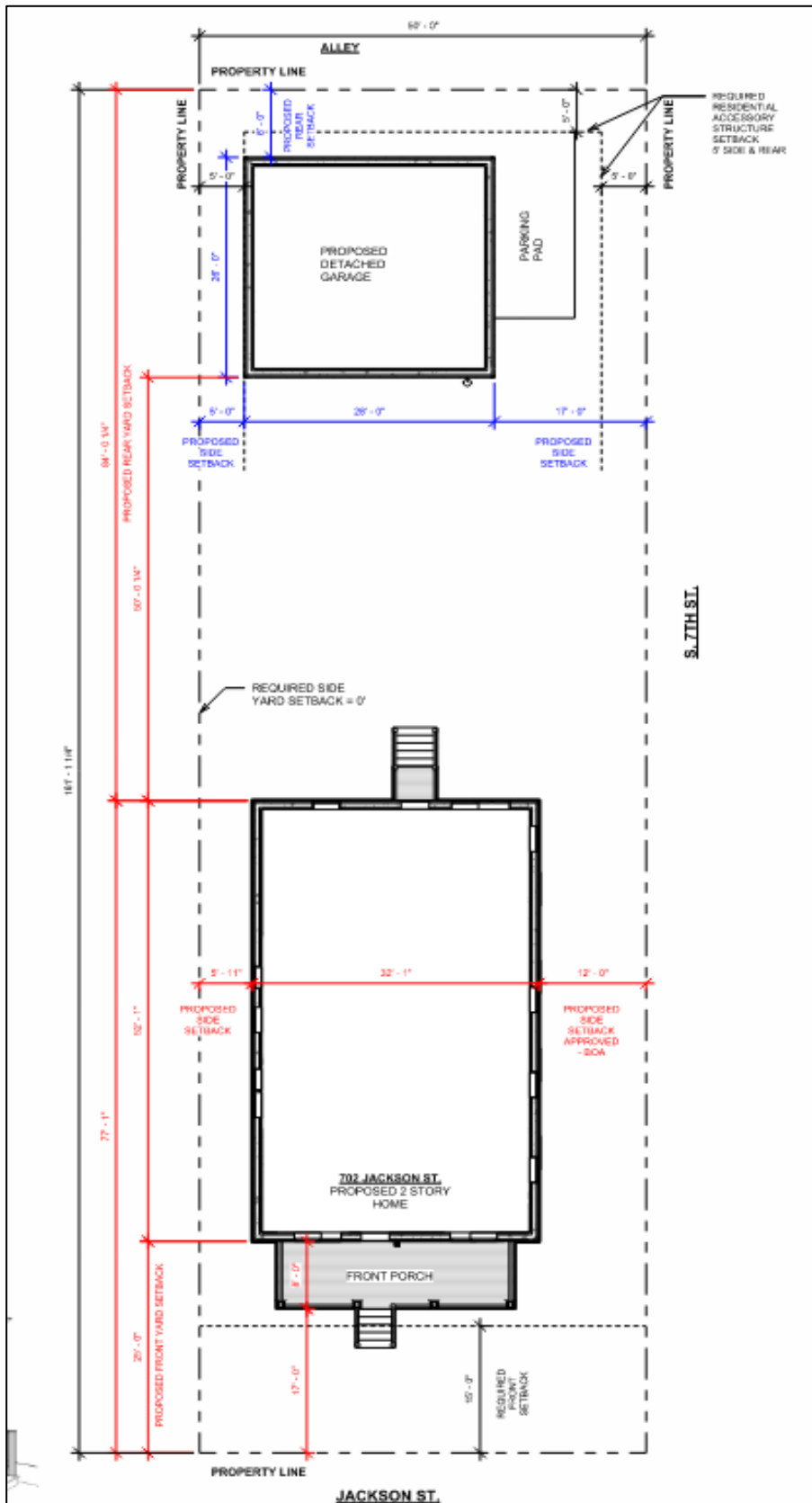


Figure 12: Site plan for proposed new single-family dwelling and garage.



Figure 13: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: _____ 702 Jackson St. _____

BUSINESS NAME (if applicable): _____

APPLICANT:

Micki Beucke, Little Hills Architecture

(Name)

602 N. Benton Ave., St. Charles, MO 63301

(Address)

636-578-9973 micki@littlehillsarchitecture.com

(Phone & Email Address)

PROPERTY OWNER:

Glenn Reepmeyer

(Name)

729 Adams St., St. Charles, MO 63301

(Address)

636-579-9866 glennreep@gmail.com

(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: _____ n/a _____

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

Vacant Lot

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: _____
 - Construct a new structure: New single family home and detached garage
 - Demolish or move structure: _____
 - Construct a new addition: _____
 - New sign or awning: _____
 - Site work (patio, fence, etc.): _____
 - Other (briefly explain): _____
-
-

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

Construct a new 2 story single family home and detached 1 story garage. Style of house to be Craftsman influenced with simple detailing similar to a classic four square style home. The house will be two story with a hip roof structure. It will be clad in composite wood lap siding (smooth finish) and will have an asphalt shingle roof. The exposed foundation wall will be clad in adhered stone veneer of style to reflect a large cut stone foundation (24"x12"). The front porch of the home will have square columns with craftsman trim details. The porch rail will either be wood or composite but will have a rounded Souldard style top rail with square balusters. The windows will be 1/1 either composite clad or vinyl and will have composite trim surrounds.

The garage will be a detached structure at the rear of the lot. It will be a simple one story structure with gable roof of asphalt shingles and will clad in the same lap siding as the house. The garage door will be an embossed panel and will face the alley at the rear of the property.

APPLICATION SUBMITTAL:

Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescivmo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant: Michael A. Baucke Date: 4/21/2026

Signature of the property owner: [Signature] Date: 4/22/2026

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

Exterior Changes & Demolitions: \$50.00
Site Plan (separate application required): \$200.00



602 N. Benton Ave.
St. Charles, MO 63301

636-578-9973

www.littlehillsarchitecture.com

Little Hills Architecture, LLC
Missouri Certificate of Authority:
2021039798



Michelle A. Beucke
Architect COA: Michelle Beucke MO A-200908313

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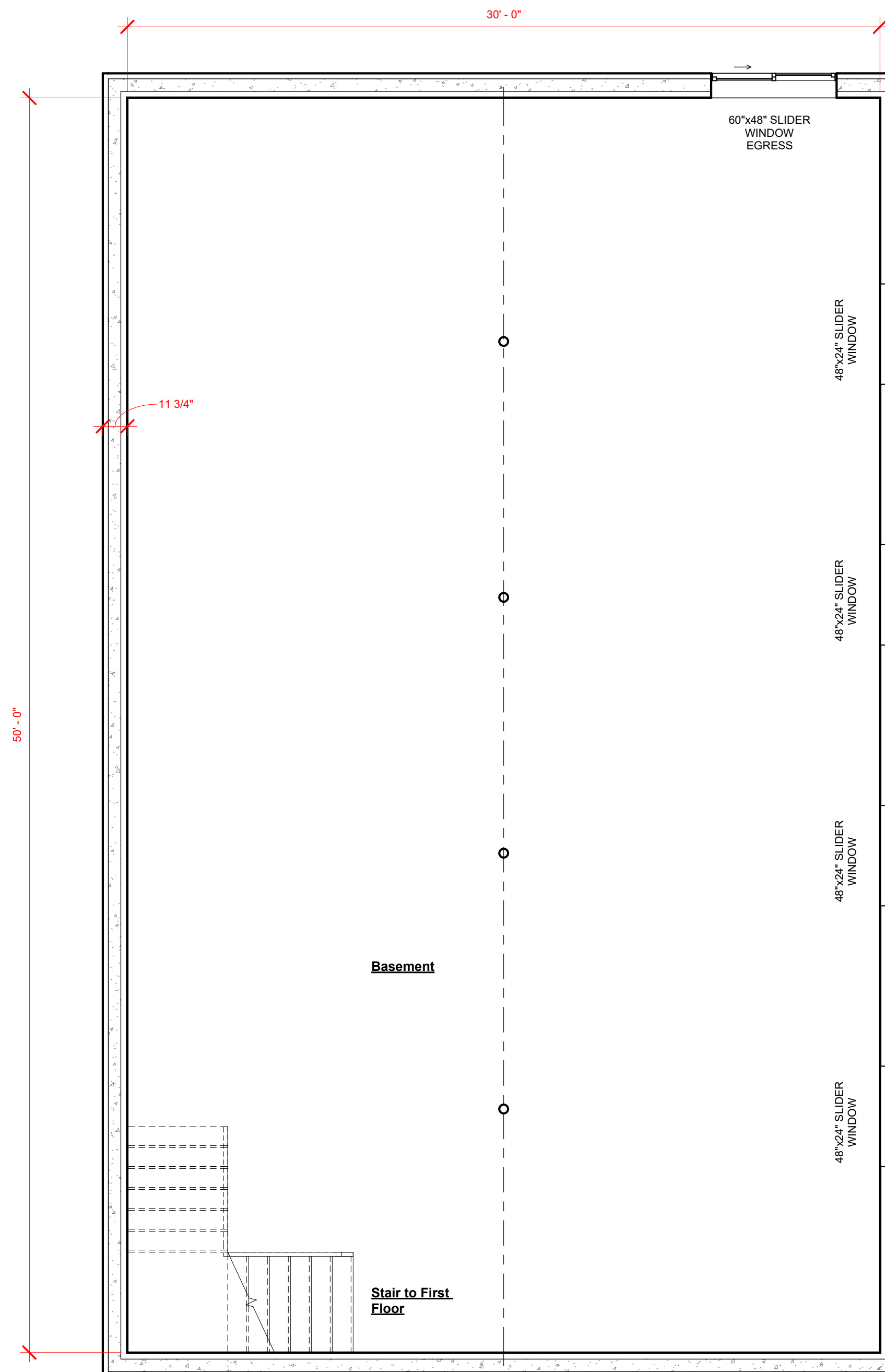
Project Name & Address:

New Home & Garage
702 Jackson St.
St. Charles, MO 63301

Project Number:
26-015

No.	Description	Date
	LANDMARKS SUBMITTAL	4-21-2026

Sheet Title: Basement Plans Issue Date: 4/21/2026	Sheet Number: A1.0
--	------------------------------



1 Basement
1/4" = 1'-0"



Michelle A. Beucke

Architect COA: Michelle Beucke MO A-200908313

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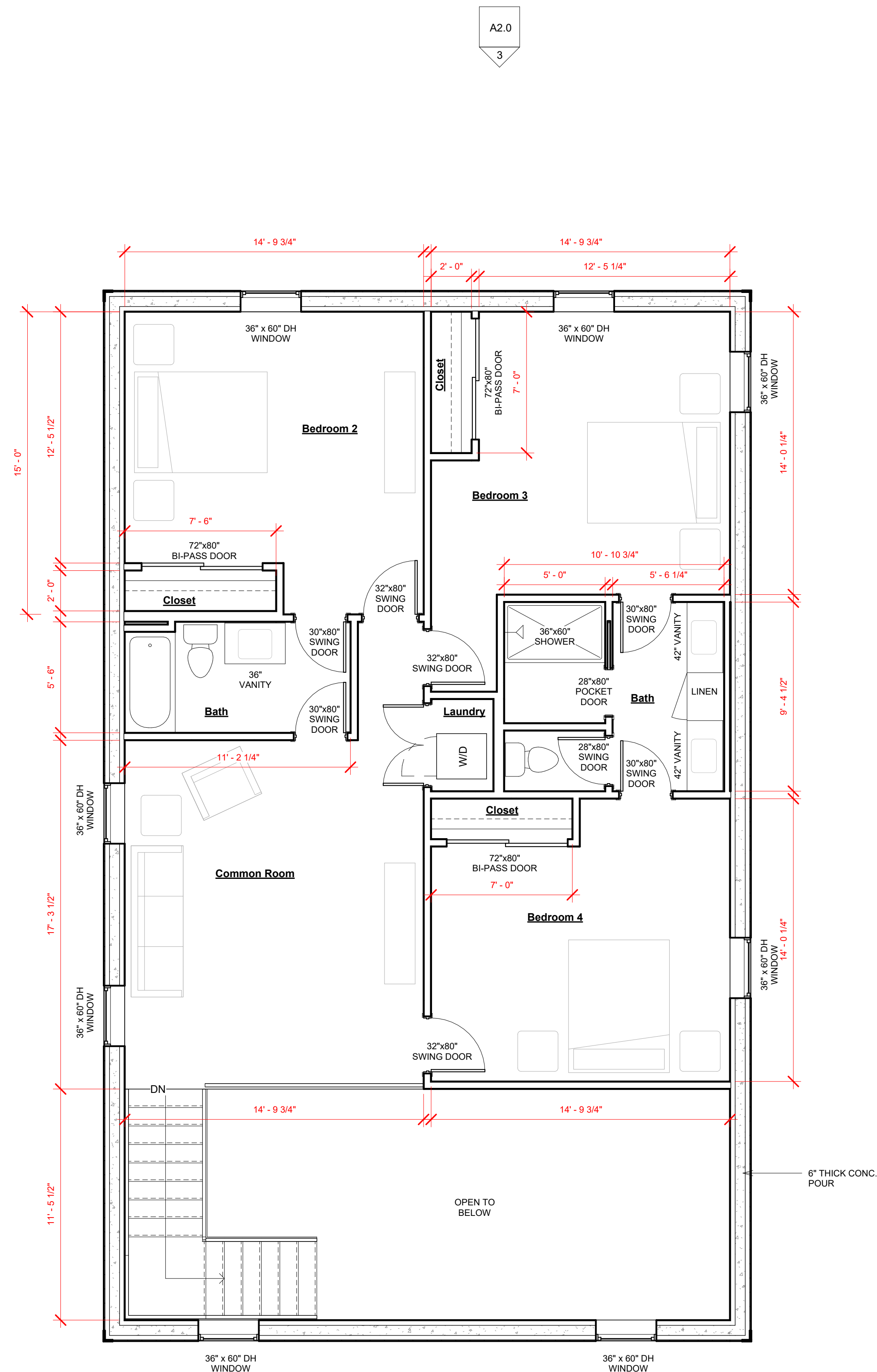
New Home & Garage

702 Jackson St.
St. Charles, MO 63301

Project Name & Address:

Project Number:
26-015

No.	Description	Date
	LANDMARKS SUBMITTAL	4-21-2026



1 Second Floor - Floor Plan
1/4" = 1'-0"

Sheet Title: Second Floor Plans	Sheet Number: A1.2
Issue Date: 4/21/2026	



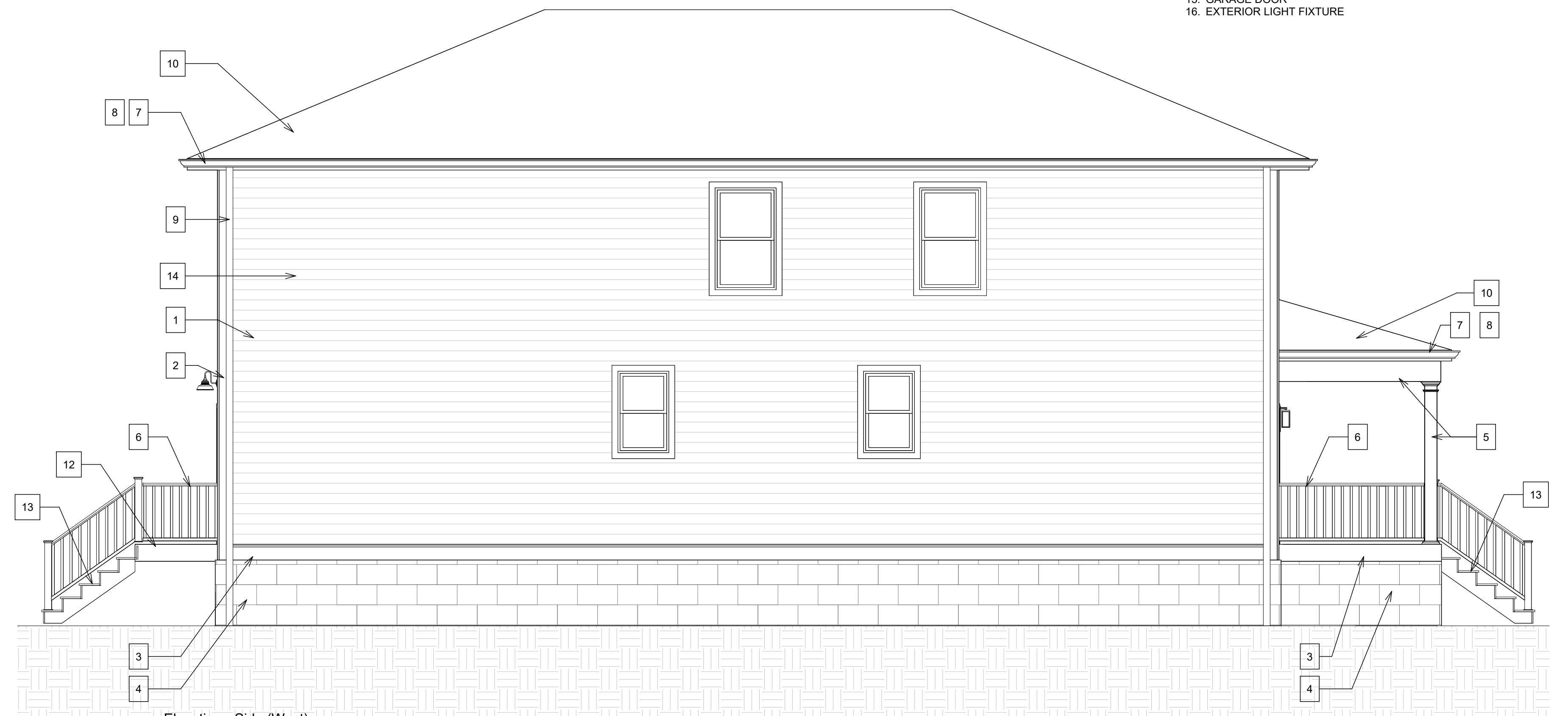
② Elevation - Front (South)
1/4" = 1'-0"



① Elevation - Side (East)
1/4" = 1'-0"



③ Elevation - Rear (North)
1/4" = 1'-0"



④ Elevation - Side (West)
1/4" = 1'-0"

ELEVATION KEYED NOTES

1. COMPOSITE LAP SIDING, LP SMARTSIDE, SMOOTH FINISH, 6" EXPOSURE
2. COMPOSITE CORNER TRIM
3. COMPOSITE OR PVC SKIRT BOARD
4. 24"x12" ADHERED STONE VENEER, MFR: ELDERADO STONE, TYPE: SIERRACUT 24, COLOR: MONUMENT
5. STRUCTURAL MEMBER, WRAP IN TRIM
6. COMPOSITE OR WOOD RAILING, 36" HIGH, ROUNDED SOULARD STYLE TOP RAIL. BALUSTERS TO BE SQUARE AND SPACED NOT GREATER THAN 4" O.C.
7. ALUM. WRAPPED OR PVC FASCIA
8. ALUM. GUTTER
9. DOWNSPOUT
10. ASPHALT SHINGLE ROOF
11. HALF LIGHT DOOR
12. COMPOSITE WOOD DECKING
13. STAIR: COMPOSITE WOOD TREADS & SOLID RISERS ON TREATED STRINGERS, MAX. RISER HEIGHT 7 3/4"; MIN. TREAD DEPTH 10"
14. COMPOSITE CLAD OR VINYL WINDOW, SEE PLAN FOR SIZE/TYPE.
15. GARAGE DOOR
16. EXTERIOR LIGHT FIXTURE



602 N. Benton Ave.
St. Charles, MO 63301

636-578-9973

www.littlehillsarchitecture.com

Little Hills Architecture, LLC
Missouri Certificate of Authority:
2021039798



Michelle A. Beucke

Architect COA: Michelle Beucke MO A-2009008313

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Project Name & Address:

New Home & Garage
702 Jackson St.
St. Charles, MO 63301

Project Number:

26-015

No.	Description	Date
	LANDMARKS SUBMITTAL	4-21-2026

Sheet Title:

Elevations

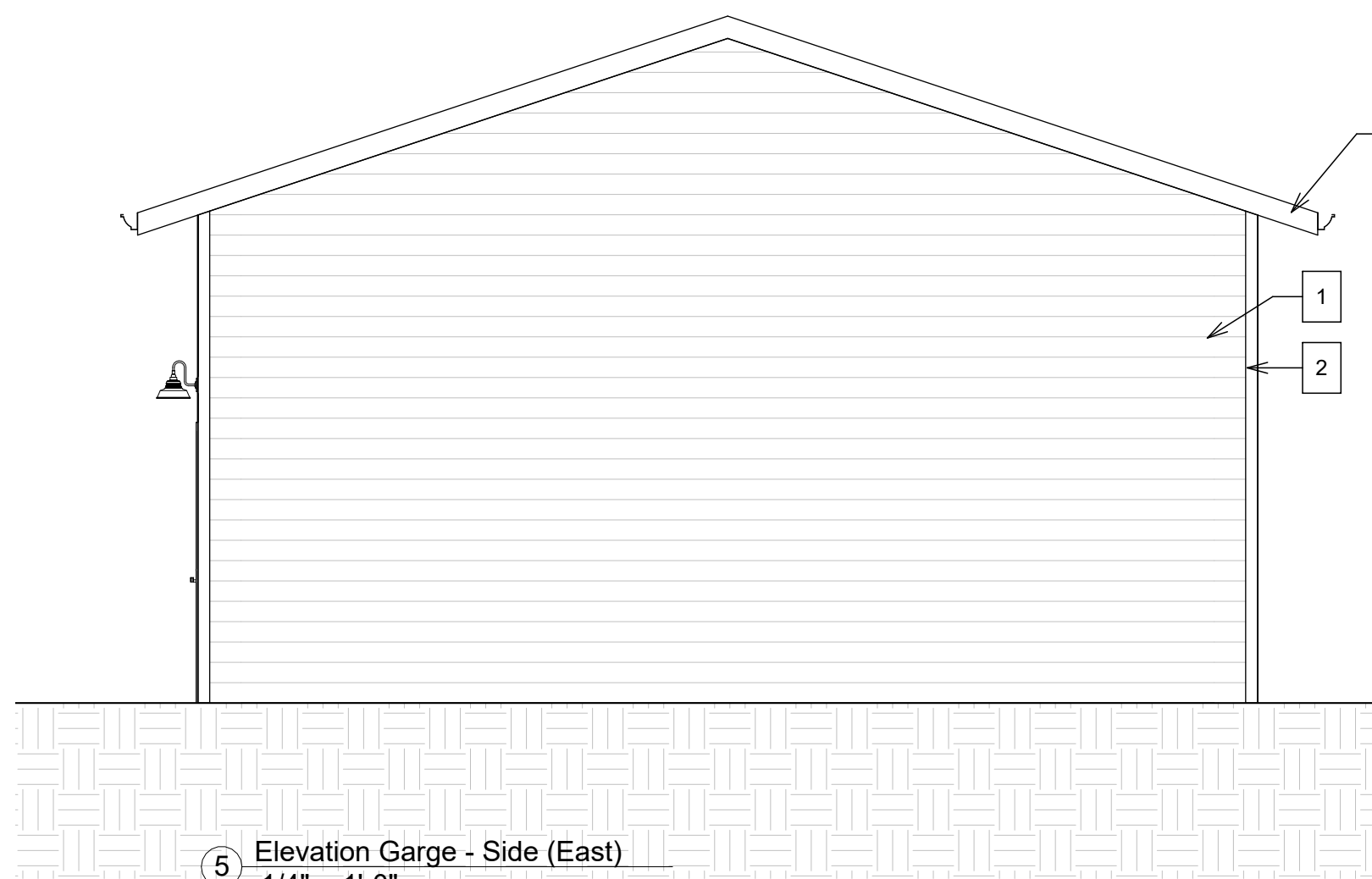
Issue Date:
4/21/2026

Sheet Number:

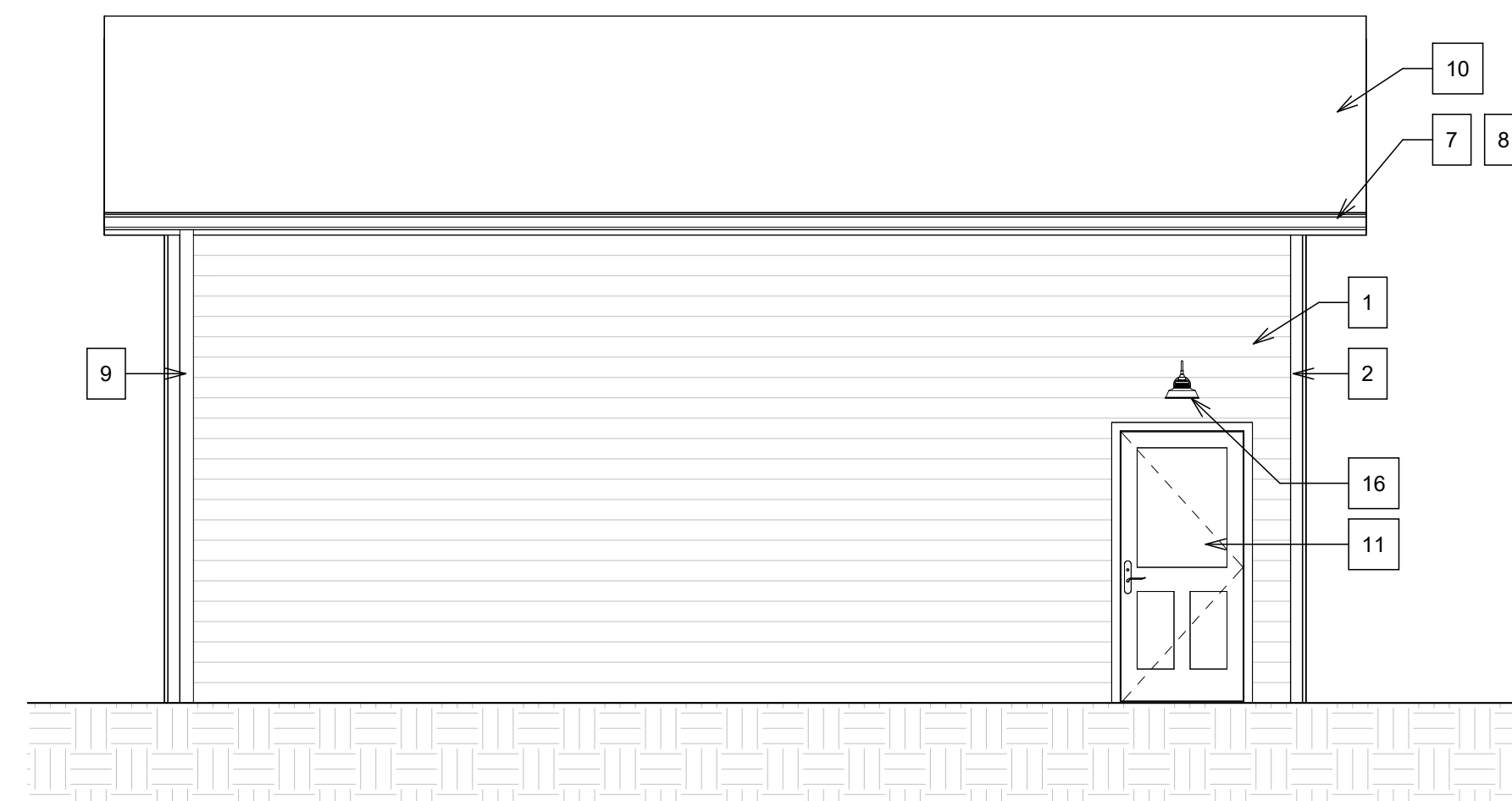
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ELEVATION KEYED NOTES

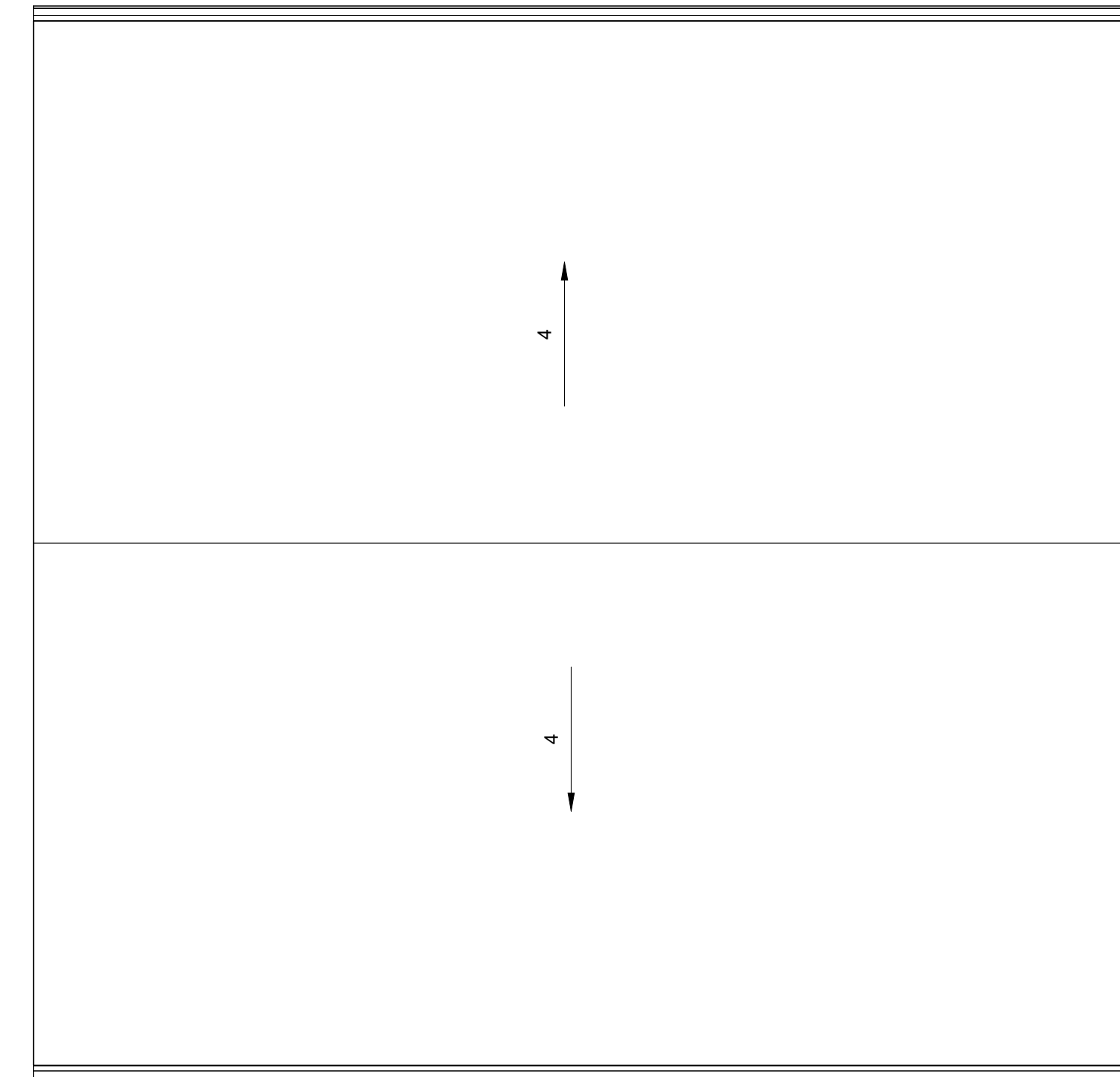
1. COMPOSITE LAP SIDING, LP SMARTSIDE, SMOOTH FINISH, 6" EXPOSURE
2. COMPOSITE CORNER TRIM
3. COMPOSITE OR PVC SKIRT BOARD
4. 24"x12" ADHERED STONE VENEER, MFR: ELDORADO STONE, TYPE: SIERRACUT 24, COLOR: MONUMENT
5. STRUCTURAL MEMBER, WRAP IN TRIM
6. COMPOSITE OR WOOD RAILING, 36" HIGH, ROUNDED SOULARD STYLE TOP RAIL, BALUSTERS TO BE SQUARE AND SPACED NOT GREATER THAN 4" O.C.
7. ALUM. WRAPPED OR PVC FASCIA
8. ALUM. GUTTER
9. DOWNSPOUT
10. ASPHALT SHINGLE ROOF
11. HALF LIGHT DOOR
12. COMPOSITE WOOD DECKING
13. STAIR: COMPOSITE WOOD TREADS & SOLID RISERS ON TREATED STRINGERS, MAX. RISER HEIGHT 7 3/4", MIN. TREAD DEPTH 10"
14. COMPOSITE CLAD OR VINYL WINDOW, SEE PLAN FOR SIZE/TYPE
15. GARAGE DOOR
16. EXTERIOR LIGHT FIXTURE



⑤ Elevation Garage - Side (East)
1/4" = 1'-0"



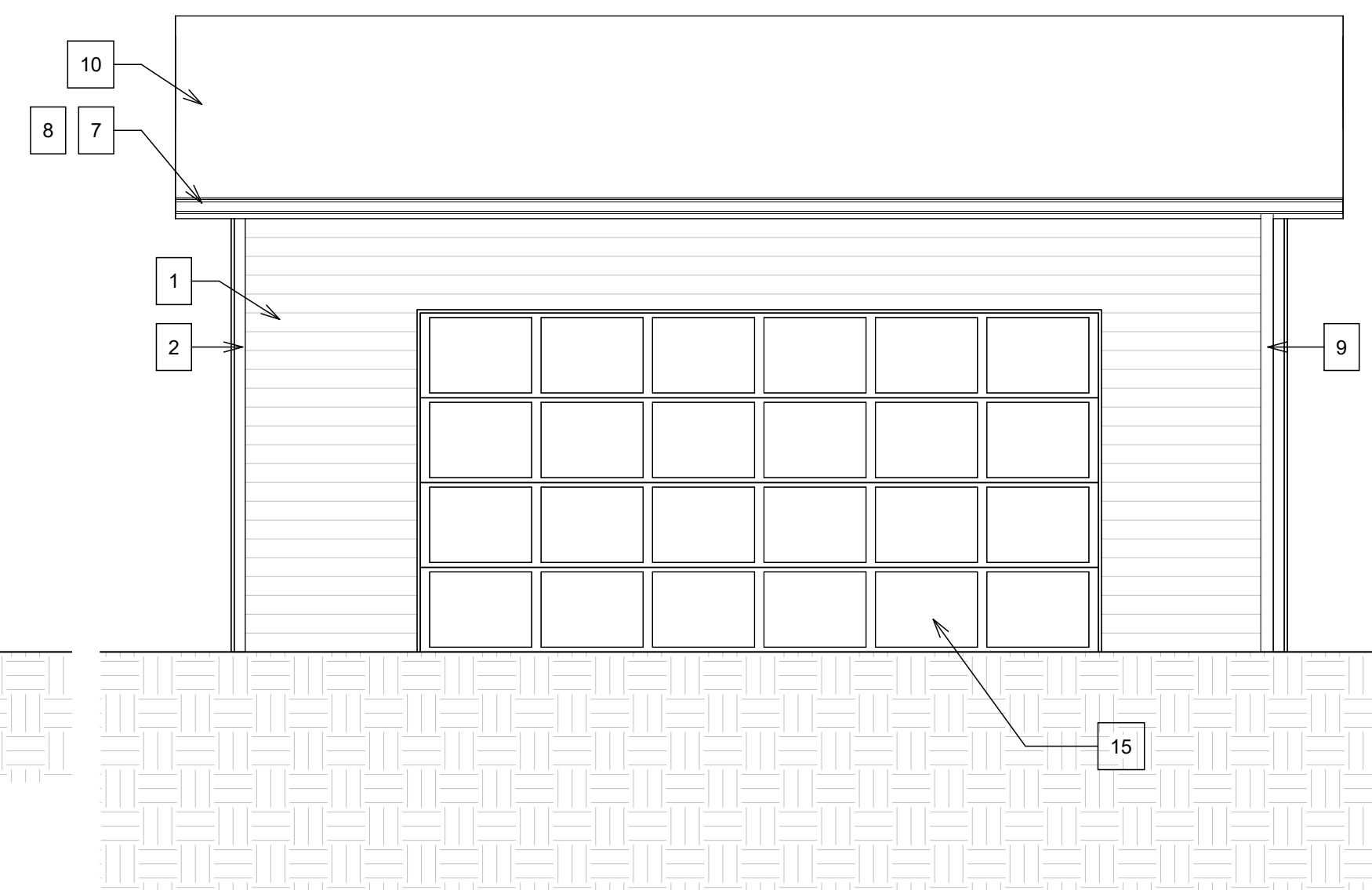
③ Elevation Garage - Rear Yard (South)
1/4" = 1'-0"



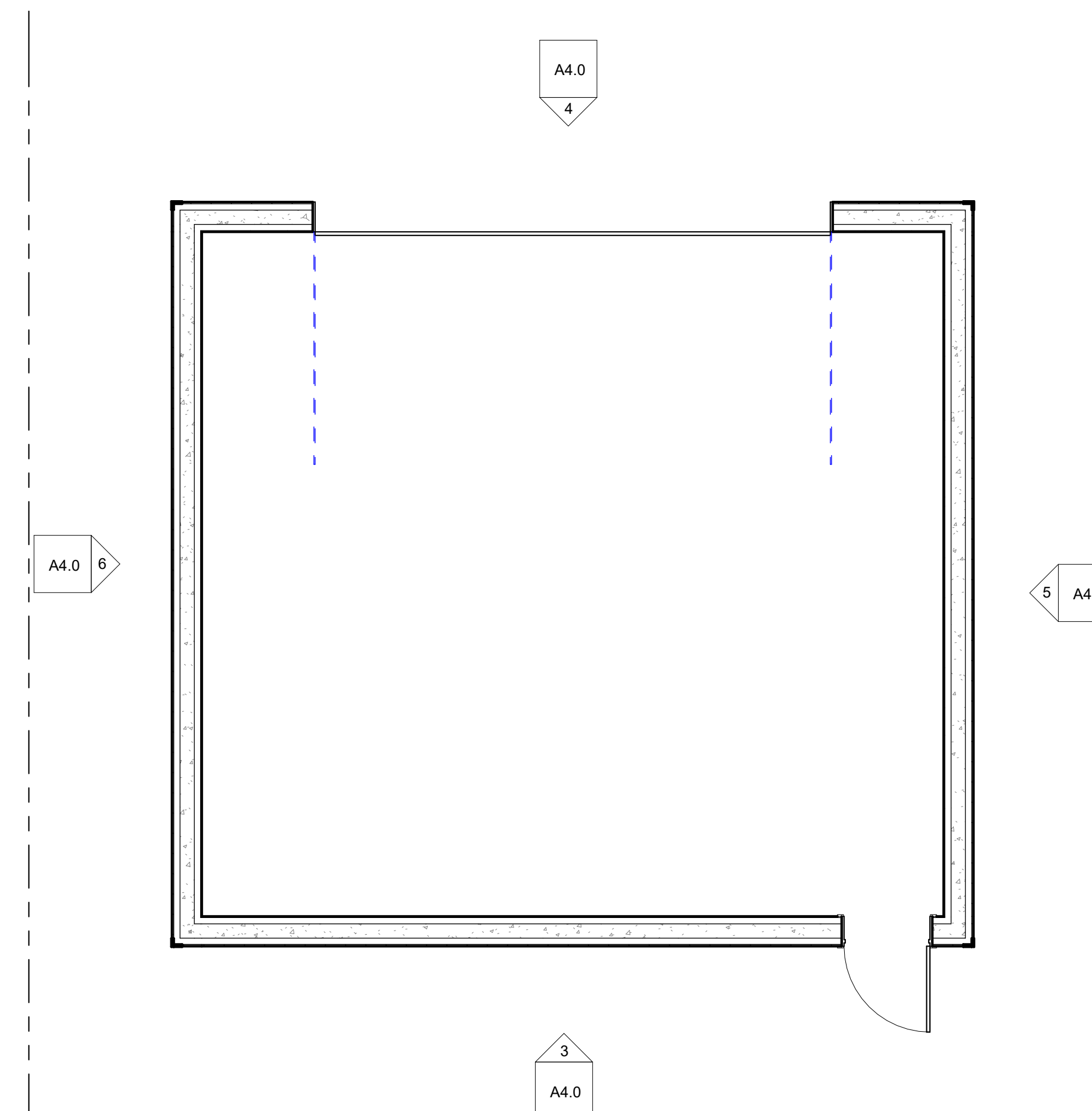
② Roof Plan - Garage
1/4" = 1'-0"



⑥ Elevation Garage - Side (West)
1/4" = 1'-0"



④ Elevation Garage - Alley (North)
1/4" = 1'-0"



① Garage - Floor Plan
1/4" = 1'-0"



602 N. Benton Ave.
St. Charles, MO 63301

636-578-9973

www.littlehillsarchitecture.com

Little Hills Architecture, LLC
Missouri Certificate of Authority:
2021039798



Michelle A. Beucke

Architect COA: Michelle Beucke MO A-200908313

The Professional Architect's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this architect, and this architect expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.

This drawing and details on it are the sole property of the architect and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or part, or for any other purpose or project without the written consent of the architect.

Project Name & Address:

New Home & Garage

702 Jackson St.
St. Charles, MO 63301

Project Number:

26-015

No.	Description	Date
	LANDMARKS SUBMITTAL	4-21-2026

Sheet Title:

Garage - Plans & Elevations

Issue Date:
4/21/2026

Sheet Number:

A4.0



**NOTICE OF RULING BY THE BOARD OF ADJUSTMENT
CASE NO. BOA-2026-04**

Applicant: Micki Beucke
Little Hills Architecture
602 N Benton Ave
St. Charles, Missouri 63301

Property Owner: Glenn Reepmeyer
729 Adams Street
St. Charles, MO 63301

Location: 702 Jackson Street
Ward 2

On April 6, 2026 the City of St. Charles Board of Adjustment made the following motion as it pertains to your request:

A request to decrease the front yard setback on the S 7th Street frontage from fifteen (15) feet to twelve (12) feet as regulated in Section 400.270(D)(4)(a) of the City of St. Charles Code of Ordinances.

The above motion **PASSED** by a vote of 5 in favor, 0 opposed.

This decision has been filed in the office of the Community Development Department, which serves as the office of the Board of Adjustment.

An appeal of any action, decision, ruling, judgment or order of the Board of Adjustment may be taken by any person, or any taxpayer, officer, department, board or official of the city, to the Circuit Court of St. Charles County (§400.1110).

If you have any questions regarding the Board's decision in this matter, please contact the Department of Community Development at (636) 949-3222.

Sincerely,

Madelyn P. Brown
Planner
Community Development Department



AGENDA ITEM #6G

STAFF REPORT
NEW GARAGE
1200 NORTH 3rd STREET
CASE NO. SP-2026-18

BY TAYLOR MOORE

APPLICANT: Dennis Sharp
700 Mill Street
Arthur, IL 61911

OWNER: Scott Drzewiecki
275 Quiet Meadows Drive
Linn Creek, MO 65052

ADDRESS/LOCATION: 1200 North 3rd Street

ZONING: R-1E—Single-Family Residential District
FPD—Frenchtown Preservation District

USE: Single-Family Residential

MEETING DATE: May 18, 2026

BACKGROUND

Situated on a corner lot in the Frenchtown Preservation District, the subject property is 1200 North Third Street. According to the applicant, the 1½-story, side-gabled, frame vernacular house was built in 1901. The house is considered a contributing resource to both the Frenchtown National and Local Historic District. The applicant is requesting approval to construct a new 1½-story detached 24 x 36 (864 square feet) garage in the rear of the property. Accompanying the application are elevations of the proposed structure, a site plan, and photographs of the existing property.

Garage Elevations:

The front (east) garage elevation is what will be oriented towards the alleyway at the rear of the property. This elevation includes two (2) paneled, metal, white overhead garage doors (one 1-car, one two-car), separated by LP Smart lap horizontal wood siding to be painted to match the primary structure. On the right side of the elevation the covered patio space is slightly visible. A slightly off-centered dormer projects from the roofline above the garage bays contains a double-hung window, providing visual interest and breaking up the mass of the roofline. The submitted plans also notes that the roof shingles, doors, windows, gutters, and trim are proposed to match the existing residence.

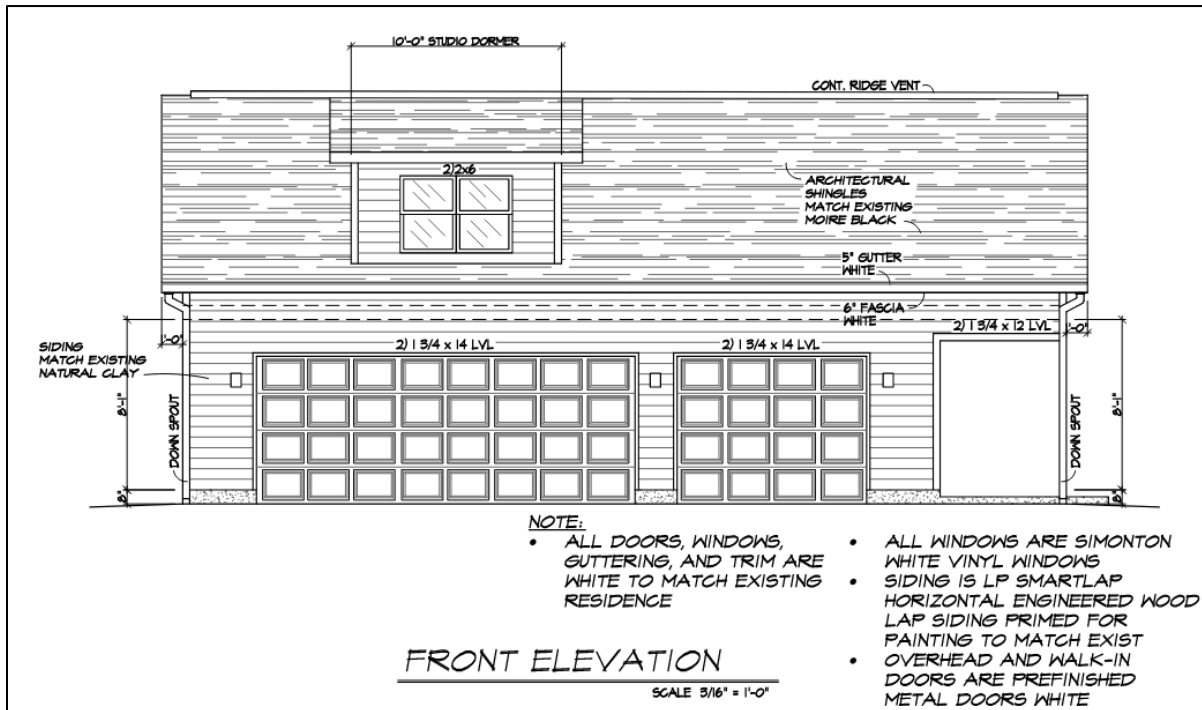


Figure 1: Front elevation of proposed new garage.

The right (north) elevation predominately features the covered patio area on the first floor. Other features include the same vinyl horizontal siding, a side entry door, and a single upper-story window aligned beneath the gable roofline. The materials proposed for this elevation also match the existing residence to maintain a cohesive appearance across the property.

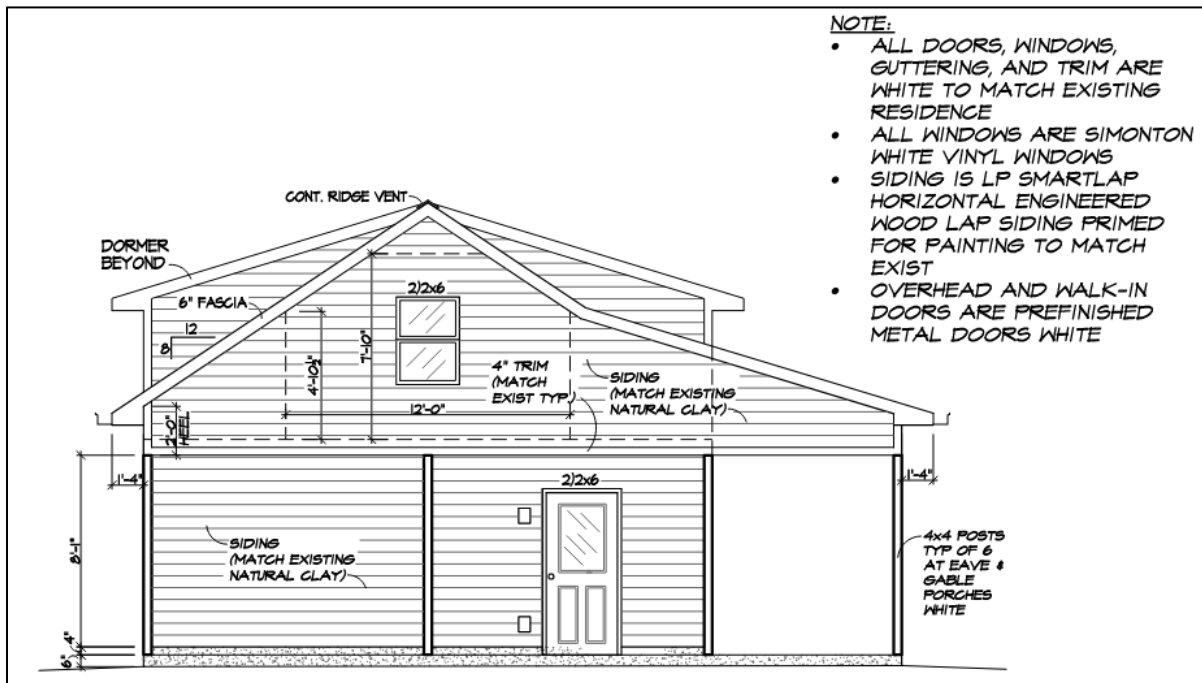


Figure 2: Right side elevation of proposed new garage.

The back (west) elevation is oriented towards the rear of the primary structure and the rear yard of the property. From left to right, it features a portion of the covered patio, a single overhead paneled garage door with a row of windows on the top panel, two double hung windows (one within the upper-story dormer and one adjacent to the garage door), and the same vertical siding seen throughout the structure. The materials utilized here are once again to be compatible with the primary structure to have a cohesive appearance.

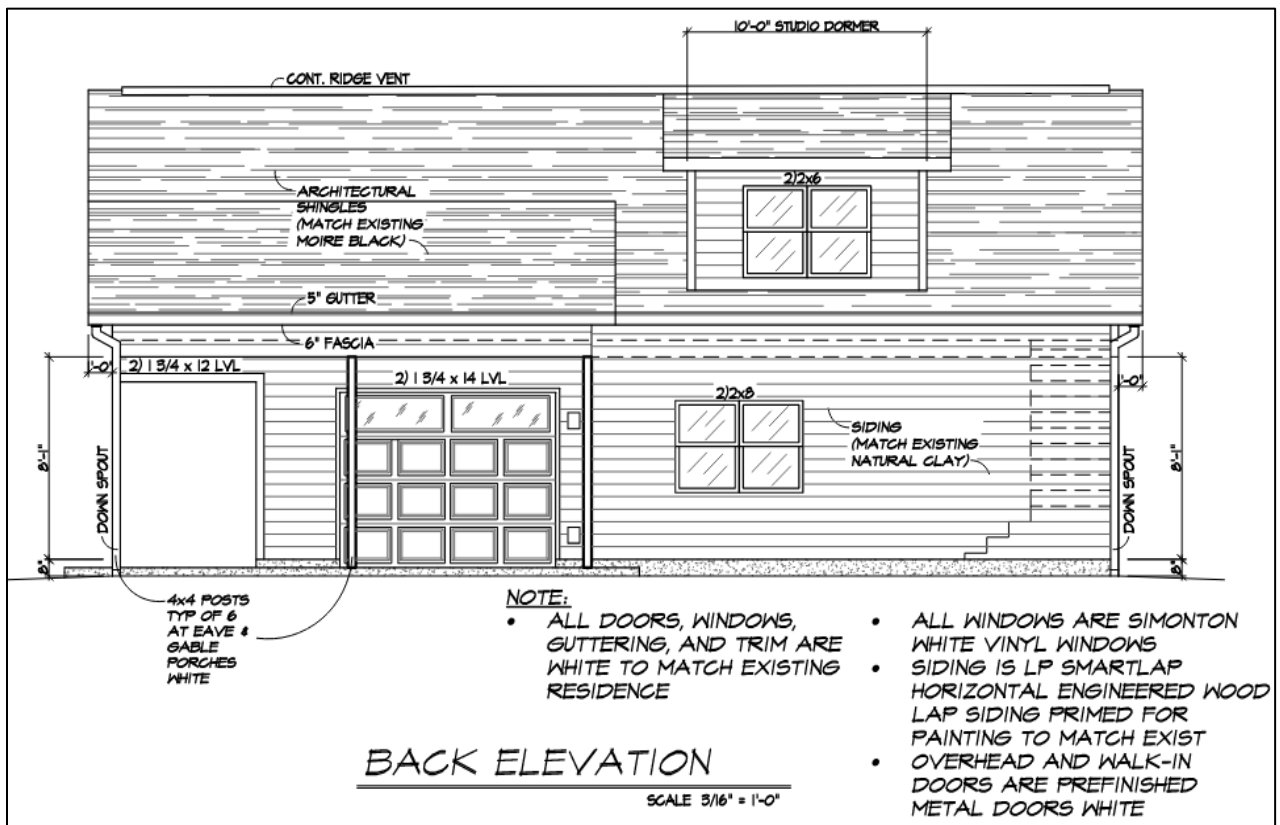


Figure 3: Back elevation of proposed new garage.

The left (south) elevation is the least detailed of the four. It features another side gabled view of the structure, and one central window on the upper floor. This elevation will also feature the same vinyl siding, roofing, and window material as the other three elevations. The second floor of this elevation will be visible from Bayard Street, while the first floor will be screened by an existing fence.

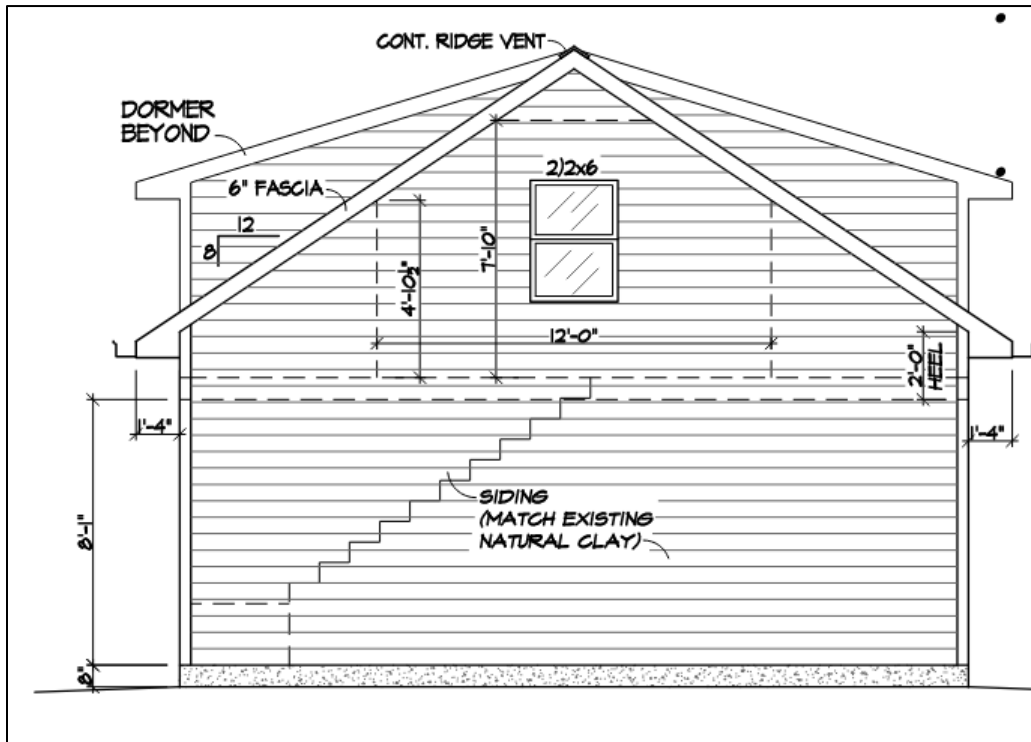


Figure 4: Left side elevation of proposed new garage.

APPLICABLE DESIGN GUIDELINES

SECTION 400.360: "FPD" FRENCHTOWN PRESERVATION DISTRICT

C. Architectural Review for Contributing Properties.

1. No person shall alter the exterior appearance of any building without first obtaining a certificate of appropriateness from the Historic Landmarks Preservation and Architectural Review Board (HLPARB). In reviewing applications for a certificate of appropriateness, design guidelines adopted for the district by City Council shall be used.
2. Every application for a building permit for construction of, additions to and exterior alterations of any contributing building or structure and for every new structure shall be submitted to HLPARB for issuance of a certificate of appropriateness. The painting of buildings does not require a Certificate of Appropriateness when colors listed on the approved color chart are utilized.

ARCHITECTURAL DESIGN GUIDELINES FOR THE FRENCHTOWN PRESERVATION DISTRICT

Chapter V: Guidelines for New Construction and Alterations to Non-Contributing Structures

Building Form, Mass and Scale

- 5.6 A new building shall appear similar in height to those seen traditionally in the district.
 - a. Historically, most buildings were one and two stories in height.
 - b. The front building shall not exceed two stories.
- 5.9 A secondary structure shall be similar in form, mass, and scale to secondary structures traditionally seen in the district.

- a. A garage, for example, should reflect traditional secondary structure design despite their planned use.

Roofs

- 5.10 Use a roof form similar to that used historically.
- 5.12 Match a roof on a secondary structure with the roof form of the primary structure.
- 5.14 The roof must appear to be in the same manner as that of historic structures.
 - a. Use materials like those used historically. Low profile asphalt shingles, for example, are appropriate in place of wood shingles.
 - b. Maintain a similar color. Gray, black, and brown are typical of many historic roof materials. Consider the neighborhood for context for color.

Materials

- 5.21 Materials shall appear similar in character to those used historically.
 - a. Building materials shall appear compatible to neighboring houses.
 - b. Substitute materials may be used for individual building elements but shall not be used for the primary building material. For instance, brick must be in similar size to that used historically.
 - c. New materials must have demonstrated durability in this setting.
- 5.22 Simple materials finishes are encouraged.

STAFF RECOMMENDATION

The new garage is proposed to be 864 sq. ft., which is smaller than the primary structure. The placement of the proposed structure is compliant with all zoning setbacks for the district, and the materials and design are compatible with the existing dwelling on the property and surrounding neighborhood. The applicant has stated the existing 6' fence on the property will be modified on the alley side to join the corners of each side of the proposed garage to ensure the yard remains fenced in. The applicant has also stated the upper story of the structure will be for storage only, as dwelling units of any kind are not permitted within accessory structures. Staff has recommended a condition be placed with this approval in order to ensure this compliance.

The applicant has chosen materials that match the existing primary structure on the property. This will provide a cohesive appearance between the two structures which will be highly visible due to the corner lot. The new garage will provide covered parking for a property where there currently is none. Staff finds the proposal to be consistent with the guidelines for the district and the City's Zoning Code. Therefore, Staff recommends approval of the project, subject to the following condition:

1. The upper story of the proposed new garage shall not be utilized as a dwelling unit.

Recommended Motion:

Motion to approve the construction of a new detached garage at 1200 North 3rd Street, as submitted.



Figure 5: Subject primary structure on the property.



Figure 6: Rear of primary structure seen from back yard.

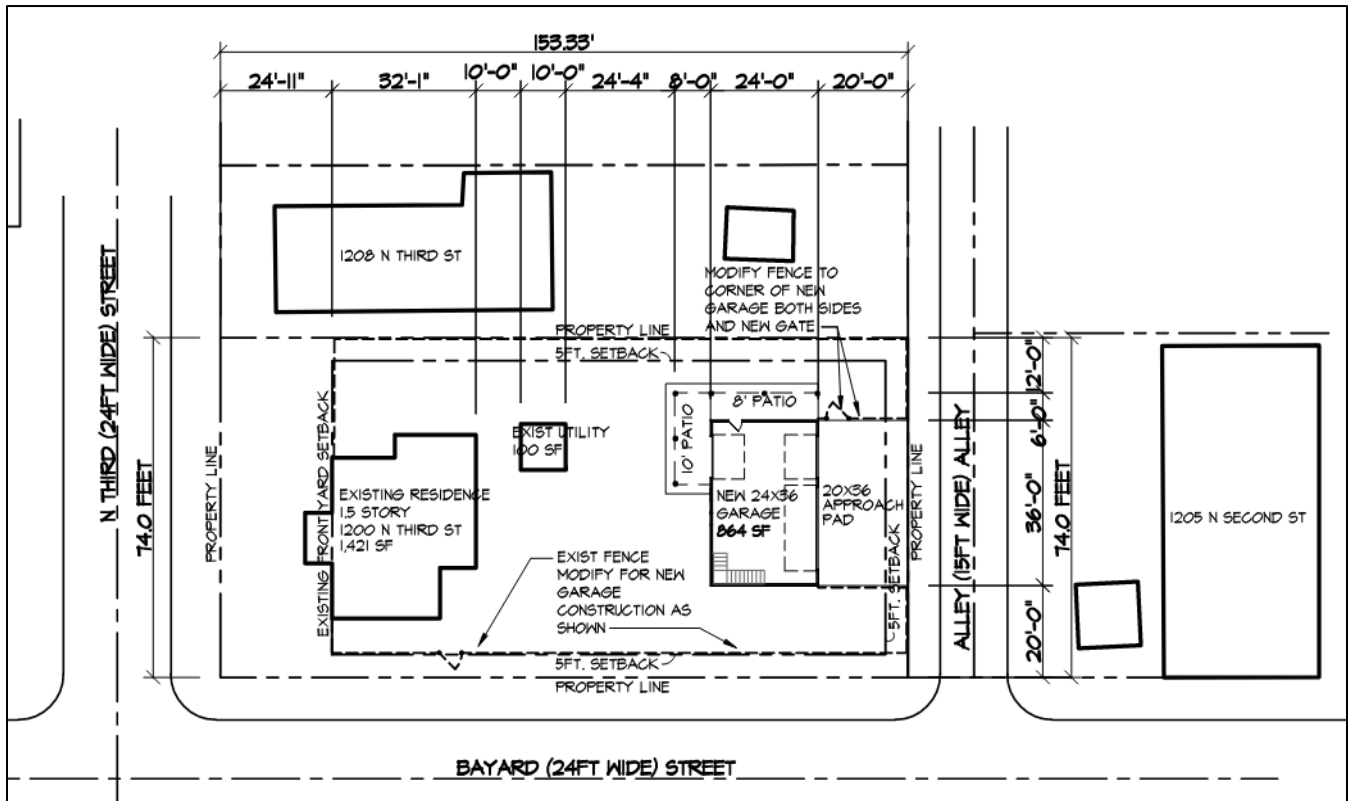


Figure 7: Site plan for proposed new garage at 1200 North 3rd Street.



Figure 8: Subject property's location.

CASE # (assigned by Staff): _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

200 North Second Street
Saint Charles, MO 63301
636-949-3222
FAX 636-949-3557

CERTIFICATE OF APPROPRIATENESS APPLICATION

ADDRESS OF SUBJECT PROPERTY: 1200 N THIRD ST.

BUSINESS NAME (if applicable): _____

APPLICANT:

DENNIS SHARP
(Name)

700 MILL ST, ARTHUR, IL 61911
(Address)

(618) 920-8938
(Phone & Email Address) DSHARP@COACHHOUSEGARAGES.COM

PROPERTY OWNER:

SCOTT DRZEWIECKI
(Name)

275 QUIET MEADOWS DR, LINN CREEK, MO 65052
(Address)

(262) 527-7849 SCOTDRZEWIECKI@GMAIL.COM
(Phone & Email Address)

HISTORIC DISTRICT LOCATION:

Commons Preservation District

Extended Historic Preservation District

Frenchtown Preservation District

Historic Downtown Preservation District

South Main Preservation District

DATE OF ORIGINAL CONSTRUCTION: 1901

BRIEFLY DESCRIBE PROPERTY AS IT CURRENTLY EXISTS:

1.5 STORY RESIDENCE ON .28 ACRES LOT

PROJECT DESCRIPTION (mark and explain each that may apply):

- Rehabilitate or restore: _____
- Construct a new structure: _____
- Demolish or move structure: _____
- Construct a new addition: _____
- New sign or awning: _____
- Site work (patio, fence, etc.): _____
- Other (briefly explain): DETACH GARAGE ADDITION

BRIEFLY DESCRIBE ALL EXTERIOR CHANGES:

NEW DETACHED GARAGE ADDITION TO MATCH
EXISTING FINISH COLOR

APPLICATION SUBMITTAL:

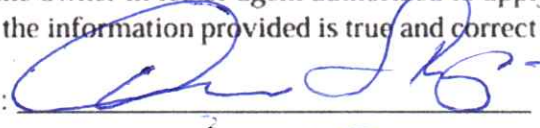
Every Certificate of Appropriateness and Sign Permit application submitted to the Landmarks Board for their review and approval must contain the following information. If the information does not appear on the plan or accompany the application, the proposal will not be scheduled for the Landmarks Board meeting requested.

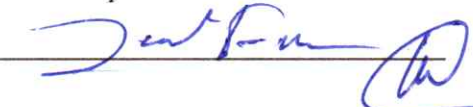
A copy of required information shall be submitted to the Community Development Department prior to the scheduled meeting (digital submittal preferred via Landmarks@stcharlescitemo.gov). Directions for digital submittal are attached. The following shall be submitted when filing for a Certificate of Appropriateness from the Historic Landmarks Preservation and Architectural Review Board:

1. A complete application.
2. A complete site plan of the property and all structures located on the property, (necessary for all new construction, additions, and site work) including but not limited to:
 - a. The actual shape and dimension of the lot.
 - b. Any existing or proposed building, accessory building, and their locations upon the lot.
 - c. Photos of existing structures.
 - d. Colored elevations of proposed structures or modifications.
3. Samples of all proposed materials (i.e. brick, siding, roofing materials, fencing material, windows, doors, etc.)
4. Proposed colors of any sign or structure (must be from approved color chart if applicable)

* Depending on the specifics of the application, the applicant(s) may be required to submit further information deemed necessary.

I hereby certify that I am the owner in fee or agent authorized to apply for this Certificate of Appropriateness, and that the information provided is true and correct to the best of my knowledge.

Signature of the applicant:  Date: 4-14-26

Signature of the property owner:  Date: 4/14/26

- *Approval of this Certificate of Appropriateness does not authorize the building of a structure. Building Permits are required prior to construction.*

Application Fees:

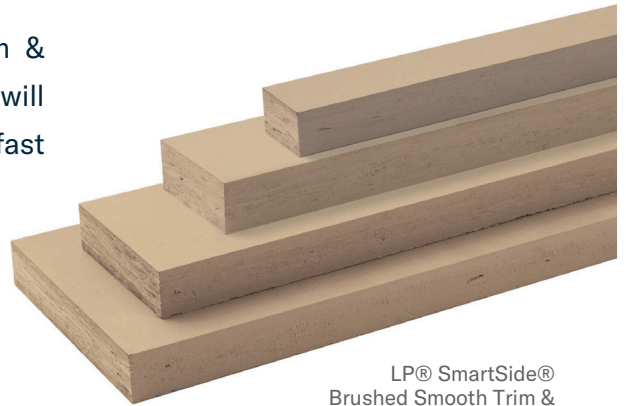
Exterior Changes & Demolitions:	\$50.00
Site Plan (separate application required):	\$200.00

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TRIM & SIDING

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LAP SIDING

- 38 Series 6" – 5.84 in. (148 mm) x 192 in. (4.9 m) •
- 38 Series 8" – 7.84 in. (199 mm) x 192 in. (4.9 m) •
- 38 Series 12" - 11.84 in. (301 mm) x 192 in. (4.9 m)



TRIM

- 440/540 Series 2" - 1.50 (38 mm)
- 440/540 Series 3" - 2.46 in. (62 mm)
- 440/540 Series 4" - 3.46 in. (88 mm)
- 440/540 Series 6" - 5.47 in. (139 mm)
- 440/540 Series 8" - 7.21 in. (183 mm)
- 440/540 Series 10" - 9.21 in. (234 mm)
- 440/540 Series 12" - 11.21 in. (285 mm)



VERTICAL SIDING

- 38 Series 16" x 16' – 15.93 in. (405 mm) x 192 in. (4.9 m)



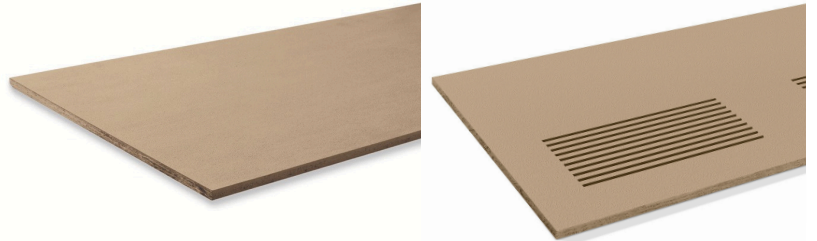
PANEL

- 38 Series 4' x 8' – 47.88 in. (1216 mm) x 96 in. (2.4 m) Square edge
- 38 Series 4' x 10" - 47.88 in. (1216 mm) x 120 in. (3m) Square edge



CLOSED OR VENTED SOFFIT

- 38 Series 12" Closed or Vented Soffit –11.94 in. (303 mm) x 192 in. (4.9 m)
- 38 Series 16" Closed or Vented Soffit –15.94 in. (405 mm) x 192 in. (4.9 m)
- 38 Series 24" Closed or Vented Soffit –23.94 in. (608 mm) x 192 in. (4.9 m)



OUTSIDE CORNERS

- 540 Series 4" - 3.625 in. (92 mm)
- 540 Series 6" - 5.625 in. (143 mm)



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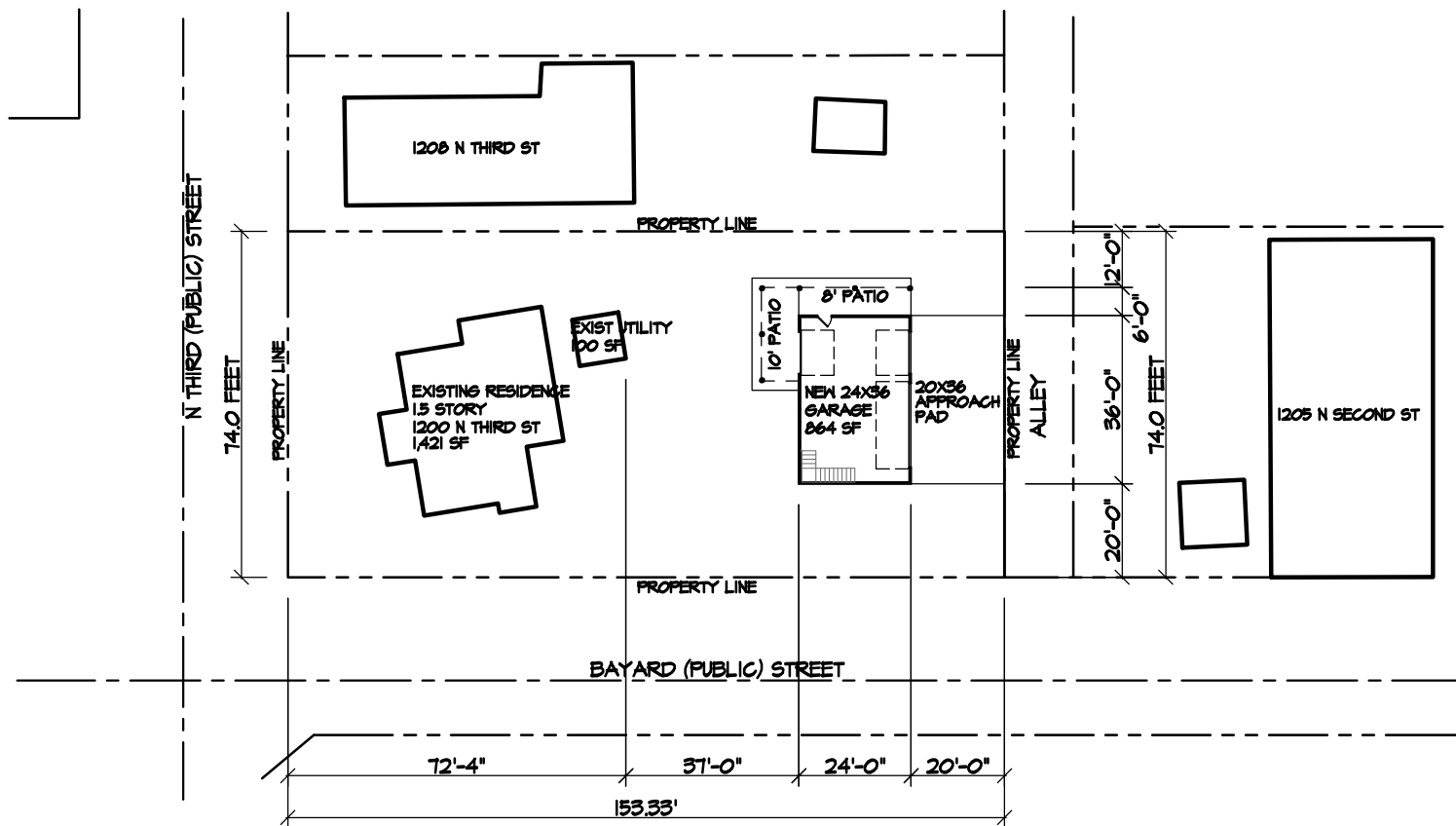
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ARCHITECTURAL SITE PLAN 
 SCALE 1" = 40'-0"

SHEET NO:

A0

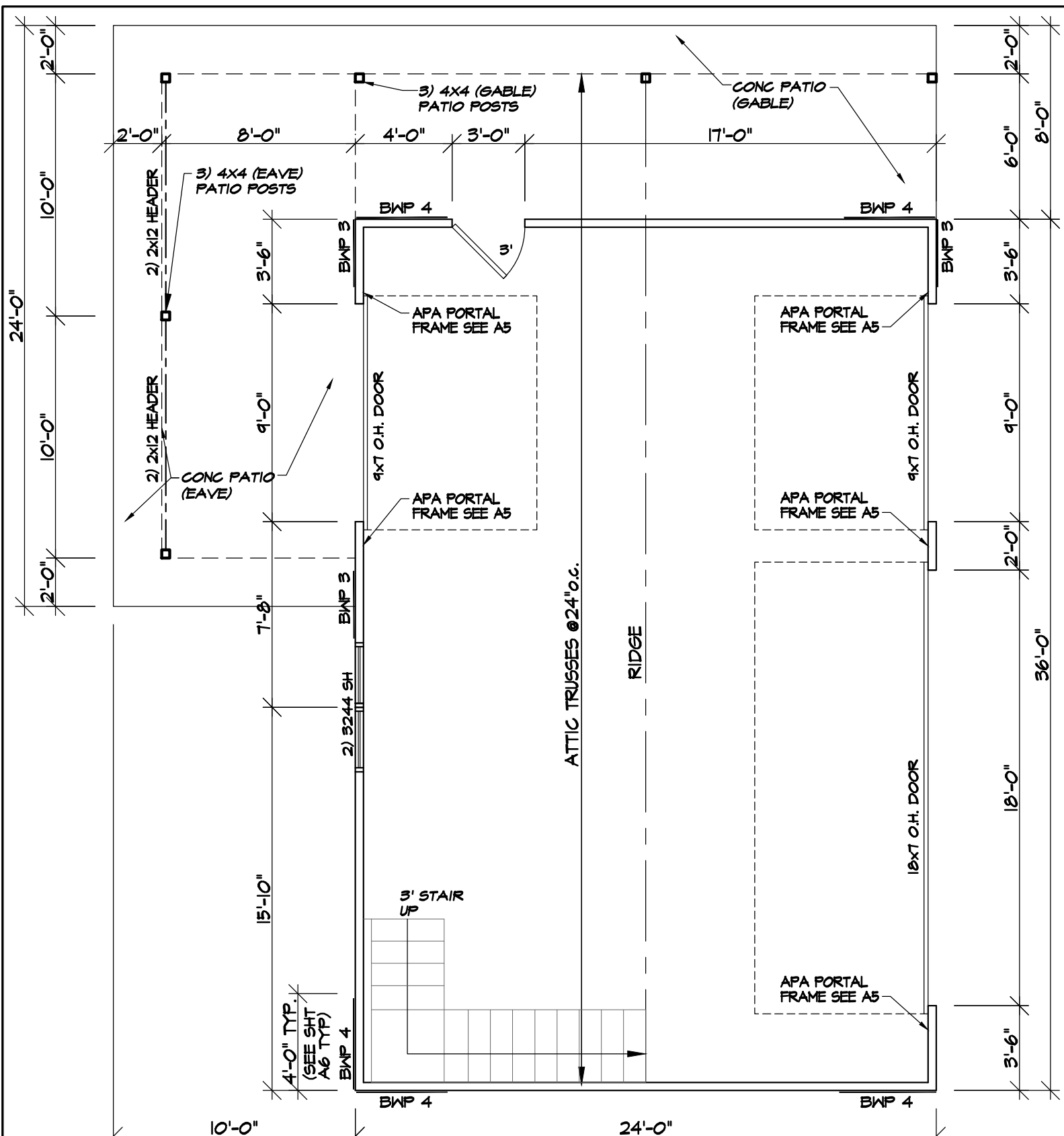
ISSUE DATE: 4-15-26

GARAGE ADDITION

SCOTT DRZEWIECKI
 1200 N THIRD STREET
 ST CHARLES, MO 63301



700 Mill St.
 Arthur IL 61911
 Phone: 217-543-3761
 FAX: 217-543-3350



FLOOR PLAN

SCALE 3/16" = 1'-0"

GARAGE ADDITION
 SCOTT DRZEWIECKI
 1200 N THIRD STREET
 ST CHARLES, MO 63301

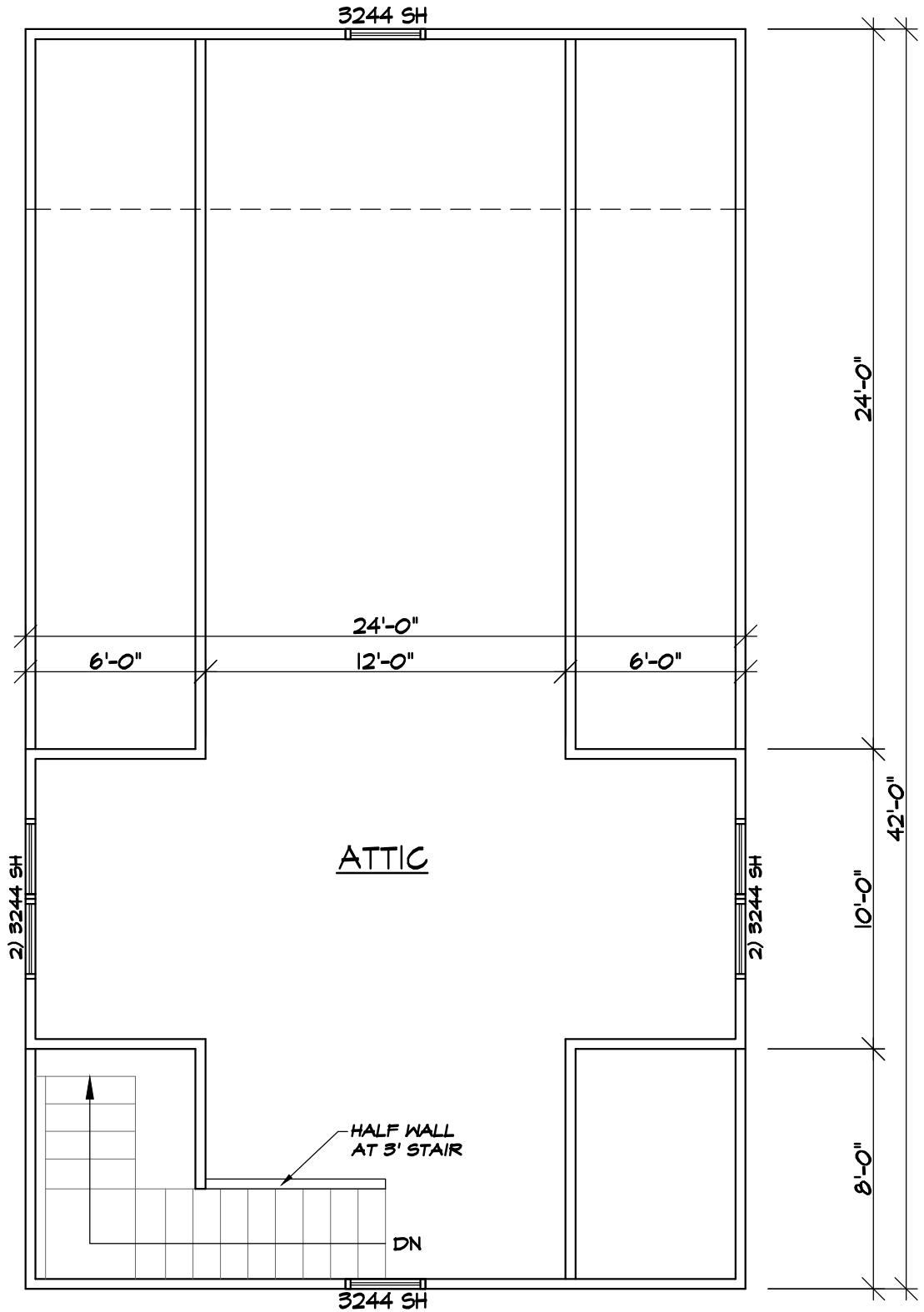


700 Mill St.
 Arthur IL 61911
 Phone-217-543-3761
 FAX-217-543-3350

SHEET NO:

A1.1

ISSUE DATE:
 4-15-26



ATTIC PLAN

SCALE 3/16" = 1'-0"

GARAGE ADDITION

SCOTT DRZEWIECKI
1200 N THIRD STREET
ST CHARLES, MO 63301

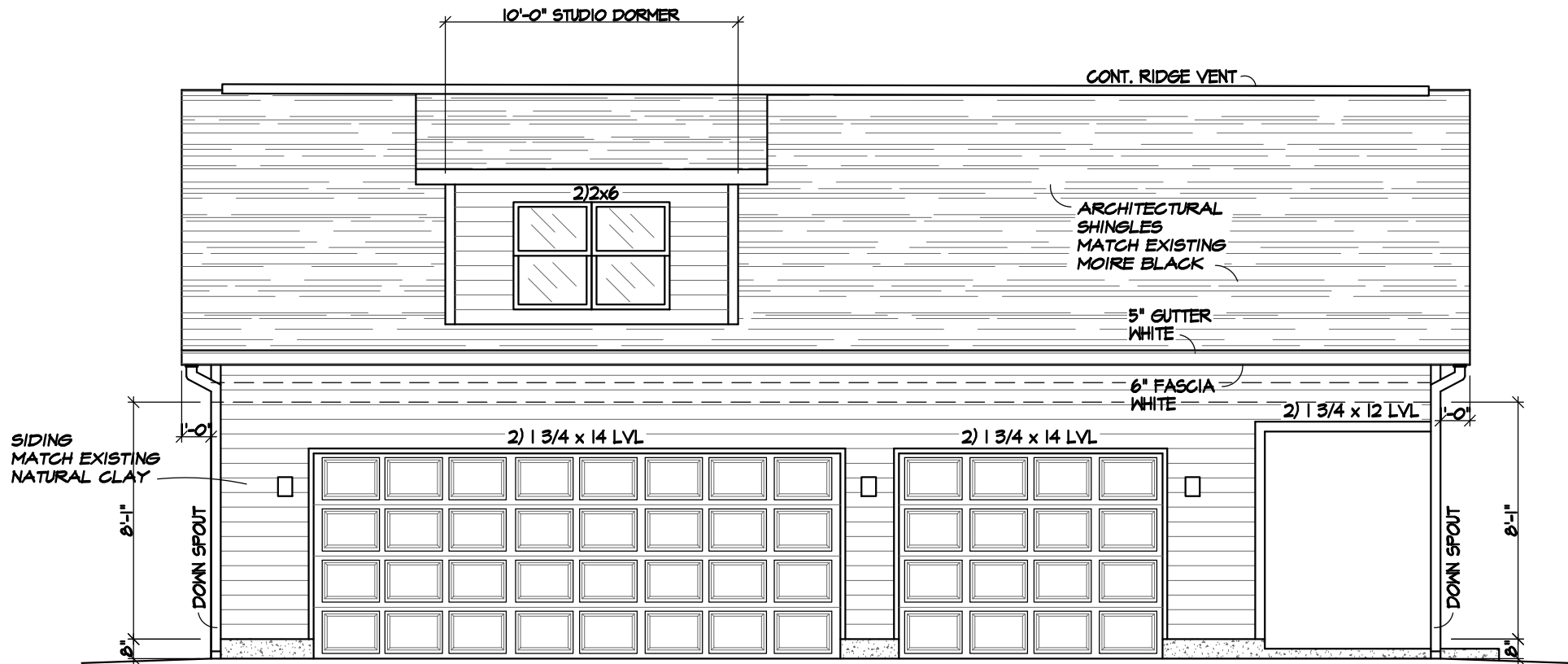


700 Mill St.
Arthur IL 61911
Phone-217-543-3761
FAX-217-543-3350

SHEET NO:

A1.2

ISSUE DATE:
4-15-26



NOTE:
 ALL DOORS, WINDOWS,
 GUTTERING, AND TRIM ARE WHITE
 TO MATCH EXISTING RESIDENCE

FRONT ELEVATION

SCALE 3/16" = 1'-0"

SHEET NO:

A2.1

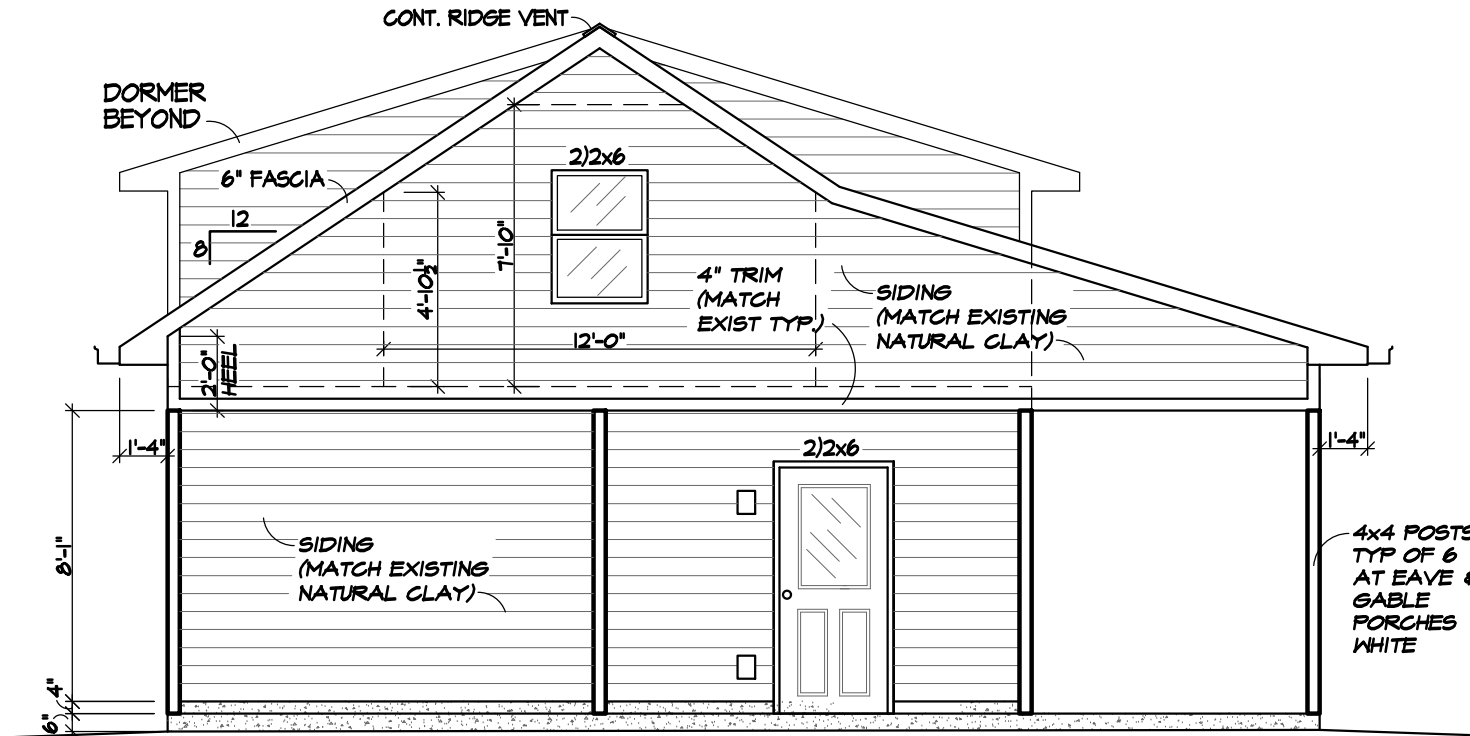
ISSUE DATE: 4-15-26

GARAGE ADDITION

SCOTT DRZEWIECKI
 1200 N THIRD STREET
 ST CHARLES, MO 63301



700 Mill St.
 Arthur IL 61911
 Phone: 217-543-3761
 FAX: 217-543-3350



NOTE:
 ALL DOORS, WINDOWS,
 GUTTERING, AND TRIM ARE WHITE
 TO MATCH EXISTING RESIDENCE

RIGHT SIDE ELEVATION

SCALE 3/16" = 1'-0"

SHEET NO:

A2.2

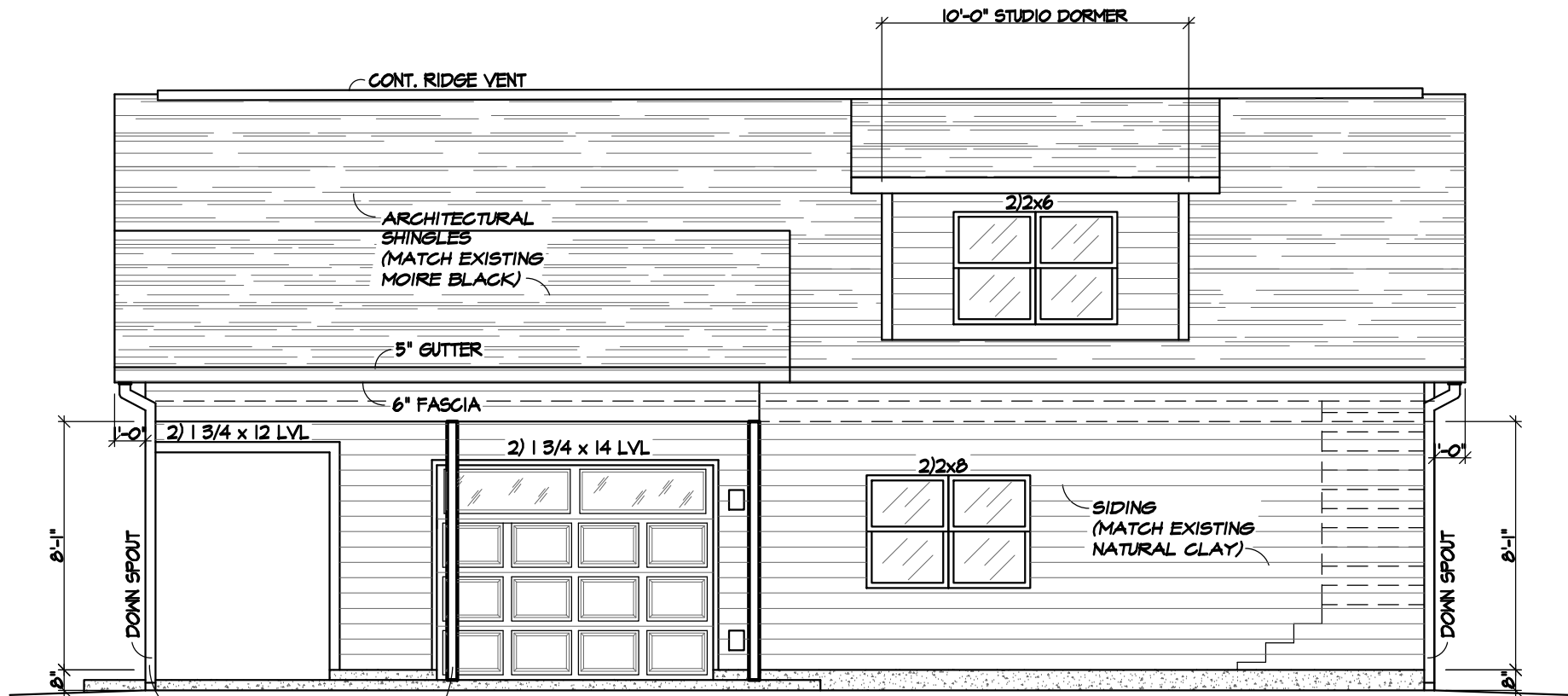
ISSUE DATE: 4-15-26

GARAGE ADDITION

SCOTT DRZEWIECKI
 1200 N THIRD STREET
 ST CHARLES, MO 63301



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 FAX: 217-543-3350



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TYP OF 6
AT EAVE &
GABLE
PORCHES
WHITE

NOTE:
ALL DOORS, WINDOWS,
GUTTERING, AND TRIM ARE WHITE
TO MATCH EXISTING RESIDENCE

BACK ELEVATION

SCALE 3/16" = 1'-0"

SHEET NO:

A2.3

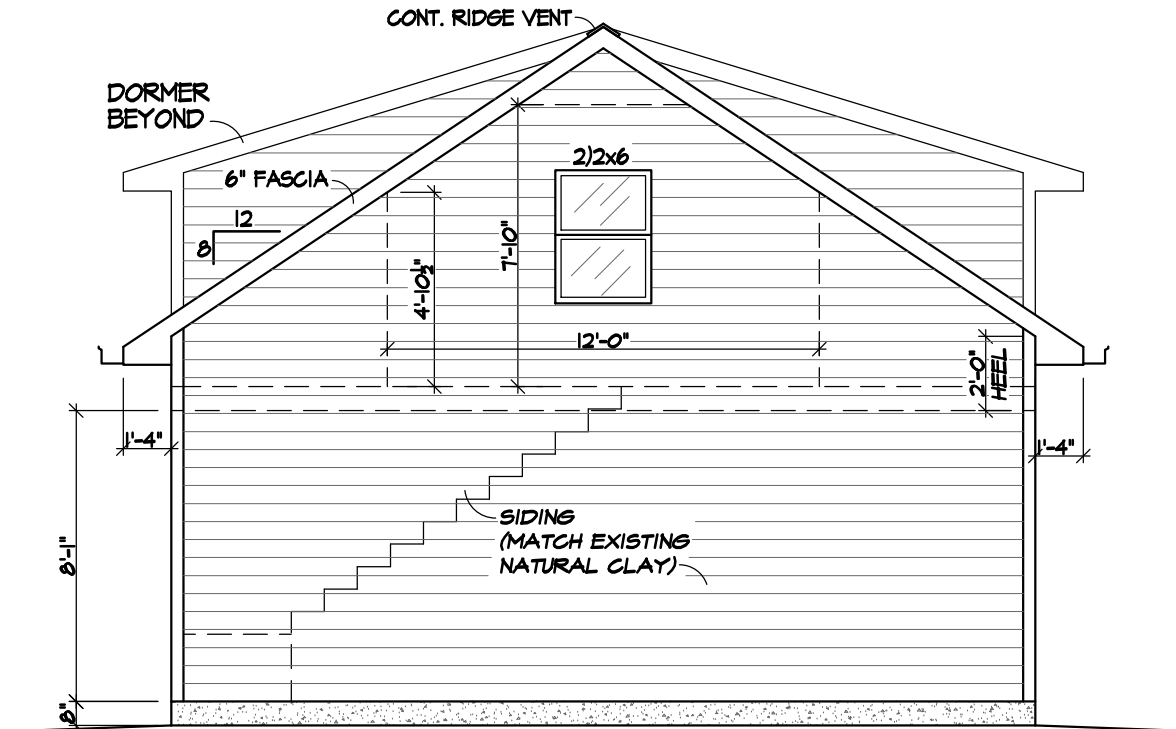
ISSUE DATE: 4-15-26

GARAGE ADDITION

SCOTT DRZEWIECKI
1200 N THIRD STREET
ST CHARLES, MO 63301



700 Mill St.
Arthur IL 61911
Phone: 217-543-3761
FAX: 217-543-3350



NOTE:
 ALL DOORS, WINDOWS,
 GUTTERING, AND TRIM ARE WHITE
 TO MATCH EXISTING RESIDENCE

LEFT SIDE ELEVATION

SCALE 3/16" = 1'-0"

SHEET NO:

A2.4

ISSUE DATE: 4-15-26

GARAGE ADDITION

SCOTT DRZEWIECKI
 1200 N THIRD STREET
 ST CHARLES, MO 63301



700 Mill St.
 Arthur IL 61911
 Phone: 217-543-3761
 FAX: 217-543-3350



EXISTING FRONT VIEW

GARAGE ADDITION

*SCOTT DRZEWIECKI
1200 N THIRD STREET
ST CHARLES, MO 63301*



700 Mill St.
Arthur IL 61911
Phone-217-543-3761
FAX-217-543-3350

SHEET NO:

X1

ISSUE DATE:
4-15-26



EXISTING RIGHT SIDE VIEW

GARAGE ADDITION

*SCOTT DRZEWIECKI
1200 N THIRD STREET
ST CHARLES, MO 63301*



700 Mill St.
Arthur IL 61911
Phone-217-543-3761
FAX-217-543-3350

SHEET NO:

X2

ISSUE DATE:
4-15-26



EXISTING BACK VIEW

GARAGE ADDITION

*SCOTT DRZEWIECKI
1200 N THIRD STREET
ST CHARLES, MO 63301*



700 Mill St.
Arthur IL 61911
Phone-217-543-3761
FAX-217-543-3350

SHEET NO:

X3

ISSUE DATE:
4-15-26



EXISTING LEFT VIEW

GARAGE ADDITION

*SCOTT DRZEWIECKI
1200 N THIRD STREET
ST CHARLES, MO 63301*



700 Mill St.
Arthur IL 61911
Phone-217-543-3761
FAX-217-543-3350

SHEET NO:

X4

ISSUE DATE:
4-15-26

LANDMARKS BOARD - MINUTES
April 20, 2026
City Council Chambers, Fourth Floor City Hall
200 North Second Street
St. Charles, MO 63301

MEMBERS PRESENT

Steve Martin, Chairperson
Jill Ryan, Vice Chair
Michelle Beucke
Dave Settle
Laura Shadow
Steve Hollander, Council Liaison

STAFF PRESENT

Taylor Moore, Preservation Planner
John Boyer, Director of CD

Absent: John Donnelly, Christi Tennyson

On Monday, April 20, 2026, at 6:00 p.m., the City of St. Charles Landmarks Board held its regular monthly meeting in the Council Chambers on the fourth floor of City Hall.

1. Call to order and call the roll.

Chairperson Steve Martin called the meeting to order at 6:00 p.m. Taylor Moore called the roll. Those in attendance are listed above.

2. The Pledge of Allegiance

3. Consent Agenda

- (A) Case No. EC-2026-22 411 South 3rd Street. Ben Gillette. The applicant is requesting permission to replace six windows on the dwelling [Extended Historic Preservation District, Ward 2].
- (B) Case No. EC-2026-24 902-904 South Main Street. Leslie Pugh. The applicant is requesting to change the siding on the structure [South Main Preservation District, Ward 2].
- (C) Case No. EC-2026-26 703 South Riverside Drive. Jodi Devonshire. The applicant is requesting permission to replace a stairway and deck on the side of the structure [South Main Preservation District, Ward 2].
- (D) Case No. SP-2026-2 1203 South Main Street. Leslie Duncan. The applicant is requesting permission to construct a new single-family dwelling on the property [Landmarks Preservation District, Ward 2].

All items were removed from consent agenda.

4. Removed Consent Agenda Items

- (A) Case No. EC-2026-22 411 South 3rd Street. Ben Gillette. The applicant is requesting permission to replace six windows on the dwelling [Extended Historic Preservation District, Ward 2]. Ben Gillette was present to answer questions from the Board. *Steve Hollander made a motion to approve the application subject to external muntins be on the front windows only. Dave Settle seconded the motion. All were favor (6-0), the motion passed.*
- (B) Case No. EC-2026-24 902-904 South Main Street. Leslie Pugh. The applicant is requesting to change the siding on the structure [South Main Preservation District, Ward 2]. *Leslie Pugh was present to answer questions from the Board. Michelle Beucke made a motion to table the application to the May 18, 2026 meeting for material examples to be shown to Staff. Steve Hollander seconded the motion. All were in favor (6-0), the application was tabled.*

- (C) Case No. EC-2026-26 703 South Riverside Drive. Jodi Devonshire. The applicant is requesting permission to replace a stairway and deck on the side of the structure [South Main Preservation District, Ward 2]. ***Jodi Devonshire was present to answer questions from the Board. Steve Hollander made a motion to approve the application as submitted. Dave Settle seconded the motion. Five were in favor, none were opposed, one abstained (5-0-1), the motion passed.***
- (D) Case No. SP-2026-2 1203 South Main Street. Leslie Duncan. The applicant is requesting permission to construct a new single-family dwelling on the property [Landmarks Preservation District, Ward 2]. ***Michelle Beucke was present to answer questions for the Board. Steve Hollander made a motion to approve the site plan as submitted. Jill Ryan seconded the motion. Five were in favor, none were opposed, one abstained (5-0-1), the motion passed.***

5. Sign Permit Applications

- (A) Sign Permit No. 2026-1518 337 South Main Street. Emily Schroen. The applicant is requesting permission to install a new projecting sign for the business “Main Street Books” [South Main Preservation District, Ward 2]. ***Ian Schroen was present to answer questions for the Board. Michelle Beucke made a motion to approve the sign permit as submitted. Jill Ryan seconded the motion. All were in favor (6-0), the motion passed.***
- (B) Sign Permit No. 2026-1721 418 Jefferson Street. Jeremy North. The applicant is requesting permission to install a new wall-mounted sign for the business “360 Estate & Tax Group” [Extended Historic Preservation District, Ward 1]. ***Russ Mason with Fast Signs St. Peters was present to answer questions for the Board. Steve Hollander made a motion to approve the sign permit as submitted. Jill Ryan seconded the motion. All were in favor (6-0), the motion passed.***
- (C) Sign Permit No. 2026-1723 424 Jefferson Street. Jeremy North. The applicant is requesting permission to install a new wall-mounted sign for the business “360 Investment & Retirement” [Extended Historic Preservation District, Ward 1]. ***Russ Mason with Fast Signs St. Peters was present to answer questions for the Board. Steve Hollander made a motion to approve the sign permit as submitted. Jill Ryan seconded the motion. All were in favor (6-0), the motion passed.***

6. Structure Review

- (A) Case No. EC-2026-21 132 North Main Street. Steve Hollander. The applicant is requesting permission to remove roof features and construct an egress walkway and staircase [Historic Downtown District, Ward 1]. ***Steve Hollander was present to answer questions from the Board. Michelle Beucke made a motion to approve the application subject to the condition that the rear dormers should remain. Jill Ryan seconded the motion. Five were in favor, none were opposed, one abstained (5-0-1), the motion passed.***
- (B) Case No. EC-2026-23 553 Jefferson Street. Jesse Ray. The applicant is requesting permission to install new windows and make changes to both the front and rear porches on the dwelling [Extended Historic Preservation District, Ward 2]. ***No one was present to answer questions from the Board. Steve Hollander made a motion to approve the application as submitted. Jill Ryan seconded the motion. None were in favor, five were opposed, one abstained. The motion did not pass.***
- (C) Case No. SP-2026-11 317 North 6th Street. Andrew Arnold. The applicant is requesting permission to construct a new covered patio addition on the rear of the dwelling [Extended Historic Preservation District, Ward 1]. ***Andrew Arnold was present to answer questions from the Board. Michelle Beucke made a motion to approve the application as submitted. Jill Ryan seconded the motion. All were in favor (6-0), the motion passed.***

(D) Case No. SP-2026-15 337 South Main Street. Andrew Hall. The applicant is requesting permission to install a storage shed in the rear of the property [South Main Preservation District, Ward 2]. **Andy Hall was present to answer questions for the Board. Michelle Beucke made a motion to approve the application as submitted. Steve Hollander seconded the motion. All were in favor (6-0), the motion passed.**

(E) Case No. SP-2026-5 711 South Benton Avenue. Matt Barker. The applicant is requesting approval to demolish a rear garage and rear addition on the property [Extended Historic Preservation District, Ward 2]. **Michelle Beucke was present to answer questions from the Board. Steve Hollander made a motion to find the one-story apartment addition in the rear of the property to be historically significant. Jill Ryan seconded the motion.**

A roll call vote was taken with the following results: Aye: None; No: Martin, Ryan, Settle, Shadow, Hollander; Abstain: Beucke; Absent: Donnelly, Tennyson.

The addition was found to be not historically significant and approved for removal.

Steve Hollander made a motion to find the one-story detached garage to be historically significant. Jill Ryan Seconded the motion.

A roll call vote was taken with the following results: Aye: None; No: Martin, Ryan, Settle, Shadow, Hollander; Abstain: Beucke; Absent: Donnelly, Tennyson.

The rear garage was found to be not historically significant and approved for removal.

(F) Case No. SP-2026-6 912 South 4th Street. Mike Petrosino. The applicant is requesting approval to demolish an existing detached garage in the rear of the property [Extended Historic Preservation District, Ward 2]. **Michelle Beucke was present to answer questions for the Board. Jill Ryan made a motion to find the two-car garage to be historically significant. Dave Settle seconded the motion.**

A roll call vote was taken with the following results: Aye: None; No: Martin, Ryan, Settle, Shadow, Hollander; Abstain: Beucke; Absent: Donnelly, Tennyson.

The rear garage was found to be not historically significant and approved for removal.

(G) Case No. SP-2026-8 201 South 7th Street. Carl Drafall. The applicant is requesting approval to demolish the existing structures on the property [Extended Historic Preservation District, Ward 2]. **Carl Drafall, Pastor Matt Bohlmann, William Schenck, and Erik Burgdorf were present to answer questions for the Board. Michelle Beucke made a motion to find the structure historically significant. Jill Ryan seconded the motion.**

A roll call vote was taken with the following results: Aye: Martin, Ryan, Settle, Shadow, Hollander; No: Beucke; Abstain: None; Absent: Donnelly, Tennyson.

The structure was found to be historically significant and not approved for removal.

(H) Case No. SP-2026-9 209 South 7th Street. Carl Drafall. The applicant is requesting approval to demolish the existing single-family dwelling on the property [Extended Historic Preservation District, Ward 2]. **Carl Drafall, Pastor Matt Bohlmann, William Schenck, and Erik Burgdorf were present to answer questions for the Board. Michelle Beucke made a motion to find the structure to be historically significant. Jill Ryan seconded the motion.**

A roll call vote was taken with the following results: Aye: None; No: Martin, Ryan, Beucke, Settle, Shadow, Hollander; Abstain: None; Absent: Donnelly, Tennyson.

The structure was found to be not historically significant and approved for removal.

(I) Case No. SP-2026-10 210 South 7th Street. Carl Drafall. The applicant is requesting approval to demolish the existing single-family dwelling on the property [Extended Historic Preservation

District, Ward 2]. *Carl Drafall, Pastor Matt Bohlmann, William Schenck, and Erik Burgdorf were present to answer questions for the Board. Steve Hollander made a motion to find the structure historically significant. Jill Ryan seconded the motion.*

A roll call vote was taken with the following results: Aye: Martin; No: Ryan, Beucke, Settle, Shadow, Hollander; Abstain: None; Absent: Donnelly, Tennyson.

The structure was found to be not historically significant and approved for removal.

- (J) Case No. SP-2026-12 664 First Capitol Drive. Carl Drafall. The applicant is requesting approval to demolish the commercial strip mall on the property [Extended Historic Preservation District, Ward 2]. *Carl Drafall, Pastor Matt Bohlmann, William Schenck, and Erik Burgdorf were present to answer questions for the Board. Michelle Beucke made a motion to find the structure historically significant. Steve Hollander seconded the motion.*

A roll call vote was taken with the following results: Aye: None; No: Martin, Ryan, Beucke, Settle, Shadow, Hollander; Abstain: None; Absent: Donnelly, Tennyson.

The structure was found to be not historically significant and approved for removal.

- (K) Case No. SP-2026-13 700 First Capitol Drive. Carl Drafall. The applicant is requesting approval to demolish the commercial structure on the property [Extended Historic Preservation District, Ward 2]. *Carl Drafall, Pastor Matt Bohlmann, William Schenck, and Erik Burgdorf were present to answer questions for the Board. Steve Hollander made a motion to find the structure historically significant. Jill Ryan seconded the motion.*

A roll call vote was taken with the following results: Aye: Martin, Ryan, Settle, Shadow; No: Beucke, Hollander; Abstain: None; Absent: Donnelly, Tennyson.

The structure was found to be historically significant and not approved for removal.

- (L) Case No. SP-2026-14 708 First Capitol Drive. Carl Drafall. The applicant is requesting approval to demolish the existing single-family dwelling on the property [Extended Historic Preservation District, Ward 2]. *Carl Drafall, Pastor Matt Bohlmann, William Schenck, and Erik Burgdorf were present to answer questions for the Board. Steve Hollander made a motion to find the structure historically significant. Jill Ryan seconded the motion.*

A roll call vote was taken with the following results: Aye: Martin, Settle; No: Ryan, Beucke, Shadow, Hollander; Abstain: None; Absent: Donnelly, Tennyson.

The structure was found to be historically significant and not approved for removal.

7. Announcements/Reports from Officers

No Reports.

8. Staff Reports

Taylor Moore introduced new member, Laura Shadow, representing the Historic Downtown District.

9. Approval of March 23, 2026, regular meeting minutes

Michelle Buecke made a motion to approve the minutes; Steve Hollander seconded the motion. Four were in favor, none were opposed, two abstained (4-0-2).

10. Adjournment

Michelle Beucke made a motion to adjourn. Steve Hollander seconded the motion. All were in favor (6-0). The meeting adjourned at 7:28pm.

SECRETARY

DATE